

OPEN SECTION

PAGE

TP12/1

DARWIN CITY COUNCIL

TOWN PLANNING COMMITTEE

TUESDAY 6 DECEMBER 2011

MEMBERS: Member H I Galton (Chairman); The Right Worshipful, Lord Mayor, Mr G R Sawyer; Member J D Bailey; Member R T Dee; Member R K Elix; Member R M Knox; Member G A Lambert; Member R Lesley; Member F P Marrone; Member A R Mitchell; Member K M Moir; Member J L Sangster; Member H D Sjoberg.

OFFICERS: Chief Executive Officer, Mr B Dowd; General Manager Infrastructure, Mr L Cercarelli; Manager Design, Planning & Projects, Mr D Lelekis; Executive Manager, Mr M Blackburn; Strategic Town Planner, Miss C Robson; Graduate Town Planner, Mr J Sheridan; Executive Officer, Miss A Smit.

Enquiries and/or Apologies: Arweena Smit
E-mail: a.smit@darwin.nt.gov.au - PH: 89300 685

Committee's Responsibilities

The Council assigns the following functions to the Committee for the purpose of consideration and decisions as follows:

- * All Development Applications referred from the Development Consent Authority
- * All Town Planning related matters referred from the NT Government
- * Town Planning Strategy, Policies and Procedures
- * Development Application and Town Planning Matters referred to Council from Developers, Community Groups and Individuals
- * Signage Applications, Policies and Procedures
- * Liquor Licence Applications

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Reports, recommendations and supporting documentation can be accessed via the Darwin City Council Website at www.darwin.nt.gov.au, at Council Public Libraries or contact Linda Elmer on (08) 89300 670.

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TP12/*

Town Planning Committee Meeting – Tuesday, 6 December 2011**1 MEETING DECLARED OPEN****2 APOLOGIES AND LEAVE OF ABSENCE****2.1 Apologies****2.2 Leave of Absence Granted****COMMITTEE'S DECISION**

THAT the Committee resolve under delegated authority:-

- A. THAT it be noted that Member J D Bailey is an apology due to a Leave of Absence being previously granted on 24 October 2011 for the period 4 December 2011 to 14 December 2011.
- B. THAT it be noted that Member K M Moir is an apology due to a Leave of Absence being previously granted on 15 November 2011 for the period 6 December 2011 to 9 December 2011.

DECISION NO.20\() (06/12/11)

3 ELECTED MEMBERS CONFLICT OF INTEREST DECLARATION**4 CONFIDENTIAL ITEMS**

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Town Planning Committee Meeting – Tuesday, 6 December 2011

5 WITHDRAWAL OF ITEMS FOR DISCUSSION

5.1 Items Withdrawn by Staff

COMMITTEE’S DECISION

THAT the Committee resolve under delegated authority that the following items withdrawn by staff as Items of Significance, be considered:

DECISION NO.20\() (06/12/11)

5.2 Items Withdrawn by Members

COMMITTEE’S DECISION

THAT the Committee resolve under delegated authority that Information Items and Officers Reports to the Town Planning Committee Meeting held Tuesday, 6 December 2011, be received be received and all recommendations contained therein be adopted by general consent with the exception of Item Number

DECISION NO.20\() (06/12/11)

6 CONFIRMATION OF MINUTES PERTAINING TO THE PREVIOUS TOWN PLANNING COMMITTEE MEETING

COMMITTEE’S DECISION

THAT the Committee resolve that the minutes of the previous Town Planning Committee Meeting held on Tuesday, 6 September 2011, tabled by the Chairman, be confirmed.

DECISION NO.20\() (06/12/11)

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Town Planning Committee Meeting – Tuesday, 6 December 2011

7 BUSINESS ARISING FROM THE MINUTES PERTAINING TO THE PREVIOUS TOWN PLANNING COMMITTEE MEETING

7.1 Business Arising

8 DEVELOPMENT APPLICATIONS

Nil

9 GENERAL TOWN PLANNING REPORTS

Nil

ENCL: YES

DARWIN CITY COUNCIL

DATE: 14/11/2011

REPORT

TO: TOWN PLANNING COMMITTEE MEETING / OPEN B **APPROVED:** CR
FROM: GENERAL MANAGER INFRASTRUCTURE **APPROVED:** DL
REPORT NO: 11TS0183 JS:fh **APPROVED:** LC
COMMON NO: 2120380
SUBJECT: DEVELOPMENT APPLICATION – **PARCEL:** LOT 7714 (37) HENBURY AVENUE TOWN OF NIGHTCLIFF – **PROPOSAL:** STAGED SUPPORTING ACCOMMODATION DEVELOPMENT WITH ASSOCIATED MEDICAL AND ADMINISTRATION SERVICES, IN 7 NEW SINGLE STOREY BUILDINGS

ITEM NO: 10.1**SYNOPSIS:**

A Development Application for Lot 7714 (37) Henbury Avenue Town of Nightcliff (**Attachment A**) has been referred to Council for comment pursuant to Section 48 of the Planning Act. The following report addresses relevant Council issues and recommends that Council endorse comments provided to the Development Consent Authority by staff.

GENERAL:**Applicant:** Mrs Meredith Helen Clayton**Zone:** CP (Community Purpose) **Area:** 24,200 m²**Proposal:** Supporting accommodation development comprising of associated medical and administration services, in 7 new single storey buildings.**History:** No previous history.**Site and Surrounds:**

The subject site is identified as allotment 7741, Town of Nightcliff, commonly referred to as 37 Henbury Avenue, Tiwi. The allotment is 24,200m², with frontages to Henbury Avenue and Willeroo Street and backs onto the Dripstone Middle School. The site is relatively flat, and slopes downwards towards the western boundary.

There are currently 2 crossovers to access the site and both are located in Willeroo Street. The site already contains 6 buildings which include residential therapy accommodation, administration buildings and maintenance sheds.

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 REPORT NO: 11TS0183 JS:fh
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 TOWN OF NIGHTCLIFF – **PROPOSAL:** STAGED SUPPORTING
 ACCOMMODATION DEVELOPMENT WITH ASSOCIATED MEDICAL AND
 ADMINISTRATION SERVICES, IN 7 NEW SINGLE STOREY BUILDINGS

The site is within the CP (Community Purpose) Zone, as is the adjoining Dripstone Middle School. Willeroo Street and Henbury Avenue consist mainly of single residential dwellings opposite the subject site.

Northern Territory Planning Scheme:

The proposed development is a discretionary use within the CP (Community Purpose) Zone, and therefore requires consent.

Matters to be taken into account (pursuant to Section 51 of the NT Planning Act 1999):

Proposal:

The proposal is to develop the site for Territorians with intellectual and physical disabilities from Darwin and Top End Remote Communities who require either short term or permanent accommodation. Development of this site relies on Government funding, with the final design dependant on the availability and amount of this funding.

The proposed final Master Plan Development covers the following buildings:

- a new single storey administration building;
- 5 new High Dependency accommodation blocks (or Challenging Behaviour accommodation units- final plans subject to patient requirement needs);
- a central services building (accommodating vehicle workshops, a laundry and chemical store, a kitchen and dining facility and staff accommodation facilities);
- a replanned administration building to be used for day services;
- an early Intervention services building;
- an enclosed hydrotherapy pool and associated change rooms and toilets.

Stage one includes 1 or 2 High Dependency Residential Accommodation Units (HDU's), the final design is subject to external funding, refer **Attachment A**.

A new entrance to the site has also been proposed from Henbury Avenue, at the existing roundabout adjacent to Tambling Terrace.

Council Issues:

Staged Development

The applicant's plans indicate that the final design of the High Dependency Residential Accommodation Units (HDU's) will depend largely on patient needs and the extent of the Federal Government's funding. Council requests the Authority require the applicant submit plans for approval at such time that the designs of the HDU's are finalised.

PAGE: 3:
 REPORT NO: 11TS0183 JS:fh
 SUBJECT: DEVELOPMENT APPLICATION – **PARCEL:** LOT 7714 (37) HENBURY AVENUE
 TOWN OF NIGHTCLIFF – **PROPOSAL:** STAGED SUPPORTING
 ACCOMMODATION DEVELOPMENT WITH ASSOCIATED MEDICAL AND
 ADMINISTRATION SERVICES, IN 7 NEW SINGLE STOREY BUILDINGS

Traffic Study

Council requests that the Consent Authority requires a traffic study (which includes vehicles, pedestrians and cyclists) in accordance with *Austrroads Guide to Traffic Management Part 12: Traffic Impacts of Development* be undertaken by a suitably qualified traffic engineer on the impact of the proposed development on the surrounding road network, including the subject site's proposed access/egress point to Henbury Avenue, to the satisfaction of the General Manager Infrastructure and at no cost to Council.

Demountable Building

The applicant's plans indicate that the Early Intervention Services Building is a demountable building. Any proposed demountable building should refer to Council's Land Use Planning General – 041 Policy.

Disability Discrimination Legislation:

Disability Discrimination Act issues are addressed under the Building Act requirements. Council places a statement of support for equal opportunity on all responses.

FINANCIAL IMPLICATIONS:

Nil.

STRATEGIC PLAN IMPLICATIONS:

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

Goal 1:

1. Achieve Effective Partnerships and Engage in Collaborative Relationships.

Outcome

1.1 Improve relations with all levels of Government.

Key Strategies

1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin.

1.1.5 Influence Government and developers to develop sustainable projects which reflect Darwin's lifestyle.

1.2 Effectively engage with Community.

1.2.1 Increase involvement of the Business Community for developing solutions to local issues.

PAGE: 4:
 REPORT NO: 11TS0183 JS:fh
 SUBJECT: DEVELOPMENT APPLICATION – **PARCEL:** LOT 7714 (37) HENBURY AVENUE TOWN OF NIGHTCLIFF – **PROPOSAL:** STAGED SUPPORTING ACCOMMODATION DEVELOPMENT WITH ASSOCIATED MEDICAL AND ADMINISTRATION SERVICES, IN 7 NEW SINGLE STOREY BUILDINGS

Goal 2:

2. Enhance Darwin's Active, Positive and Flexible Lifestyle.

Outcome

2.1 Improve urban enhancement around Darwin.

Key Strategies

2.1.1 Manage and maintain the municipal landscaping and infrastructure to a standard that meets community needs.

2.1.4 Provide a clean and liveable municipality.

Goal 3:

3. Assist Individuals and the Community Stay Connected with the Darwin Region.

Outcome

3.1 Promote the use of public spaces.

Key Strategies

3.1.1 Enhance public spaces and encourage greater use by the community.

3.2 Enhance transport.

3.2.1 Review transport and parking needs systems.

3.2.4 Provide parking facilities and management systems which meet the needs of the community.

Goal 4:

4. Create and Maintain an Environmentally Sustainable City.

Outcome

4.2 Improve water conservation.

Key Strategies

4.2.2 Manage and maintain Council's storm water management system.

LEGAL IMPLICATIONS:

This item is not considered "Confidential".

PUBLIC RELATIONS IMPLICATIONS:

Not Assessed.

COMMUNITY SAFETY IMPLICATIONS:

Not Assessed.

DELEGATION:

To the Chief Executive Officer to provide standard Development Permit conditions as appropriate.

CONSULTATION:

Through the Development Application statutory process.

PAGE: 5:
REPORT NO: 11TS0183 JS:fh
SUBJECT: DEVELOPMENT APPLICATION – **PARCEL:** LOT 7714 (37) HENBURY AVENUE
TOWN OF NIGHTCLIFF – **PROPOSAL:** STAGED SUPPORTING
ACCOMMODATION DEVELOPMENT WITH ASSOCIATED MEDICAL AND
ADMINISTRATION SERVICES, IN 7 NEW SINGLE STOREY BUILDINGS

PROPOSED PUBLIC CONSULTATION PROCESS:

Nil

APPROPRIATE SIGNAGE:

Not Applicable.

RECOMMENDATIONS:

THAT the Committee resolve under delegated authority:-

- A. THAT Report Number 11TS0183 JS:fh entitled Development Application for Lot 7714 (37) Henbury Avenue Town of Nightcliff for a Staged Supporting Accommodation Development With Associated Medical and Administration Services, in 7 New Single Storey Buildings, be received and noted.
- B. THAT the letter to the Development Consent Authority in **Attachment B** to Report Number 11TS0183 JS:fh be endorsed.

DROSSO LELEKIS
MANAGER DESIGN,
PLANNING & PROJECTS

LUCCIO CERCARELLI
GENERAL MANAGER
INFRASTRUCTURE

Any queries on this report can be directed to Cindy Robson on 8930 0528 or email c.robson@darwin.nt.gov.au



Development Consent Authority

Northern Territory

GPO BOX 1680
DARWIN NT 0801

Telephone No: (08) 8999 6046
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0780

Sir or Madam
Darwin City Council
GPO Box 84
DARWIN NT 0801

Dear Sir or Madam,

Proposed Development Application

The attached application has been received for assessment by the Development Consent Authority:

Parcel Description	Lot 07714 Town of Nightcliff
Road/Street	37 HENBURY AVE
Town Plan Zone	CP (Community Purpose)
Tenure Type	ESTATE IN FEE SIMPLE
Land Owners	Carpentaria Disability Services Incorporated
Applicant	Mrs Meredith Helen Clayton
Contact Number	08 8981 3308
Purpose	Staged supporting accommodation development with associated medical and administration services, in 7 new single storey buildings

The proposal can be viewed online for a two week period from **Friday, 28th October 2011** until **Friday, 11th November 2011** at:

<https://www.ntlis.nt.gov.au/planning/lta.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Friday, 11th November 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:

https://www.ilis.nt.gov.au/ilis/l2?pagelid=planning.application&ilis_entity_id=65702351

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

If you wish to secure a third party right of appeal, when it exists, you must specify that the submission is being made under section 49 and ensure that the submission is lodged with the consent authority by 4PM CST **Friday, 11th November 2011** which is the closing date for public exhibition.

D RIPSTONE MIDDLE SCHOOL

WILLEROO STREET

HENBURY AVENUE

ALTERNATIVE EXIT

SEWERAGE EASEMENT

SEWERAGE EASEMENT

CB1

HDU1

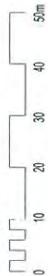
PROPOSED NEW ENTRY TO SITE

EXISTING ROUNDABOUT



PROPOSED DEVELOPMENT - STAGE 1

1:1000 @ A3



TOTAL CAR PARKING SPACES
45 SPACES
17 ACCESSIBLE SPACES



EXISTING BUILDINGS



PROPOSED DEVELOPMENT

**-CARPENTARIA DISABILITY SERVICES
FUTURE SITE PLAN**



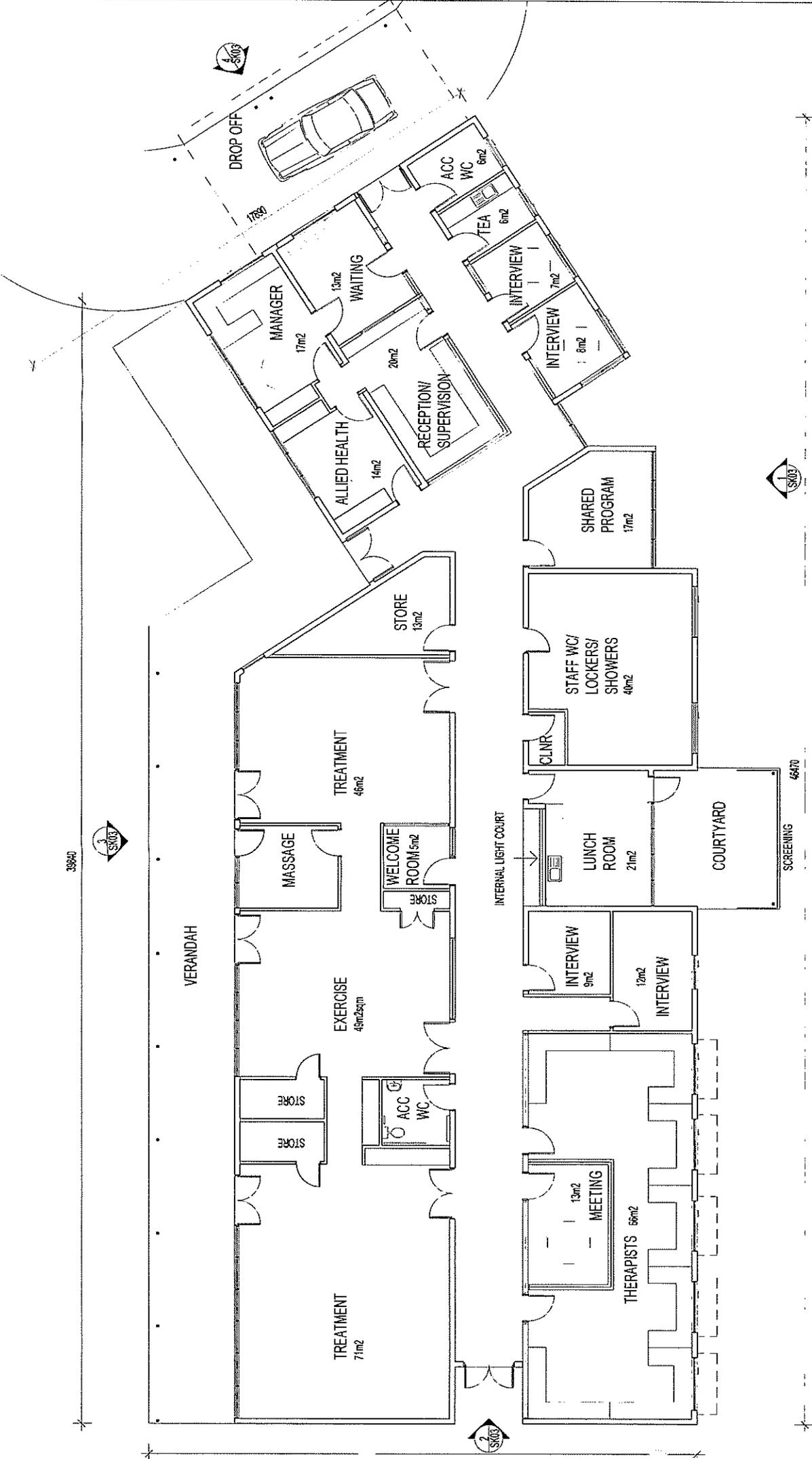
FUTURE SITE PLAN
1:1000 @ A3



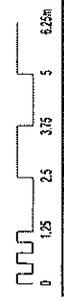
- TOTAL CAR PARKING SPACES
45 SPACES
- 17 ACCESSIBLE SPACES
- * TYPES OF ACCOMMODATION BUILDINGS WILL BE
SUBJECT TO FUNDING AND CLIENT'S NEEDS

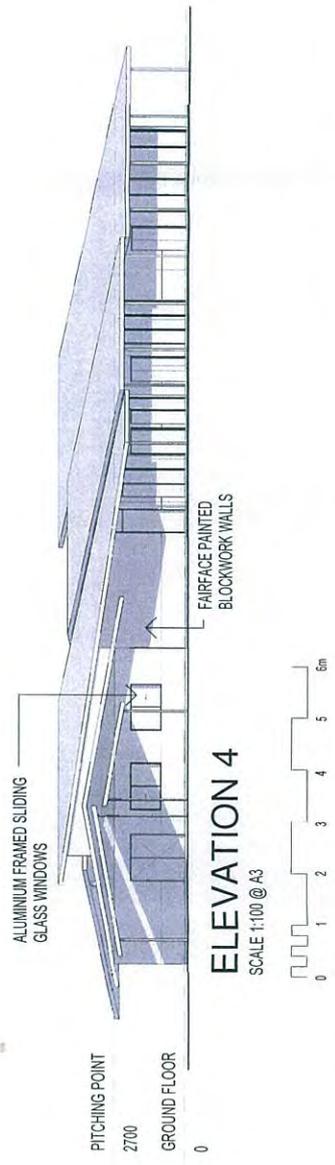
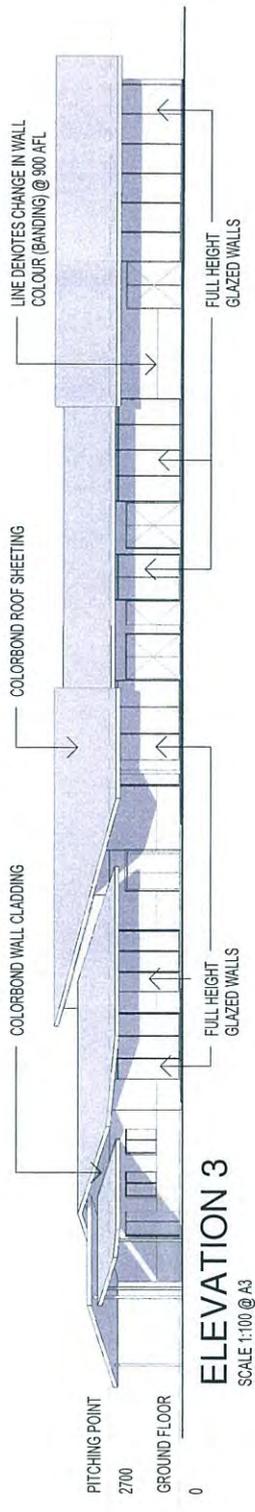
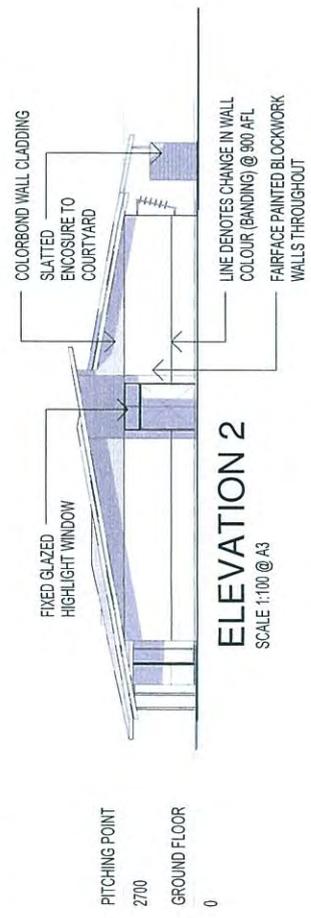
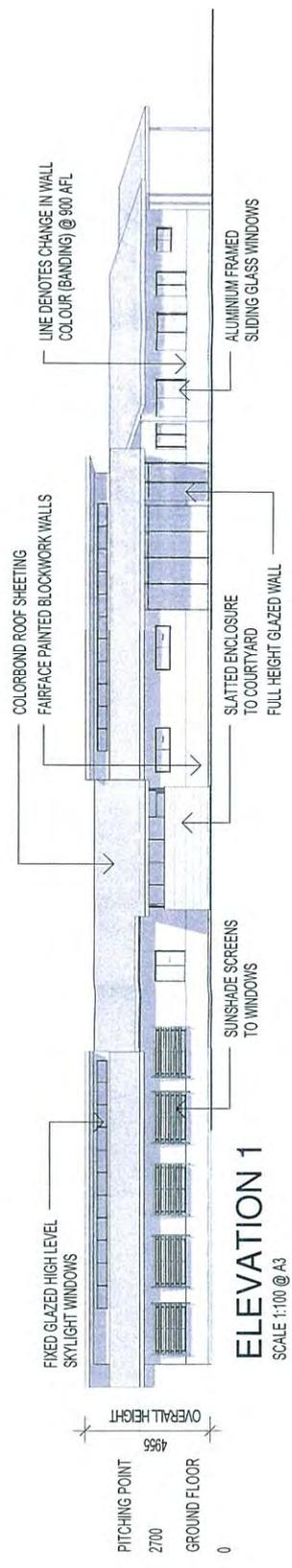
- FUNCTIONAL ZONES**
- THERAPY
 - ADMINISTRATION/SERVICES
 - RESIDENCES

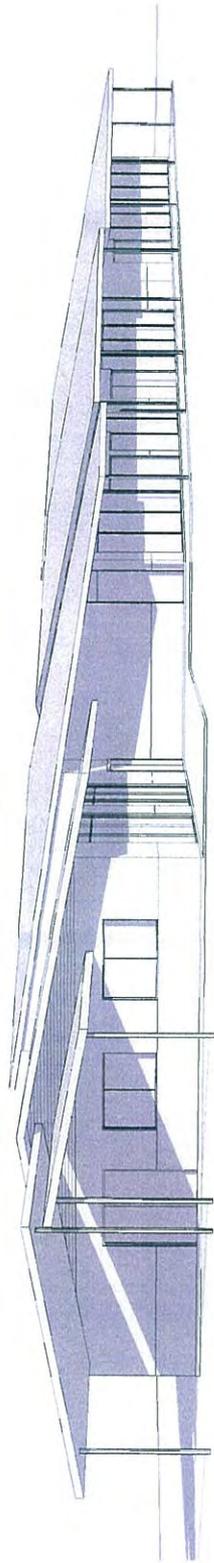
CARPENTARIA DISABILITY SERVICES
EARLY INTERVENTION SERVICES



FLOOR PLAN
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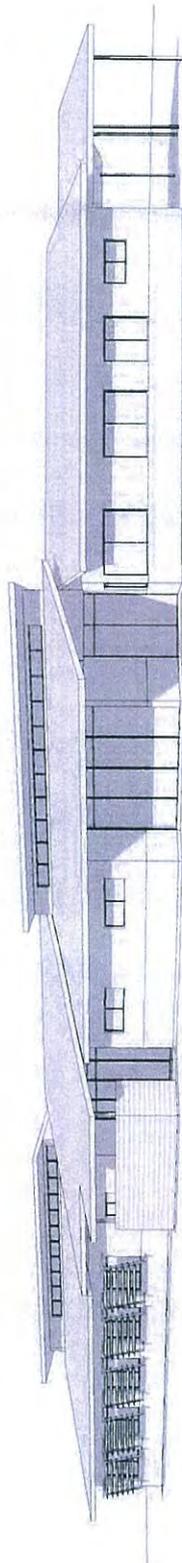






VIEW FROM ADMINISTRATION BUILDING

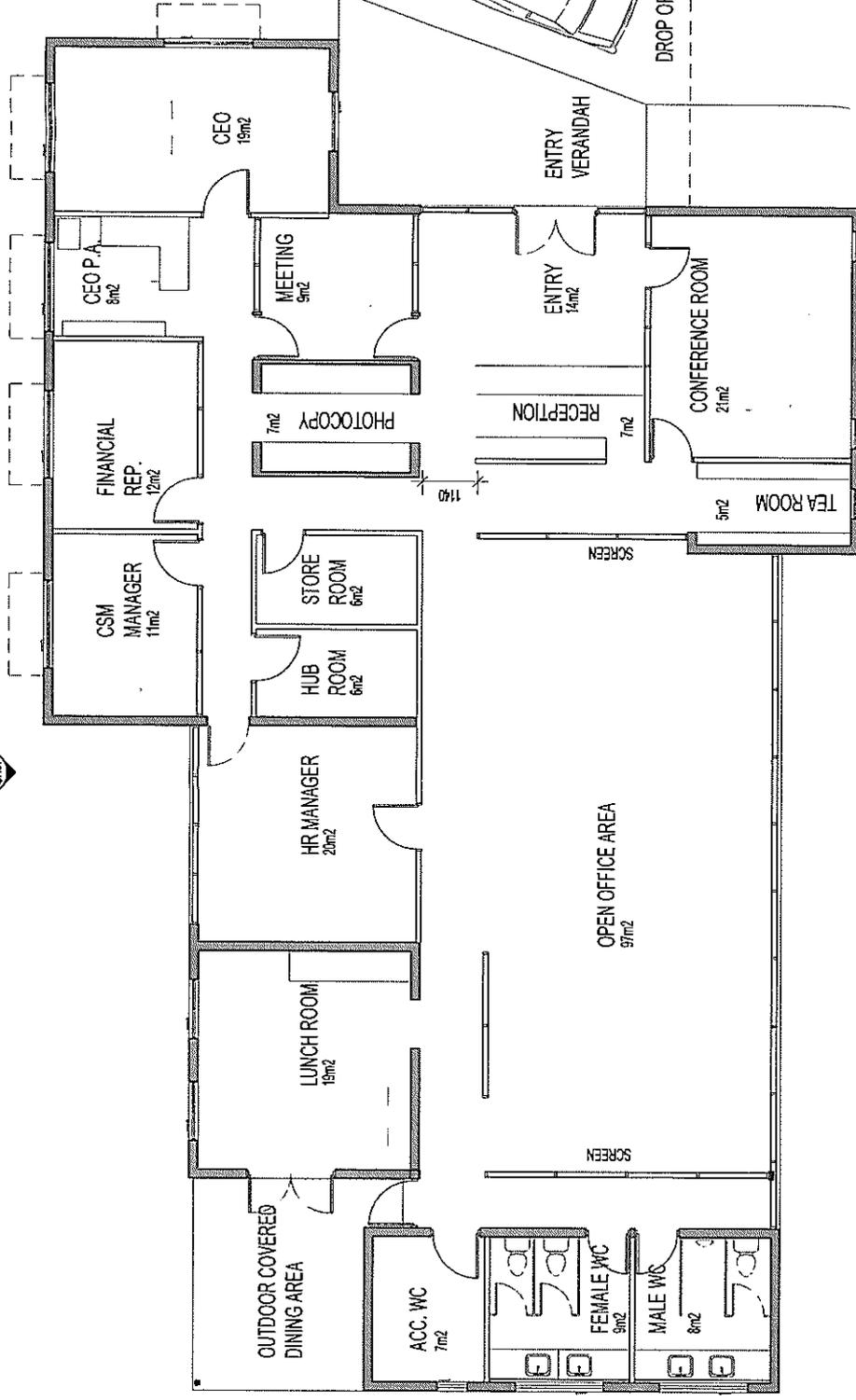
NTS



VIEW FROM HENBURY AVENUE

NTS

27990



15790



FLOOR PLAN

SCALE 1:100 @ A3



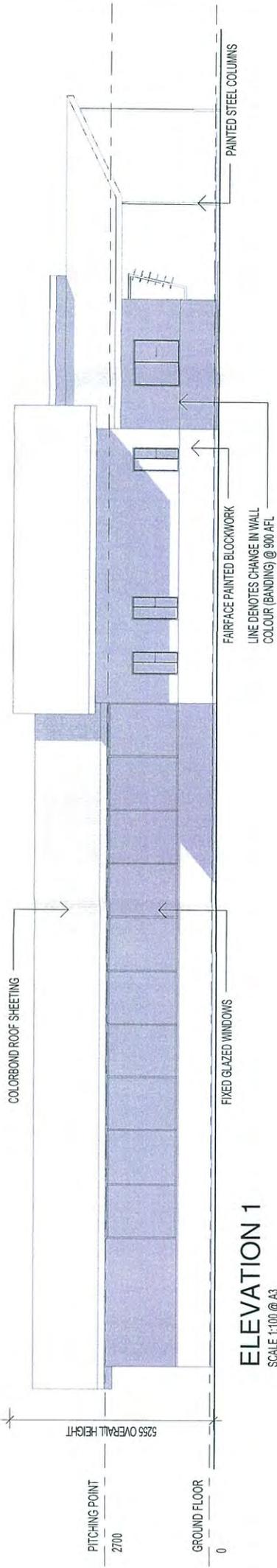
CARPENTARIA DISABILITY SERVICES
ADMINISTRATION

MA 1022-SK05

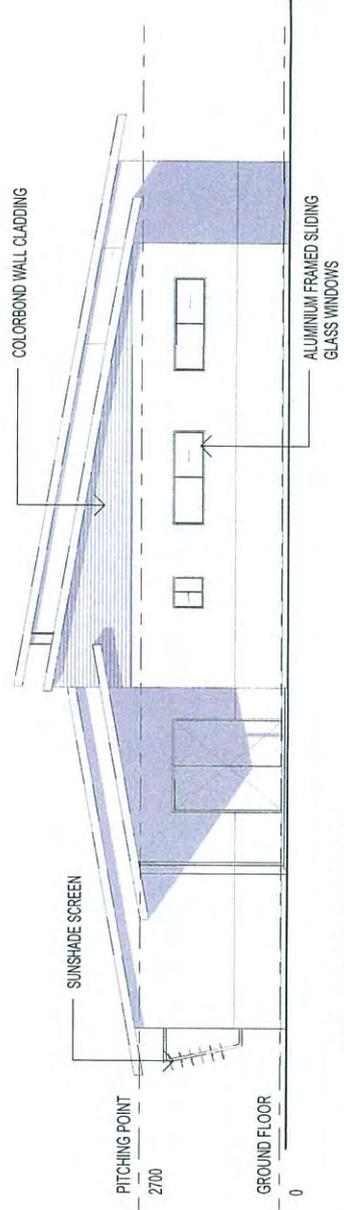
OCTOBER 2011

ARCHITECTURE
 PROJECT MANAGEMENT
 INTERIOR DESIGN

Unit 2090 Frances Bay Drive
 Stuart Park NT 0820
 Tel: (08) 9381 9329 Fax: (08) 9381 9375

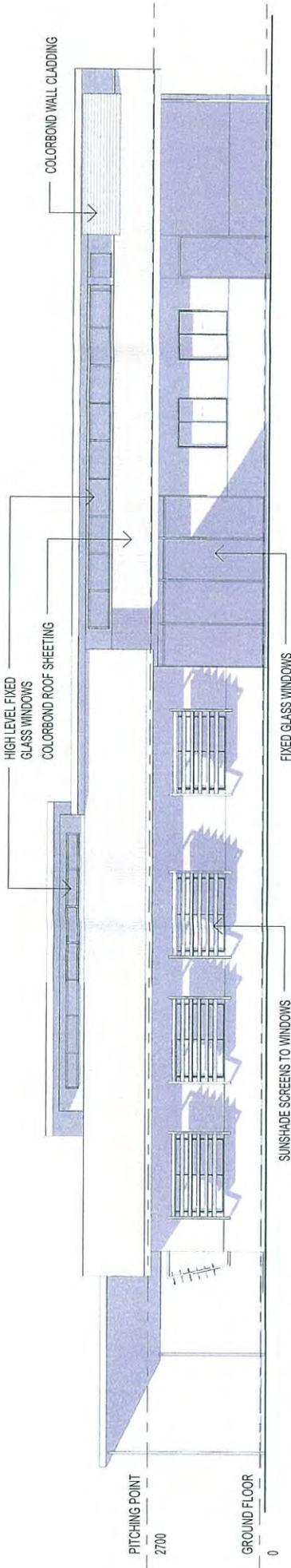


ELEVATION 1
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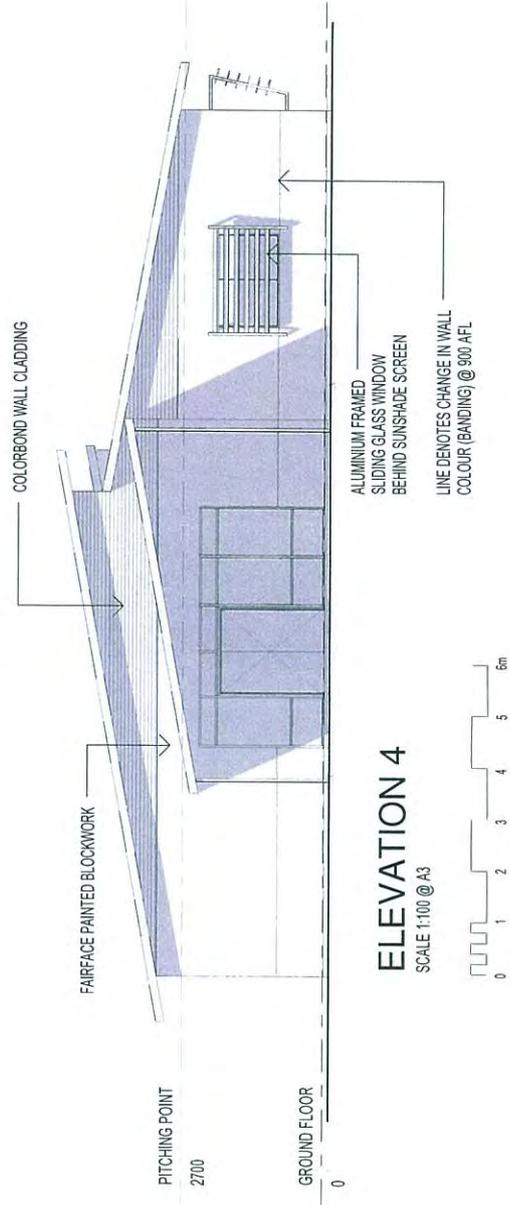
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ELEVATION 3

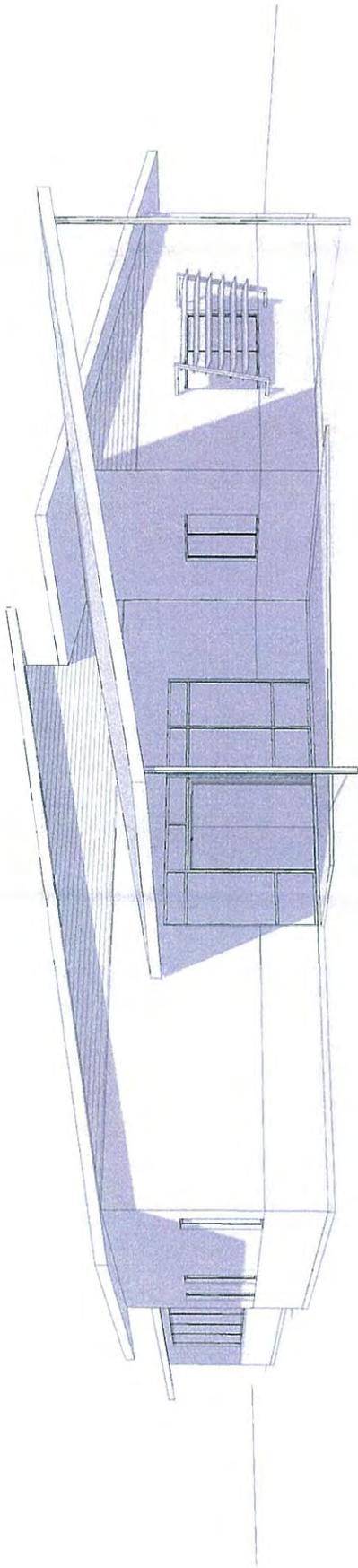
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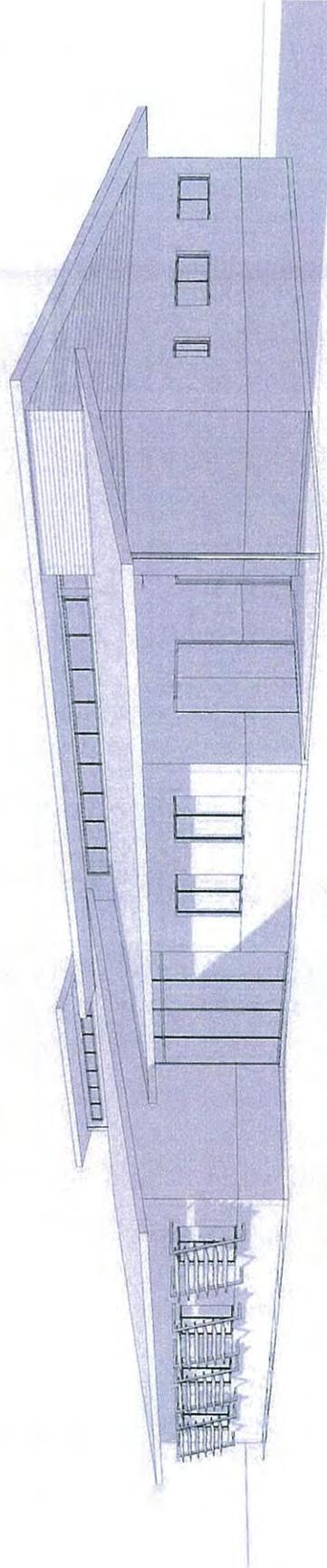
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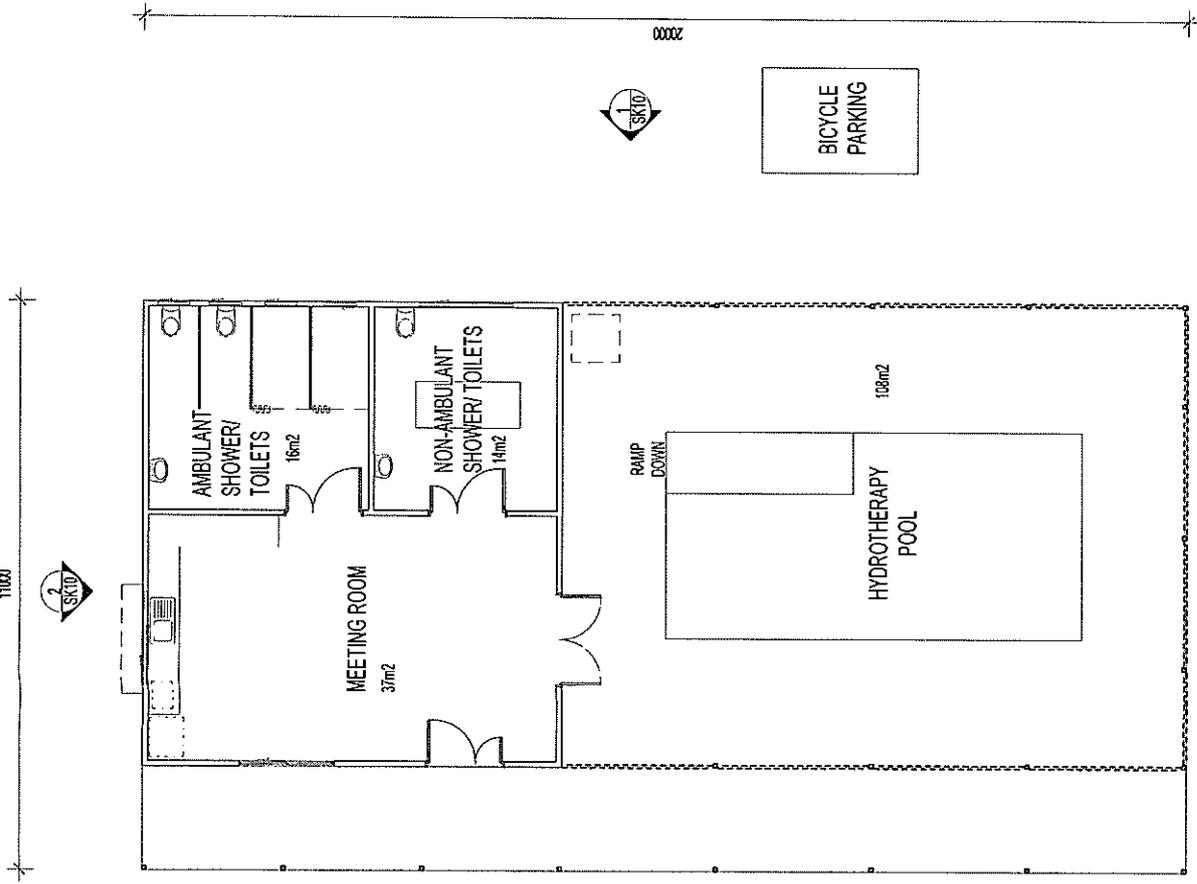


VIEW FROM HENBURY AVENUE
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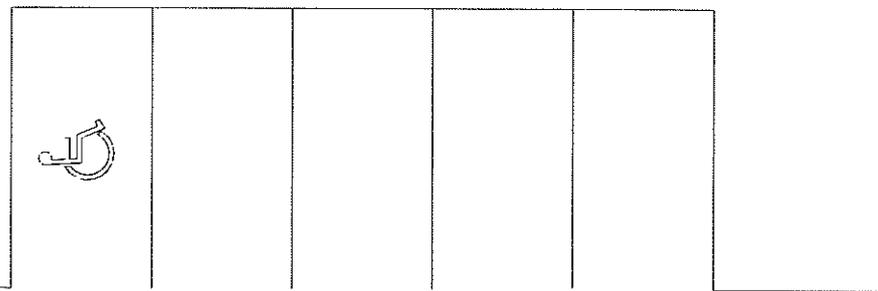


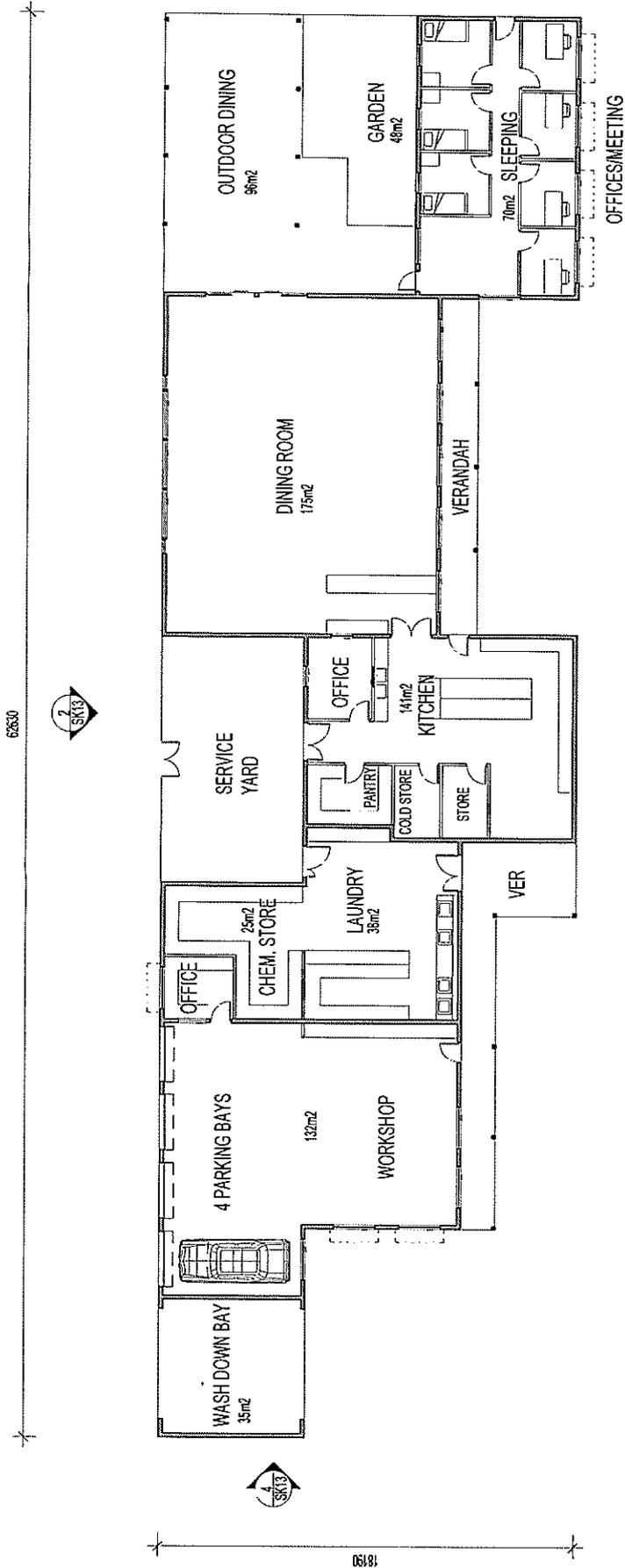
VIEW FROM DAY SERVICES
NTS

**CARPENTARIA DISABILITY SERVICES
 POOL FACILITY**



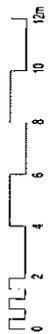
FLOOR PLAN
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FLOOR PLAN

SCALE 1:200 @ A3



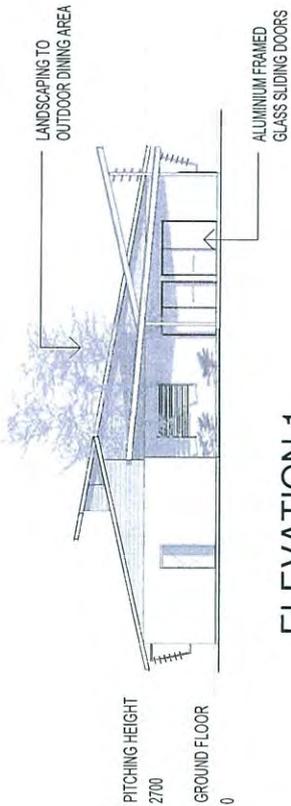
CARPENTARIA DISABILITY SERVICES
CENTRALISED SERVICES

MA1022-SK12
 OCTOBER 2011

ARCHITECTURE
 PROJECT MANAGEMENT
 INTERIOR DESIGN

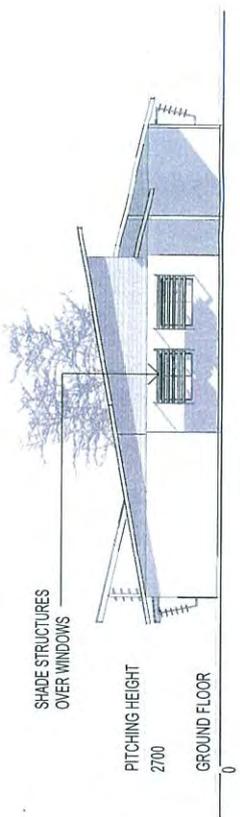
Unit 29/30 Frances Bay Drive
 Stuart Park NT 0820
 Tel: (08) 8950 3309 Fax: (08) 8941 2375





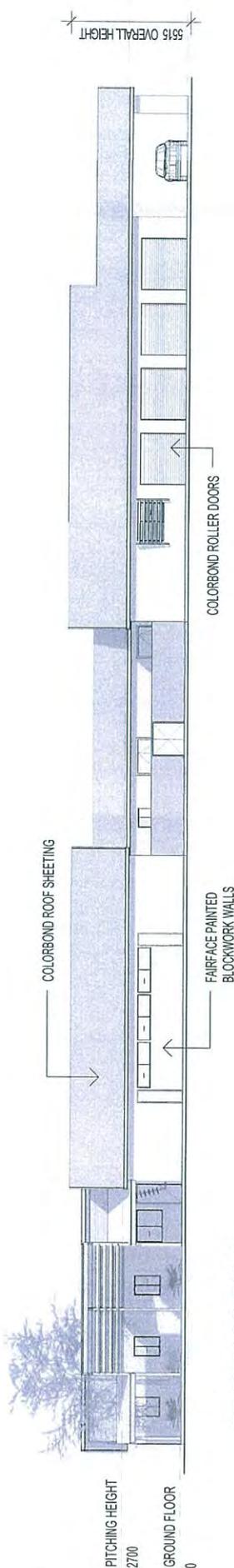
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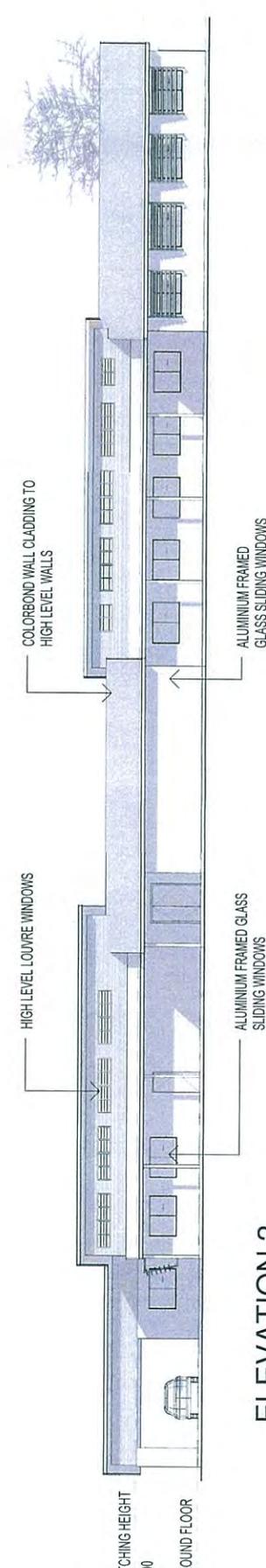
ELEVATION 4

SCALE 1:200 @ A3



ELEVATION 2

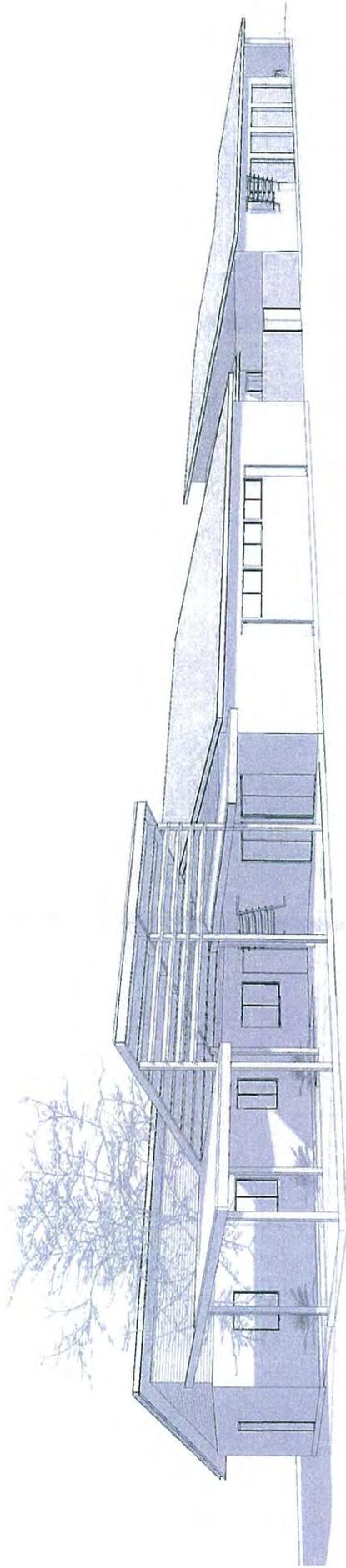
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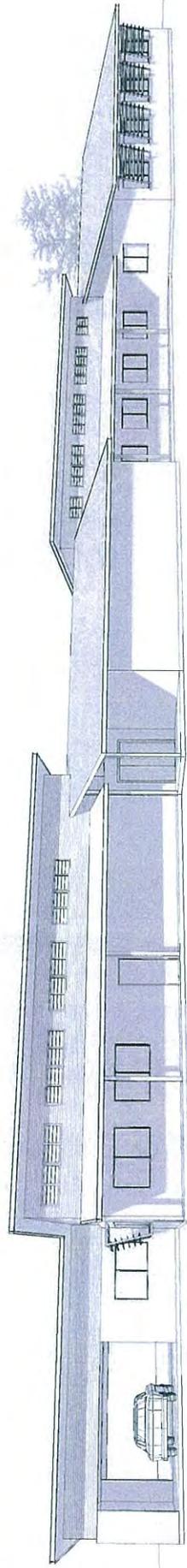
ELEVATION 3

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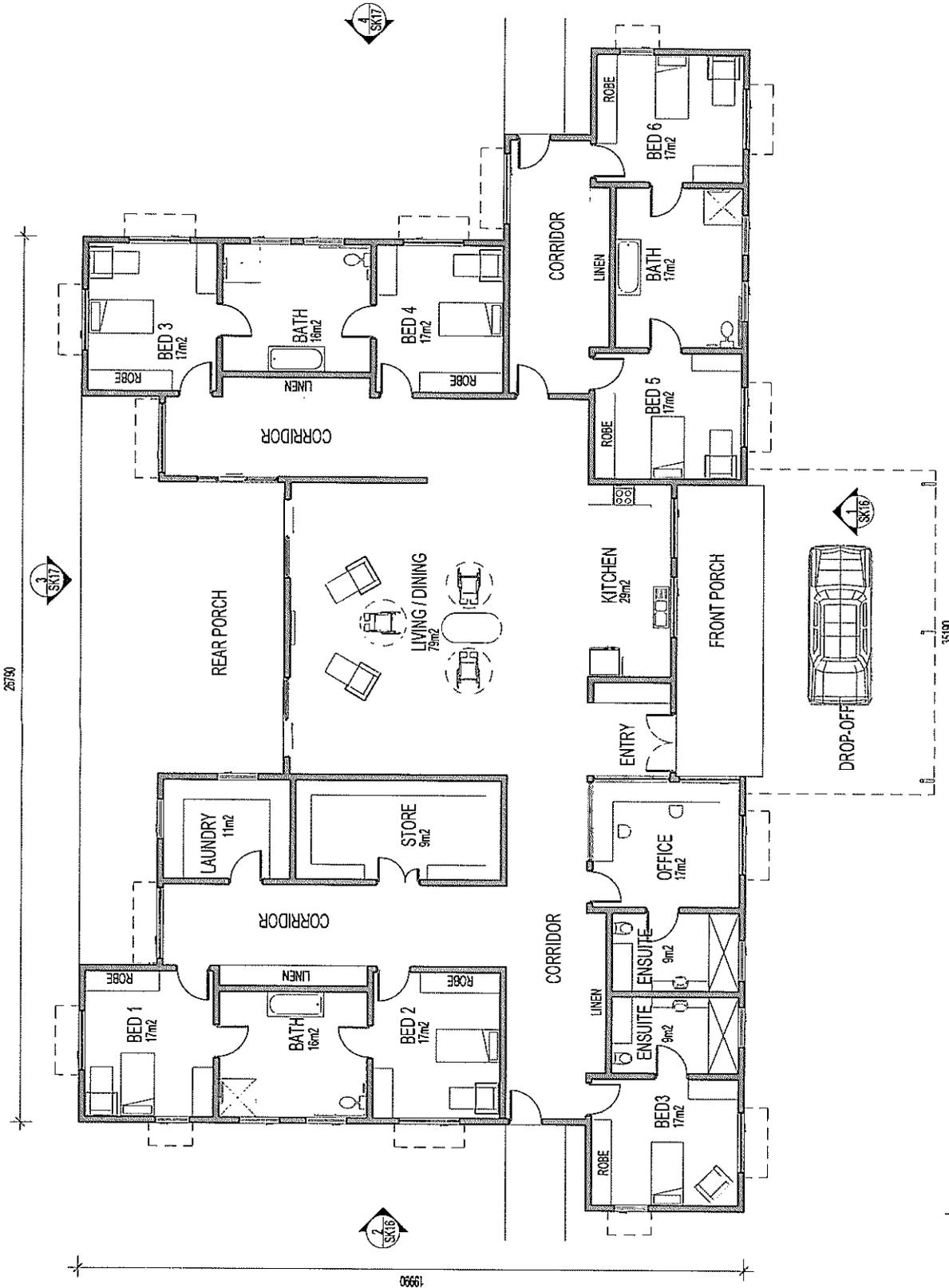




VIEW FROM DRIPSTONE MIDDLE SCHOOL
NTS

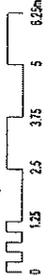


VIEW FROM POOL FACILITY
NTS



FLOOR PLAN

SCALE 1:125 @ A3



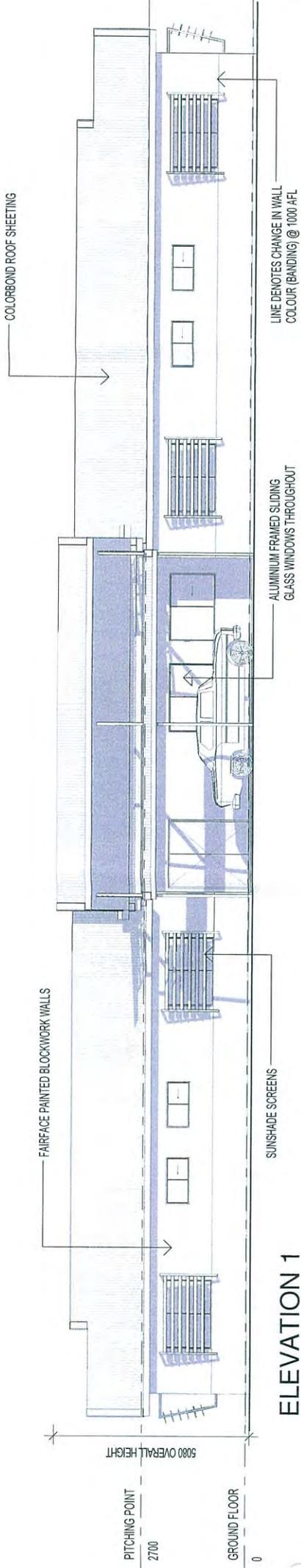
NORTH DIRECTION VARIES. REFER SITE PLAN.

**CARPENTARIA DISABILITY SERVICES
HIGH DEPENDENCY UNIT ACCOMMODATION**

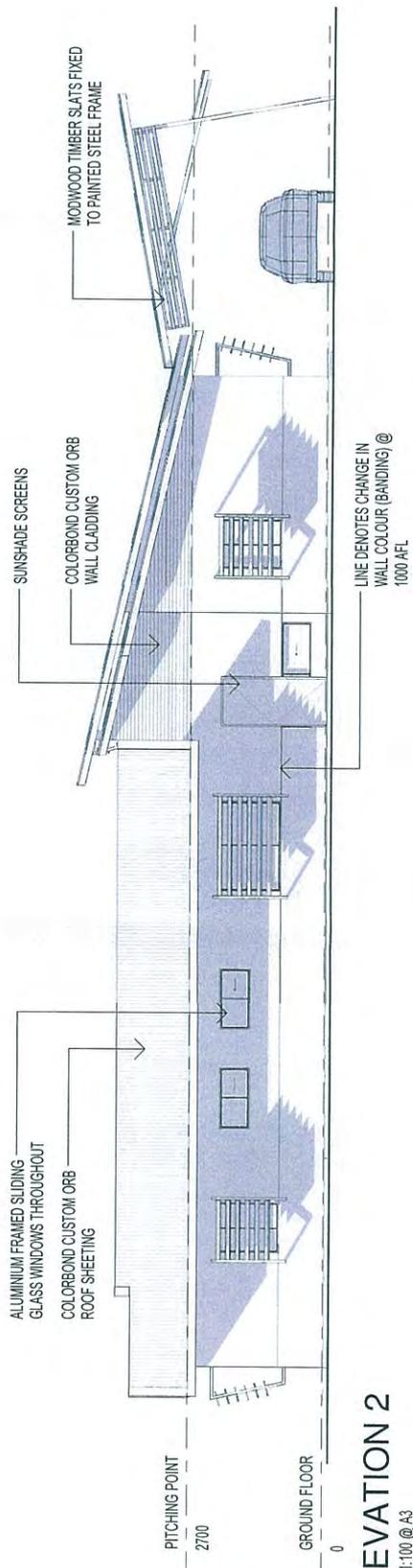
MA1022-SK15
OCTOBER 2011

ARCHITECTURE
PROJECT MANAGEMENT
INTERIOR DESIGN
Unit 1, 209/90 Frances Bay Drive
Stuart Park, NT 0820
Tel: (08) 9381 2298 Fax: (08) 9381 2275



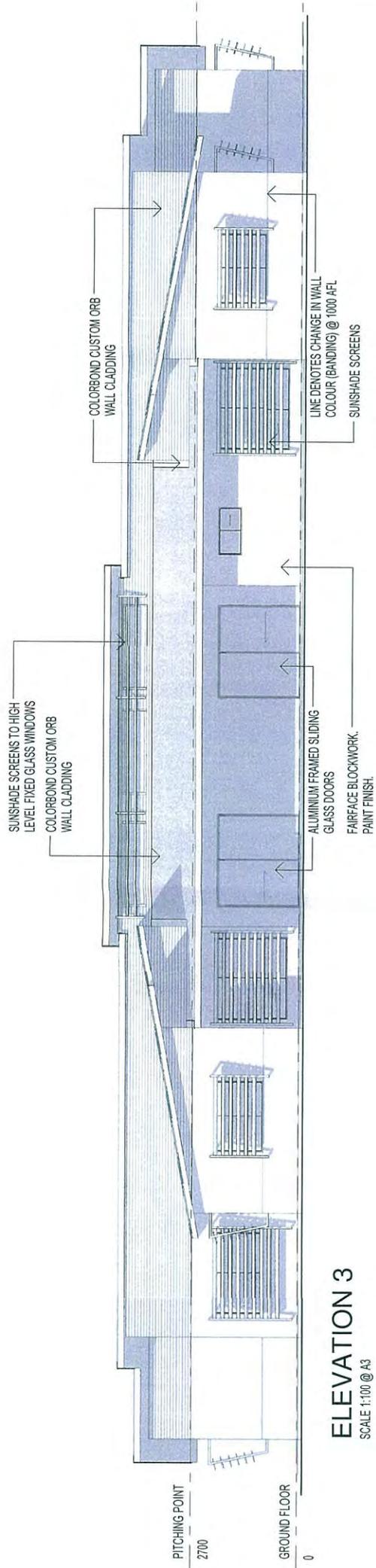


ELEVATION 1
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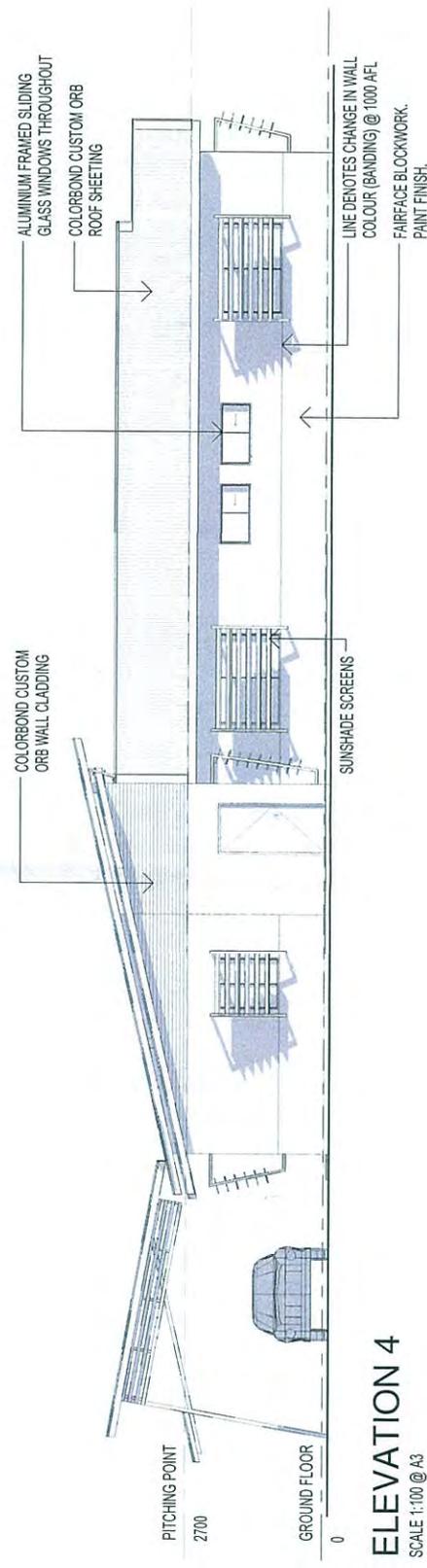


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SCALE 1:100 @ A3

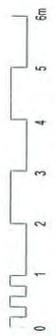


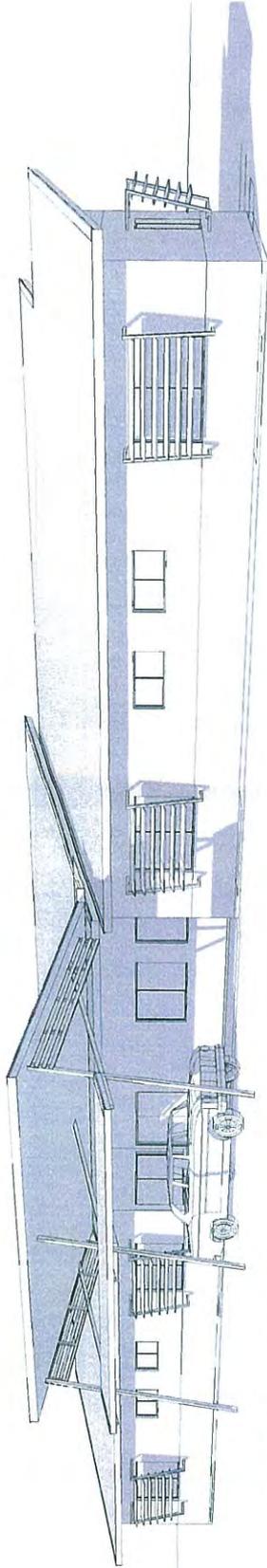


ELEVATION 3
SCALE 1:100 @ A3

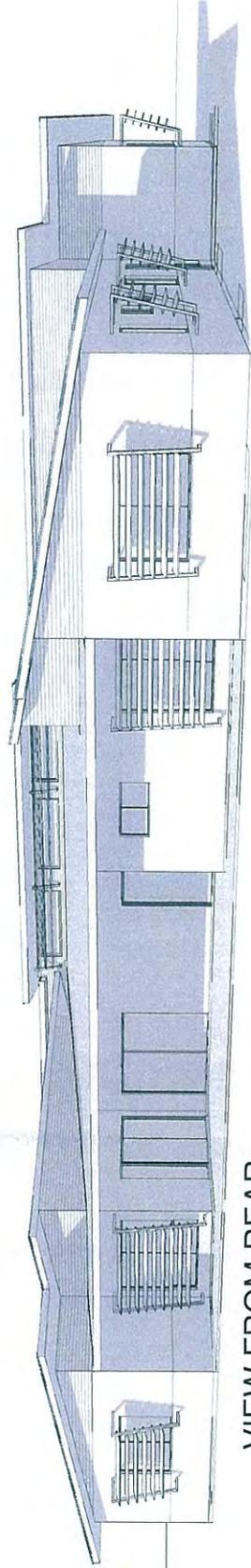


ELEVATION 4
SCALE 1:100 @ A3





VIEW TO ENTRY
NTS



VIEW FROM REAR
NTS

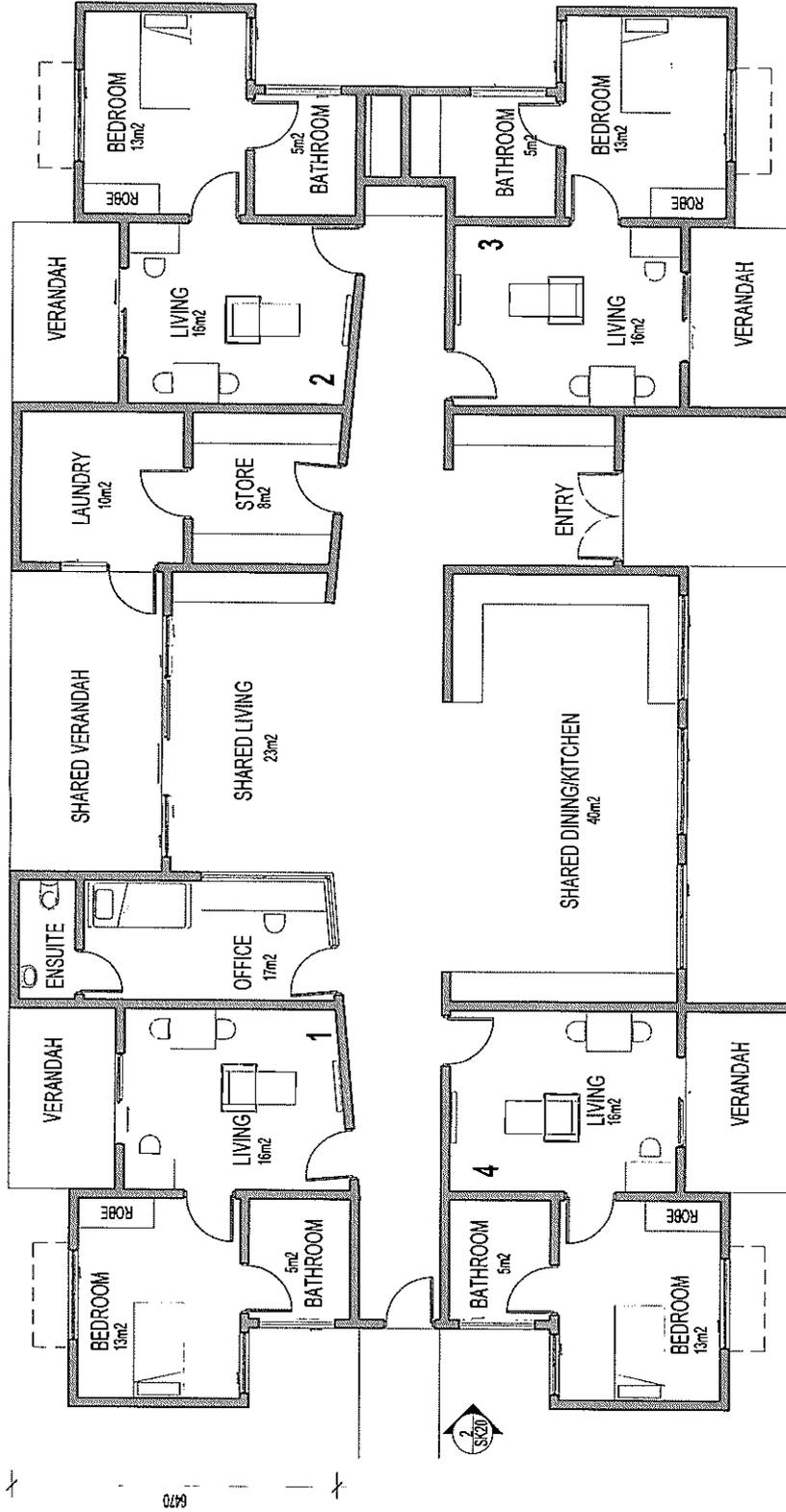
CARPENTARIA DISABILITY SERVICES
HIGH DEPENDENCY UNIT ACCOMMODATION

MA1022-SK18
OCTOBER 2011

ARCHITECTURE
PROJECT MANAGEMENT
INTERIOR DESIGN

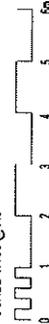
Unit 2890 Frances Bay Drive
Stuart Park, NT 0820
Tel: (608) 898-3308 Fax: (608) 898-2375

28180



FLOOR PLAN

SCALE 1:100 @ A3

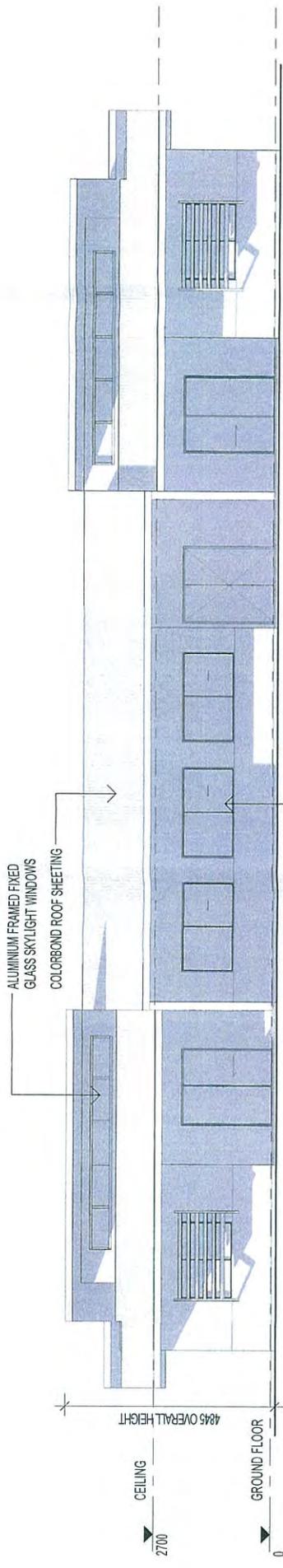


J. CARPENTARIA DISABILITY SERVICES
CHALLENGING BEHAVIOURS ACCOMMODATION

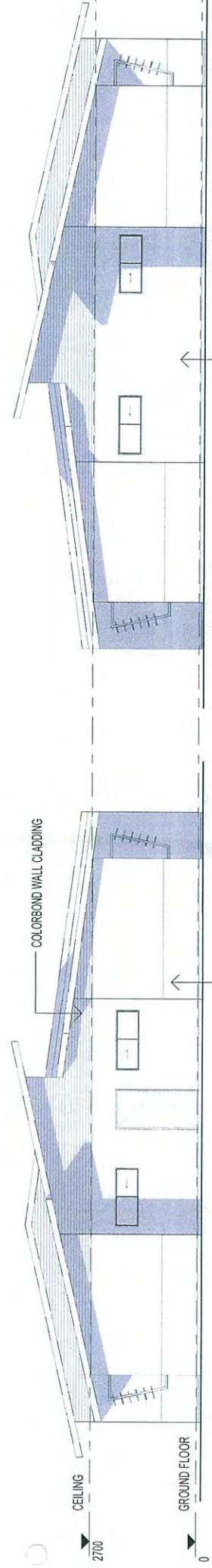
MA1022-SK19
 OCTOBER 2011

ARCHITECTURE
 PROJECT MANAGEMENT
 INTERIOR DESIGN

Unit 25/90 Francis Bay Drive
 Stuart Park, NT 0820
 Tel: (08) 8981 2062 Fax: (08) 8981 2075

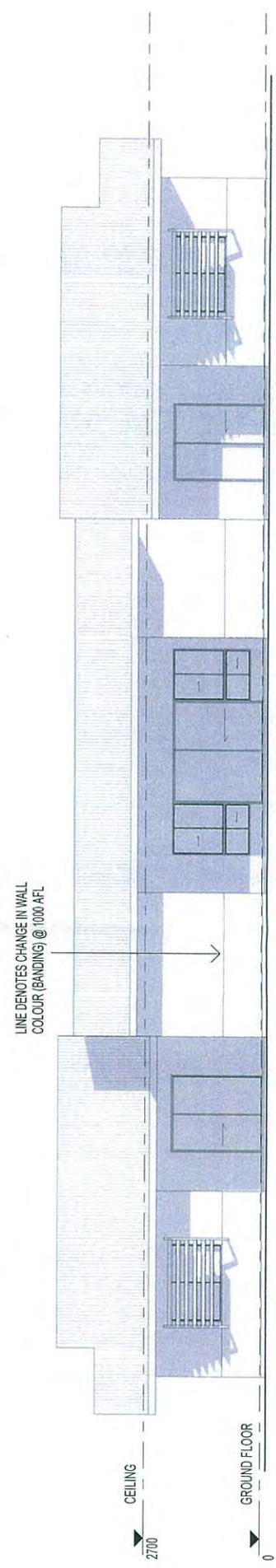


ELEVATION 1
SCALE 1:100 @ A3



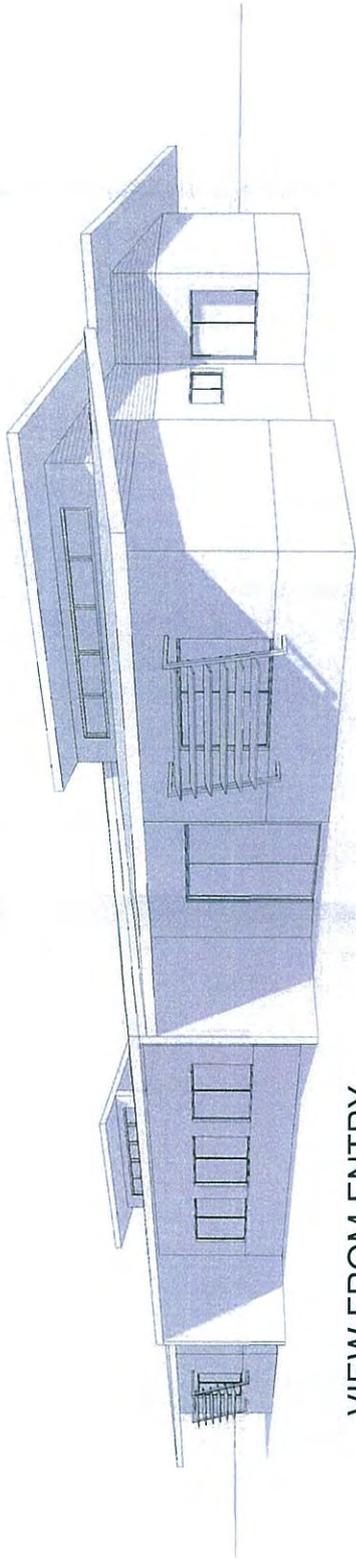
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ELEVATION 4
SCALE 1:100 @ A3

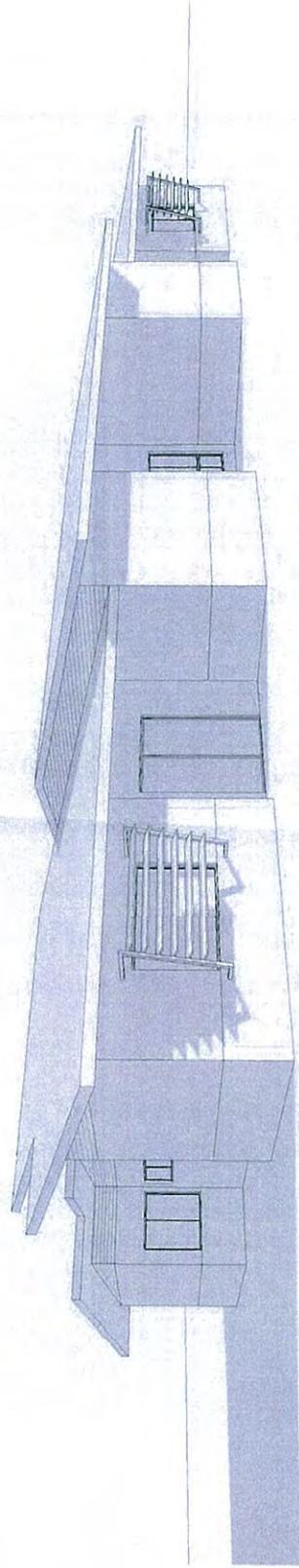


ELEVATION 3
SCALE 1:100 @ A3





VIEW FROM ENTRY
NTS



VIEW FROM REAR
NTS

SCARPENTARIA DISABILITY SERVICES
CHALLENGING BEHAVIOURS ACCOMMODATION

MA1022-SK21
OCTOBER 2011

ARCHITECTURE
PROJECT MANAGEMENT
INTERIOR DESIGN

Unit 29/50 Frances Bay Drive
Stuart Park, NT 0820
Tel: (08) 8981 3306 Fax: (08) 8981 2375

11 November 2011

Doug Lesh
Manager Urban Planning
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

REVISED

Parcel Description: Lot 7714 (37) Henbury Avenue Town of Nightcliff
Proposed Development: Staged supporting accommodation development with associated medical and administration services, in 7 new single storey buildings

Thank you for the Development Application referred to this office 26 October 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

i). **Council cannot support the granting of a Development Permit until the following issues are adequately addressed:**

a). **Traffic Study**

Council requests that the Consent Authority requires a traffic study (which includes vehicles, pedestrians and cyclists) in accordance with *Austroads Guide to Traffic Management Part 12: Traffic Impacts of Development* be undertaken by a suitably qualified traffic engineer on the impact of the proposed development on the surrounding road network, including the subject site's proposed access/egress point to Henbury Avenue. The traffic study and any works resulting from the traffic study, will be to the satisfaction of the General Manager Infrastructure and at no cost to Council.

b). **Waste Management**

Council requests the Authority require a Waste Management Plan demonstrating waste disposal, storage and removal in accordance with Council's Waste Management Policy 054. The applicant's plans fail to demonstrate adequate waste management.

-2-

A copy of Council's Waste Management Policy 054 may be viewed on Council's website or by contacting Council's Infrastructure department.

c). **Demountable Building**

The applicant's plans indicate that the Early Intervention Services Building is a demountable building. Any proposed demountable building should refer to Council's Land Use Planning General – 041 Policy. If the DCA provides approval for the demountable structure, Council requests that the following conditions be applied:

- The proposal for the demountable building or sea container meets the requirements of the Northern Territory Planning Scheme and should not impinge on any boundary setbacks required by the Planning Scheme;
- The demountable building is clad with an approved material, painted a uniform colour, have a pitched approved roof, concealed footings and be appropriately landscaped; and,

d). **Staged Development**

The applicant's plans indicate that the final design of the High Dependency Residential Accommodation Units (HDU's) will depend largely on patient needs and the extent of the Federal Government's funding. Council requests the Authority require the applicant submit plans for approval at such time that the designs of the HDU's are finalised.

ii). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **Council requests the Authority requires a schematic plan demonstrating all stormwater to be collected on the site and discharged underground to Council's stormwater drainage system.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged underground to Council's drainage network.
- 1). The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system.

- 2). Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into Council's stormwater drainage system. It is also necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties.

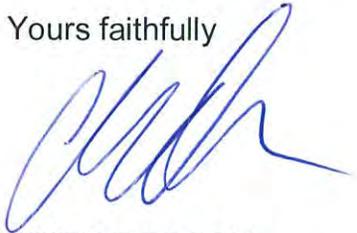
Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.
- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the General Manager Infrastructure, Darwin City Council and at no cost to Council.
- Kerb crossovers and driveways to the site shall be provided and disused crossovers removed, public footpath and cycleways shall be provided, stormwater shall be collected and discharged into Council's drainage network, and reinstatement works carried out, all to the requirements and satisfaction of the General Manager Infrastructure, Darwin City Council and at no cost to Council.
- Sight lines shall be provided at crossovers to public streets to the satisfaction of the General Manager Infrastructure, Darwin City Council. No fence or tree exceeding 0.6 metres in height shall be planted in front of the sight line.
- Any gate over an access to a public road shall be placed on the subject site at least 4.5m from the face of the kerb line of the adjoining public road.
- Car parking spaces and internal driveways shall meet the requirements of the relevant Australian Standard and be linemarked and sealed with an impervious material.
- The total number of required disabled car parking bays shall be met on site.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager Infrastructure, Darwin City Council.
- Any proposed signage for the site shall be subject to a separate assessment in accordance with Darwin City Council Policy Number 42 – Outdoor Advertising Signs Code.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Mrs Meredith Helen Clayton

ENCL: YES

DARWIN CITY COUNCIL

DATE: 17/11/2011

REPORT

TO:	TOWN PLANNING COMMITTEE MEETING /OPEN	APPROVED:	CR
FROM:	GENERAL MANAGER INFRASTRUCTURE	APPROVED:	DL
REPORT NO:	11TS0199 BS:fh	APPROVED:	LC
COMMON NO:	2135551		
SUBJECT:	VARIATION TO LIQUOR LICENCE - CAFÉ UNO LOT 6587 (69) MITCHELL STREET, TOWN OF DARWIN		

ITEM NO: 10.2**SYNOPSIS:**

This application from Café Uno is requesting the removal of the condition from their liquor licence that requires, table service only. The restaurant is located at Unit 4, 69 Mitchell Street, The Transit Centre (refer **Attachment A**).

This report recommends that Council raises no objection to this liquor licence application and has no comments.

GENERAL:

Café Uno has an existing restaurant liquor licence and has applied to the Liquor Commission to remove the condition "Liquor to be sold only by way of wait staff to patrons who are seated at a table". This will allow patrons to buy their alcohol directly from the internal bar. A further condition on their liquor licence prohibits the use of bar stools so there will be no sitting or standing at the bar to drink. All drinking will be done at the patrons table.

The serving of alcohol by bar staff over the bar, instead of wait staff at the table, is now common practice for the majority of restaurants in Darwin.

Applicant: Robyn Bodero**Name of Premises:** Café Uno**Current Condition to be removed:**

- Liquor to be sold only by way of wait staff to patrons who are seated at a table.

PAGE: 2
REPORT NO: 11TS0199 BS:fh
SUBJECT: VARIATION TO LIQUOR LICENCE - CAFÉ UNO
LOT 6587 (69) MITCHELL STREET, TOWN OF DARWIN

Trading Hours:

No changes to the trading hours have been proposed.

Council's Land Affected

No Council owned or controlled land is affected by the proposal.

Considerations under the Liquor Act

Grounds for Objection under Section 47F(2) of the Liquor Act

Pursuant to Section 47F(2) of the Liquor Act, an objection may only be made on the grounds that the granting of the licence may or will adversely affect:

- (a) the amenity of the neighbourhood where the premises, the subject of the application, are or will be located; or
- (b) the health, education, public safety or social conditions in the community.

Conclusion

There appears to be nothing related to this application which would be grounds for objection under Section 47F(2) of the Liquor Act.

Conditions to a Liquor Licence – Section 3 Objects of the Act & Section 6 Public Interest Criteria

The approval of removing the condition “Liquor to be sold only by way of wait staff to patrons who are seated at a table” is not expected to negatively affect the amenity of the surrounding area. This type of liquor licence is currently common practice and it reflects other restaurant liquor licences within the CB Zone.

Conclusion

There appears to be nothing related to this application which would require additional considerations or conditions of the proposed licence under Section 3 & 6 of the Liquor Act.

FINANCIAL IMPLICATIONS:

Nil.

STRATEGIC PLAN IMPLICATIONS:

The issues addressed in this report are in accordance with the following goals/strategies of the Darwin City Council 2008 – 2012 as outlined in the ‘Evolving Darwin Strategic Directions: Towards 2020 and Beyond’:-

PAGE: 3
REPORT NO: 11TS0199 BS:fh
SUBJECT: VARIATION TO LIQUOR LICENCE - CAFÉ UNO
LOT 6587 (69) MITCHELL STREET, TOWN OF DARWIN

1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin.

2.1.2 Develop and maintain a vibrant and active Central Business Area.

LEGAL IMPLICATIONS:

This issue is not considered confidential.

ENVIRONMENTAL IMPLICATIONS:

Not assessed.

PUBLIC RELATIONS IMPLICATIONS:

Not assessed.

COMMUNITY SAFETY IMPLICATIONS:

No community safety implications are expected from approval of this application.

DELEGATION:

Delegation not utilised.

CONSULTATION:

Strategic Town Planner

PROPOSED PUBLIC CONSULTATION PROCESS:

Nil.

APPROPRIATE SIGNAGE

Not applicable.

PAGE: 4
REPORT NO: 11TS0199 BS:fh
SUBJECT: VARIATION TO LIQUOR LICENCE - CAFÉ UNO
LOT 6587 (69) MITCHELL STREET, TOWN OF DARWIN

RECOMMENDATIONS:

- A. THAT Report Number 11TS0199 BS:fh entitled Variation to Liquor Licence – Café Uno for Lot 6587 Unit 4 (69) Mitchell Street Town of Darwin, be received and noted.
- B. THAT Council endorse the following comments to be forwarded to the Director of Licensing, Racing, Gaming and Licensing:
- i). Council raises no objection to the proposal under Section 47F(2) of the Liquor Act.
 - ii). Council has no comments in relation to the proposal taking into account the Objects of the Liquor Act as defined in Section 3 and 6 of the Liquor Act.

DROSSO LELEKIS
MANAGER DESIGN,
PLANNING & PROJECTS

LUCCIO CERCARELLI
GENERAL MANAGER
INFRASTRUCTURE

Any queries on this report may be directed to Cindy Robson, Strategic Town Planner on 8930 0683, or email c.robson@darwin.nt.gov.au

Request to the Liquor Licensing Commission for amendment to existing Liquor Licence Number 80516190.

Licensee: Via Appia Pty Ltd

Nominee: Robyn Narelle Bodero

Name of Premises: Café Uno

Address of Premises: 4/69 Mitchell Street, DARWIN NT 0800

Authority: Restaurant

Dated: 2nd of November, 2011.

Pages 1 of 3

D 6587
CH# 2/35551

Request to Amend the Licence to allow liquor to be purchased and served from the Bar.

Outline of History and Problems being experienced under the current conditions of our Liquor Licence.

Approximately 2 years ago Café Uno changed from a “Bill to the Table” after service to a “Pay as You Go”. Meaning that after patrons are seated at the table they have to go to the Cashier and order and pay for their meals and beverages before consumption.

The history behind this change mainly related to the large amount of “runners” that left after consuming their meals without paying for their purchases.

However, these changes have caused other problems and is affecting our business as the patron now has to leave his/her table and often stand in a long queue to order any additional beverage that they require. The outcome of this is agitated and often aggressive patrons venting their anger on our staff. Regularly we have patrons tell us they will not come back simply because they do not understand why they cannot go to the bar direct for a faster service but instead have to stand in a queue behind other patrons ordering and paying for their food whilst his/her food is on the table .

The current licence conditions also create a financial burden on the business in the quieter months of the year when we have few customers during the day and early evening. If we were able to take orders (food and beverage) and serve the beverage direct from the bar so as the patron could take the drink to his/her table we would be able to lower our operating cost.

Going forward with an Amendment to the current licence.

We do not anticipate this will increase the sale of alcohol in our venue but simply benefit our patrons by adding a service for them and also add to the profitability and long term viability of the business.

It is our belief that we will be able to retain our responsibility to the licence ensuring the Responsible Serving of Alcohol.

Café Uno does not see itself as in competition with the hotels and clubs that line Mitchell Street, our pricing structure for both food and beverage does not generally attract patrons that want to sit and drink for long periods of time. Generally speaking our patronage is made up of families, interstate and international business people and groups of people that want to enjoy some quiet time over a meal without the noise and excesses of other establishments close by.

We recount that our only desire for the amendment is for the benefit of our patrons as well as ensuring the ongoing profitability of the business.

Robyn Bodero (Nominee)

Via Appia Pty Ltd

t/as Café Uno

4/69 Mitchell Street,

Darwin.NT.0800.

Dated 2nd November, 2011.

Pages 3 of 3

ENCL: YES

DARWIN CITY COUNCIL

DATE: 15/11/2011

REPORT

TO:	TOWN PLANNING COMMITTEE MEETING /OPEN B	APPROVED:	CR
FROM:	GENERAL MANAGER INFRASTRUCTURE	APPROVED:	DL
REPORT NO:	11TS0203 BS:fh	APPROVED:	LC
COMMON NO:	2066757		
SUBJECT:	ON LIQUOR LICENCE APPLICATION VIVA LA VIDA WINE AND TAPAS BAR LOTS 2356 & 2357 (48 & 50) THE MALL - TOWN OF DARWIN		

ITEM NO: 10.3**SYNOPSIS:**

This application is for an On Licence to sell liquor from a restaurant known as Viva La Vida Wine and Tapas Bar (refer **Attachment A**). The restaurant will be located in the CB (Central Business) Zone adjacent to Raintree Park within the Paspalis Centre Point Building. The application includes Alfresco Dining within Rain Tree Park.

This report recommends that Council raises no objection to this liquor licence application, however raises a comment in relation to this application.

GENERAL:

The liquor licence application is proposing to use a portion of the newly constructed under covered area in Raintree Park, which was developed as a part of Council's MY0800 Project for this purpose. Paspalis Centre Point Management (owners of the adjoining Centre Point Building) has been issued a lease covering the entire area within Raintree Park. The lease allows alfresco dining within this area provided the alfresco dining proposal complies with Council's Policy 011, Outdoor Dining.

However it has been noted, that in this application planning approval for the use has not been obtained from the Development Consent Authority. This is required prior to the business being able to operate their outdoor dining area. Records show that a development permit has been issued covering the internal area of the business only. The applicant has confirmed that a development application for the proposed use has been submitted to the Development Consent Authority.

PAGE: 2
 REPORT NO: 11TS0203 BS:fh
 SUBJECT: ON LIQUOR LICENCE APPLICATION
 VIVA LA VIDA WINE AND TAPAS BAR
 LOTS 2356 & 2357 (48 & 50) THE MALL - TOWN OF DARWIN

Applicant: Fatchops Pty Ltd

Name of Premises: Viva La Vida Wine and Tapas Bar

Proposed Conditions:

- *The licence allows for one (1) quality restaurant and ancillary bar. The premises shall at all times have the predominant appearance of and shall trade principally as a restaurant where persons may consume alcohol without the requirement of consuming a meal.*
- *All patrons within the alfresco area must be seated in order to promote the restaurant concept. High tables or bar stools are not permitted in the alfresco area.*
- *This licence allows for patrons to stand in the internal wine bar area. Service of liquor in this area need not be by wait staff. Snack foods must be available for food consumption within this space. Bar stools are permitted in this area.*
- *The licensee may from time to time utilise the inside licenced area as a function area. For functions that do not include the provision of a meal, snack foods are to be offered to all persons in attendance. "Offered" is to be interpreted as the actual offer of food by way of waitperson service to persons attending or by way of a buffet dedicated to the approved function. Patrons are permitted to stand inside the licenced premises during an organised function.*

Trading Hours:

The proposed trading hours are as follows:

Liquor may be sold from 11:30 hours until 02:00 hours the following day, seven days a week.

Council's Land Affected

Council owned land is affected by this application. The area is the new under covered area constructed as part of the Council's MY0800 Project. This entire area has been leased to Paspalis Centre Point Management. Paspalis Centre Point Management subsequently sub-lease the area to their tenants and as such, are responsible for this area.

Considerations under the Liquor Act

Grounds for Objection under Section 47F(2) of the Liquor Act

Pursuant to Section 47F(2) of the Liquor Act an objection may only be made on the grounds that the grant of the licence may or will adversely affect:

PAGE: 3
 REPORT NO: 11TS0203 BS:fh
 SUBJECT: ON LIQUOR LICENCE APPLICATION
 VIVA LA VIDA WINE AND TAPAS BAR
 LOTS 2356 & 2357 (48 & 50) THE MALL - TOWN OF DARWIN

- (a) *The amenity of the neighbourhood where the premises the subject of the application are or will be located; or*
- (b) *The health, education, public safety or social conditions in the community.*

There appears to be nothing related to this application which would be grounds for objection under Section 47F(2) of the Liquor Act.

Conditions to a Liquor Licence – Section 3 Objects of the Act & Section 6 Public Interest Criteria

Council purpose built the subject area under the MY0800 Project with the intention it would be used for outdoor dining. The approval of the On Licence to allow for consumption of liquor within this area is expected to be complementary to the outdoor dining experience. Approving the liquor licence is not expected to negatively affect the amenity of the surrounding area, as this type of liquor licence is currently common practice and it reflects other restaurant licences within the CB Zone.

Council's liquor licence conditions as per Council's Policy 011, Outdoor Dining have been included in the recommendations.

FINANCIAL IMPLICATIONS:

Nil.

STRATEGIC PLAN IMPLICATIONS:

The issues addressed in this report are in accordance with the following goals/strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

- 1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin.
- 2.1.2 Develop and maintain a vibrant and active Central Business Area.

LEGAL IMPLICATIONS:

This issue is not considered confidential.

ENVIRONMENTAL IMPLICATIONS:

Not assessed.

PAGE: 4
REPORT NO: 11TS0203 BS:fh
SUBJECT: ON LIQUOR LICENCE APPLICATION
VIVA LA VIDA WINE AND TAPAS BAR
LOTS 2356 & 2357 (48 & 50) THE MALL - TOWN OF DARWIN

PUBLIC RELATIONS IMPLICATIONS:

Not assessed.

COMMUNITY SAFETY IMPLICATIONS:

No community safety implications are expected from approval of this application.

DELEGATION:

Delegation not utilised for this application.

CONSULTATION:

Nil.

PROPOSED PUBLIC CONSULTATION PROCESS:

Nil.

APPROPRIATE SIGNAGE

Not applicable.

PAGE: 5
REPORT NO: 11TS0203 BS:fh
SUBJECT: ON LIQUOR LICENCE APPLICATION
VIVA LA VIDA WINE AND TAPAS BAR
LOTS 2356 & 2357 (48 & 50) THE MALL - TOWN OF DARWIN

RECOMMENDATIONS:

- A. THAT Report Number 11TS0203 BS:fh entitled: On Liquor Licence Application for Viva La Vida Wine and Tapas Bar, Lots 2356 & 2357 (48 & 50) The Mall, Town of Darwin, be received and noted.
- B. THAT Council endorse the following comments to be forwarded to the Director of Licensing, Racing, Gaming and Licensing:
- i). Council raises no objection to the proposal under Section 47F(2) of the Liquor Act.
 - ii). Council has the following comments in relation to the proposal taking into account the Objects of the Liquor Act as defined in Sections 3 & 6 of the Liquor Act:
 - a) Any licence granted should not include any public footpath which does not form part of the applicants Alfresco Dining Area.
 - b) It has been noted that planning approval has not been obtained from the Development Consent Authority to carry out the proposed use on Lot 2358, (52) The Mall, Raintree Park.
 - iii). Council requests the following conditions be placed on the licence in relation to the Alfresco Dining Area, which is located on Council owned land:
 - a). Patrons shall consume alcohol only whilst seated at a table. Bar stools and raised tables will not be approved.
 - b). The area shall at all times have the appearance of and trade predominantly as a dining area.
 - c). Noise levels shall be limited to a level that would not cause unreasonable disturbance.
 - d). The alfresco area is to be occupied in accordance with Council's Policy 011, Outdoor Dining.

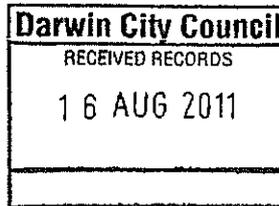
DROSSO LELEKIS
MANAGER DESIGN,
PLANNING & PROJECTS

LUCCIO CERCARELLI
GENERAL MANAGER
INFRASTRUCTURE

Any queries on this report may be directed to Brian Sellers, Planning Officer on extension 5683.

Licensing, Regulation and Alcohol Strategy
First Floor Enterprise House
28 - 30 Knuckey Street
Darwin NT

Senior Planner
Darwin City Council
GPO Box 84
Darwin NT 0801



Postal address
GPO Box 1154
Darwin NT 0801

Tel: (08) 8999 1800
Fax: (08) 8999 7498
Email: lr.doj@nt.gov.au
Web: www.nt.gov.au/justice/licenreg

Our ref: 2011-6657

Dear Sir/Madam

RE: Liquor Licence Application for Viva La Vida Wine and Tapas Bar

An application for an "ON LICENCE" liquor licence has recently been received from Fatchops Pty Ltd for the proposed premises to be known as the "Viva La Vida Wine and Tapas Bar", located at Shop M19 and M18B, Paspalis Centre Point Building, 48 - 50 Smith Street Mall Darwin, in the Northern Territory.

Please provide any comments you might have in relation to the application taking into account the Objects of the *Liquor Act* (the Act) as defined in section 3 of the Act. Your comments should relate to the matters the Commission must consider when assessing an application, as detailed in section 6 and 28 of the Act.

The purpose of this request is to assist the Director in investigating the application and making recommendations to the Commission. It is not an avenue for the lodging of an objection to the application or an opportunity to raise concerns in relation to neighbourhood amenity, which would more appropriately be dealt with by way of objection under section 47F of the Act.

A copy of the Application (including the applicant's detailed response to section 6(2), advertisement and site plans are enclosed for your reference. A copy of section 3, 6 and 28 of the Act are also attached.

Your comments, if any, should be received by this office no later than **Monday, 12th September 2011**.

If you require any further information in relation to the above, please contact me on telephone 8999 1348 or via email travis.tewhata@nt.gov.au.

Yours sincerely

A handwritten signature in black ink, appearing to read "Travis Te Whata".

Travis Te Whata
Licensing Inspector

12 August 2011

1) Public Interest

6.

(2) For subsection (1), the criteria are the following:

- (a) harm or ill-health caused to people, or a group of people, by the consumption of liquor is to be minimised;

See House Policy – Responsible Service of Alcohol (Pg 4)

- (b) liquor is to be sold, or sold and consumed, on licensed premises in a responsible manner;

See House Policy – Responsible Service of Alcohol (Pg 4)

- (c) public order and safety must not be jeopardised, particularly where circumstances or events are expected to attract large numbers of persons to licensed premises or an area adjacent to those premises;

The Licensee shall comply with the requirements or instructions of an Authorised Member of the Northern Territory Fire and Rescue Service appointed under the Fire and Emergency Act (fire plan to be established in conjunction with Bell Gobbert and Associates during design development)

- (d) the safety, health and welfare of persons who use licensed premises must not be put at risk;

The Licensee shall comply with the requirements of the Chief Health Officer appointed under the Public Health Act and his delegates with respect to the requirements of that Act, the Food Act and any other Territory legislation. See House Policy – Duty of Care (Pg 2)

- (e) noise emanations from licensed premises must not be excessive;

See Business Plan – 4. Business Profile (Pg 9)

- (f) business conducted at licensed premises must not cause undue offence, annoyance, disturbance or inconvenience to persons who reside or work in the neighbourhood of the premises or who are making their way to or from, or using the services of, a place of public worship, hospital or school;

See Business Plan – 4. Business Profile (Pg 9)

- (g) a licensee must comply with provisions of this Act and any other law in force in the Territory which regulate in any manner the sale or consumption of liquor or the location, construction or facilities of licensed premises, including:
- (i) by-laws made under the *Local Government Act*; and
 - (ii) provisions of or under the *Planning Act*;

- (h) each person involved in the business conducted at licensed premises must receive suitable training relevant to the person's role in the conduct of the business;

See House Policy – Responsible Service of Alcohol (Pg 4). See Employee RSA Register.

- (i) the use of credit in the sale of liquor must be controlled;

See House Policy – Use of Credit for Alcohol Sales (Pg 4)

- (j) practices which encourage irresponsible drinking must be prohibited;

See House Policy – Responsible Service of Alcohol (Pg 4)

- (k) it may be necessary or desirable to limit any of the following:

- (i) the kinds of liquor that may be sold;
- (ii) the manner in which liquor may be sold;
- (iii) the containers, or number or types of containers, in which liquor may be sold;
- (iv) the days on which and the times at which liquor may be sold;

See Business Plan – 5. Products and Services (Pg 11) and 8.2 Hours of Operation (Pg 15)

- (l) it may be necessary or desirable to prohibit persons or limit the number of persons who may be on licensed premises, on any particular part of licensed premises or in an adjacent area subject to the control of the licensee;

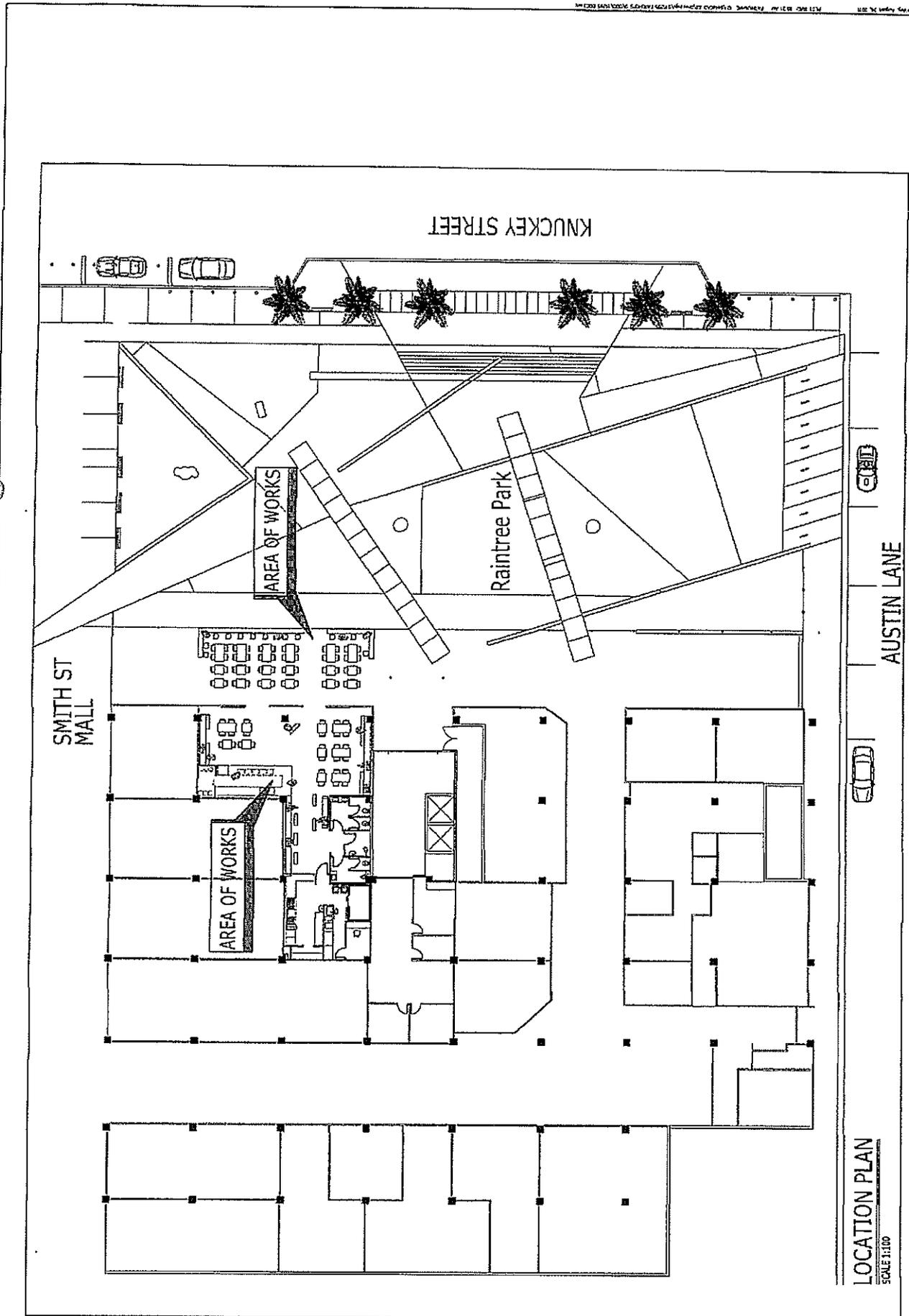
subject to development, design, building approval

- (m) it may be necessary or desirable to prohibit or limit the entertainment, or the kind of entertainment, which may be provided on licensed premises or in an adjacent area under the control of the licensee;

See Business Plan – 4. Business Profile (Pg 9)

- (n) it may be necessary or desirable to prohibit or limit promotional activities in which drinks are offered free or at reduced prices;

See House Policy – Marketing (Pg 2)



LOCATION PLAN
SCALE 1:100

ALL PROPOSED WORK IS TO BE CONFORMED TO THE REQUIREMENTS OF THE LOCAL GOVERNMENT'S PLANNING AND DEVELOPMENT DEPARTMENT.	
DATE: 11/11/11	SCALE: 1:100
PROJECT: PROPOSED RESTAURANT AND BAR	VERSION: A1-00
DRAWN BY: M. J. P.	CHECKED BY: M. J. P.
DATE: 11/11/11	SCALE: 1:100
PROJECT NO. 11/11/11-11/11/11 IS DCC APPLICATION FOR PASPALS CENTREPOINT BUILDING PROPOSED RESTAURANT AND BAR LOCATED AT LOTS 2356 & 2357 SMITH STREET	
WELL: ATHERTON	
ILLI WARRIANT ASSOCIATES One 271, Greenfield Road, Brisbane QLD 4000 Ph: (07) 3841 1177 Fax: (07) 3841 1177 Email: info@illi.com.au www.illi.com.au	
FIELD COPY	
DRAWING:	
- BOUNDARY AREA OF	- EXISTING LEVELS
- PROPOSED LEVELS	- C/L
- EXISTING CURTAIN	-
ILLI WARRIANT ASSOCIATES PTY LTD	
PROJECT NUMBER:	
DRAWN BY:	
CHECKED BY:	
DATE:	
SCALE:	
PROJECT:	
VERSION:	

LIQUOR ACT

1st NOTICE OF APPLICATION FOR A
LICENCE TO SELL LIQUOR

VIVA LA VIDA WINE AND TAPAS BAR

atchrops Pty Ltd, HEREBY GIVE NOTICE that it has applied to the Northern Territory Licensing Commission for a "ON LICENCE" Liquor Licence with Alfresco Dining to sell liquor at the premises to be known as Viva la Vida Wine and Tapas Bar, located at Shop M19 and M18B, Caspals Centre Point Building, 48 - 50 Smith Street Mall, Darwin NT.

PROPOSED TRADING DETAILS for the sale of liquor are as follows:

- This licence allows for one (1) quality restaurant and ancillary bar. The premises shall at all times have the predominant appearance of and shall trade principally as a restaurant where persons may consume alcohol without the requirement of consuming a meal.
- All patrons within the alfresco area must be seated in order to promote the restaurant concept. High tables or bar stools are not permitted in the alfresco area.
- This licence allows for patrons to stand in the internal wine bar area. Service of liquor in this area need not be by wait staff. Snack foods must be available for food consumption within this space. Bar stools are permitted in this area.
- The Licensees may from time to time utilise the inside licensed area as a function area. For functions that do not include the provision of a meal, snack foods are to be offered to all persons in attendance. "Offered" is to be interpreted as the actual offer of food by way of wait person service to persons attending or by way of a buffet dedicated to the approved function. Patrons are permitted to stand inside the licensed premises during an organised function.
- Liquor may be sold from 11:30 hours until 02:00 hours (the following day), seven days a week.

This is the first notice of application. The notice will be published again on Friday, 12 August 2011.

The objection period is deemed to commence from Friday, 12 August 2011. (date of publication of second notice).

Pursuant to Section 47F(2) of the Liquor Act an objection may only be made on the ground that the grant of the licence may or will adversely affect:

- (a) the amenity of the neighbourhood where the premises the subject of the application are or will be located; or
- (b) the health, education, public safety or social conditions in the community.

Only those persons, organisations or groups described in Section 47F(3) of the Liquor Act may make an objection. Section 47G of the Liquor Act requires the Director of Licensing to inform the applicant of the substance of any objection. This will include the identity and where relevant the address of the objector.

For further information regarding this application contact the Director of Licensing on telephone 8999 1800. Objections to this application should be lodged in writing with the Director of Licensing, Licensing, Regulation and Alcohol Strategy, GPO Box 1154, Darwin, within thirty (30) days of the commencement date of the objection period.

Dated this Tenth Day of August 2011.

ENCL: YES

DARWIN CITY COUNCIL

DATE: 02/11/2011

REPORT

TO: TOWN PLANNING COMMITTEE MEETING /OPEN B **APPROVED:** CR
FROM: GENERAL MANAGER INFRASTRUCTURE **APPROVED:** DL
REPORT NO: 11TS0201 JS:fh **APPROVED:** LC
COMMON NO: 2121521
SUBJECT: PROPOSAL TO AMEND THE NT PLANNING SCHEME PA2011/0728 - **PARCEL:** LOTS 3564 AND 3565 (31 AND 33) MOIL CRESCENT TOWN OF NIGHTCLIFF - **PROPOSAL:** REZONE FROM SD (SINGLE DWELLING) TO SU (SPECIFIC USE)

ITEM NO: 10.4**SYNOPSIS:**

A Proposal to Amend the NT Planning Scheme PA2011/0728 for Lots 3564 and 3565 (31 and 33) Moil Crescent Town of Nightcliff (**Attachment A**) has been referred to Council for comment pursuant to Section 48 of the Planning Act. The following report addresses relevant Council issues and recommends that Council endorse comments provided to the Reporting Body by staff.

GENERAL:**Applicant:** Department of Housing, Local Government and Regional Services**Zone:** SD (Single Dwelling) **Area:** Lot 3564 -610 m²
Lot 3565 - 641 m²**Proposal:** Rezone from SD (Single Dwelling) to SU (Specific Use) to facilitate the potential development of 2 x 1 bedroom and 2 x 2 bedroom multiple dwellings for seniors or persons with physical or mobility impairments.**History:** No Planning history exists for the subject sites**Site and Surrounds:**

The subject sites are identified as lots 3564 and 3565, Town of Nightcliff, more commonly referred to as 31 and 33 Moil Crescent, Moil respectively. Both sites are currently zoned SD and the applicant is proposing to rezone to SU.

PAGE: 2:
REPORT NO: 11TS0201 JS:fh
SUBJECT: PROPOSAL TO AMEND THE NT PLANNING SCHEME PA2011/0728 - **PARCEL:**
LOTS 3564 AND 3565 (31 AND 33) MOIL CRESCENT TOWN OF NIGHTCLIFF -
PROPOSAL: REZONE FROM SD TO SU (SPECIFIC USE)

Lot 3564 comprises a single elevated three-bedroom house and Lot 3565, a ground level three bedroom house. Both dwellings were constructed circa 1977 and have been vacant for some time, due to their poor condition. A footpath extends along the front boundaries of both properties and access is provided by crossovers to each of the sites from Moil Crescent. Mature vegetation is located towards the rear and side boundaries of both the subject sites. Both dwellings are owned by the Department of Housing, Local Government and Regional Services.

Surrounding land is predominantly zoned SD (Single Dwelling) with a large area of public open space, commonly referred to as Moil Park, located directly opposite the subject sites. Moil shops are also in the immediate vicinity and exist on land zoned C (Commercial). Both sites are relatively flat and no easements are listed for either of the sites.

Matters to be taken into account (pursuant to Section 51 of the NT Planning Act 1999):

Northern Territory Planning Scheme:

The proposed development is in the SD (Single Dwelling) zone, and requires consent as the applicant is proposing to rezone the subject sites to SU (Specific Use).

Disability Discrimination Legislation:

Disability Discrimination Act issues are addressed under the Building Act requirements. Council places a statement of support for equal opportunity on all responses.

Council Issues:

The response letter to the Authority indicates that Council supports the proposed rezoning and scheme amendment provided that the proposal is in keeping with the provisions outlined in the Northern Territory Planning Scheme for Zones SD34 and SD35 (**see Attachment C**).

The Department of Housing, Local Government and Regional Services has previously proposed similar scheme amendments in order to facilitate the development of single storey multiple dwellings for seniors, aged pensioners and/or tenants with a physical disability or mobility impairment. These applications have resulted in the aforementioned SD34 and SD35 zones being incorporated into the Northern Territory Planning Scheme.

The Department of Lands and Planning has indicated that the proposed scheme amendment will entail similar provisions as those for Zones SD34 and SD35. These Specific Use zones are designed to ensure that the proposed developments are in keeping with the existing built form and amenity of the surrounding locality.

PAGE: 3:
 REPORT NO: 11TS0201 JS:fh
 SUBJECT: PROPOSAL TO AMEND THE NT PLANNING SCHEME PA2011/0728 - **PARCEL:**
 LOTS 3564 AND 3565 (31 AND 33) MOIL CRESCENT TOWN OF NIGHTCLIFF -
PROPOSAL: REZONE FROM SD TO SU (SPECIFIC USE)

FINANCIAL IMPLICATIONS:

Nil.

STRATEGIC PLAN IMPLICATIONS:

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

Goal 1:

1. Achieve Effective Partnerships and Engage in Collaborative Relationships.

Outcome

1.1 Improve relations with all levels of Government.

Key Strategies

1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin.

1.1.5 Influence Government and developers to develop sustainable projects which reflect Darwin's lifestyle.

1.2 Effectively engage with Community.

1.2.1 Increase involvement of the Business Community for developing solutions to local issues.

Goal 2:

2. Enhance Darwin's Active, Positive and Flexible Lifestyle.

Outcome

2.1 Improve urban enhancement around Darwin.

Key Strategies

2.1.1 Manage and maintain the municipal landscaping and infrastructure to a standard that meets community needs.

2.1.4 Provide a clean and liveable municipality.

Goal 3:

3. Assist Individuals and the Community Stay Connected with the Darwin Region.

Outcome

3.1 Promote the use of public spaces.

Key Strategies

3.1.1 Enhance public spaces and encourage greater use by the community.

3.2 Enhance transport.

3.2.1 Review transport and parking needs systems.

3.2.4 Provide parking facilities and management systems which meet the needs of the community.

Goal 4:

4. Create and Maintain an Environmentally Sustainable City.

Outcome

4.2 Improve water conservation.

Key Strategies

4.2.2 Manage and maintain Council's storm water management system.

PAGE: 4:
 REPORT NO: 11TS0201 JS:fh
 SUBJECT: PROPOSAL TO AMEND THE NT PLANNING SCHEME PA2011/0728 - **PARCEL:**
 LOTS 3564 AND 3565 (31 AND 33) MOIL CRESCENT TOWN OF NIGHTCLIFF -
PROPOSAL: REZONE FROM SD TO SU (SPECIFIC USE)

LEGAL IMPLICATIONS:

This item is not considered "Confidential".

PUBLIC RELATIONS IMPLICATIONS:

Not Assessed.

COMMUNITY SAFETY IMPLICATIONS:

Not Assessed.

DELEGATION:

To the Chief Executive Officer to provide standard Development Permit conditions as appropriate.

CONSULTATION:

Through the Development Application statutory process.

PROPOSED PUBLIC CONSULTATION PROCESS:

Nil

APPROPRIATE SIGNAGE:

Not Applicable.

RECOMMENDATIONS:

THAT the Committee resolve under delegated authority:-

- A. THAT Report Number 11TS0201 JS:fh entitled Proposal to Amend the NT Planning Scheme PA2011/0728 for Lots 3564 and 3565 (31 and 33) Moil Crescent Town of Nightcliff to Rezone from SD to SU (Specific Use), be received and noted.
- B. THAT the letter to the Reporting Body in **Attachment B** to Report Number 11TS0201 JS:fh be endorsed.

DROSSO LELEKIS
MANAGER DESIGN,
PLANNING & PROJECTS

LUCCIO CERCARELLI
GENERAL MANAGER
INFRASTRUCTURE

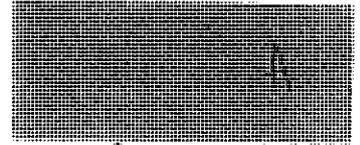
Any queries on this report can be directed to Cindy Robson on 8930 0528 or email c.robson@darwin.nt.gov.au

Date Registered: 13/01/1988
Duplicate Certificate as to Title issued? Yes

Volume 183 Folio 089

SEARCH CERTIFICATE

Lot 3564 Town of Nightcliff from plan(s) A 000579
Area under title is 610 square metres

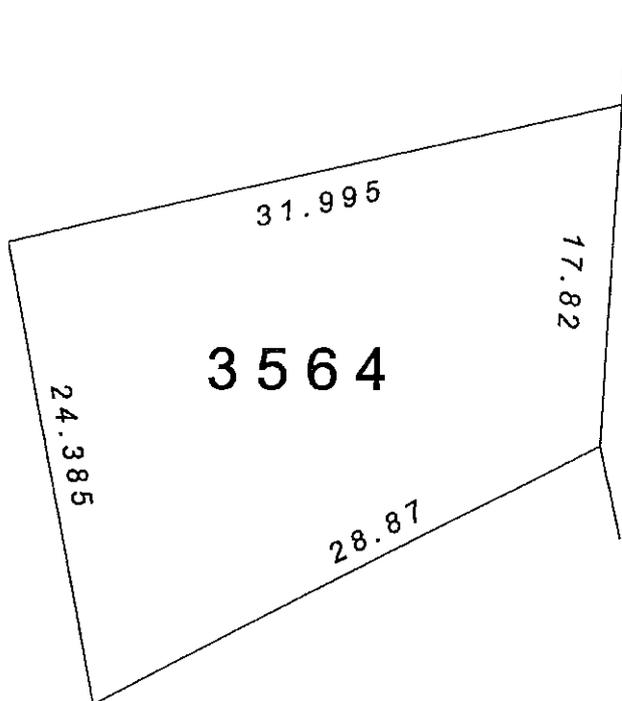


Owner:
Northern Territory Housing Commission
of 12 Linton Street, Casuarina NT 0810

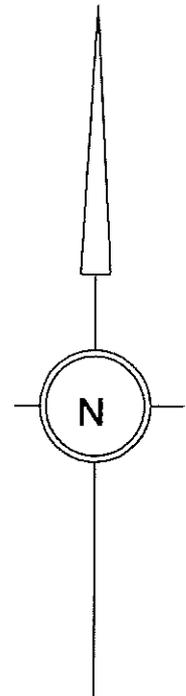
Registered Date	Dealing Number	Description
		Previous title is Register BookCUCL Volume 175 Folio 047

End of Dealings

IMPORTANT MESSAGE: This title information is compiled from the paper register and may be incomplete. Please refer to the scanned image of the paper title for further details. Contact Land Titles Office staff for assistance.



MOIL CRESCENT



Date Registered: 13/01/1988

Volume 183 Folio 091

Duplicate Certificate as to Title issued? Yes

SEARCH CERTIFICATE

Lot 3565 Town of Nightcliff from plan(s) A 000579
 Area under title is 641 square metres

Owner:

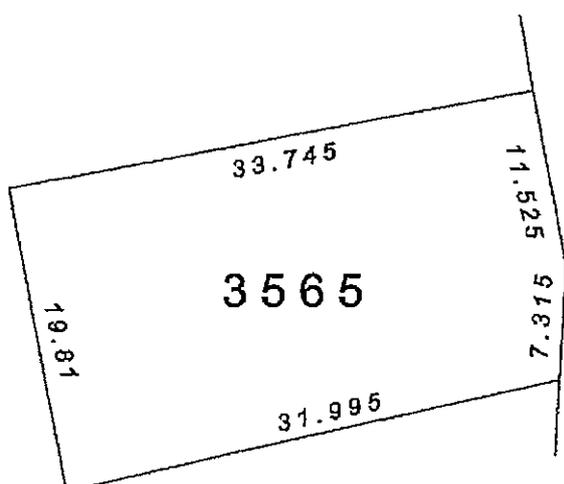
Northern Territory Housing Commission
 of 12 Linton Street, Casuarina NT 0810

Registered Date	Dealing Number	Description
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Previous title is Register BookCUCL Volume 175 Folio 046

End of Dealings

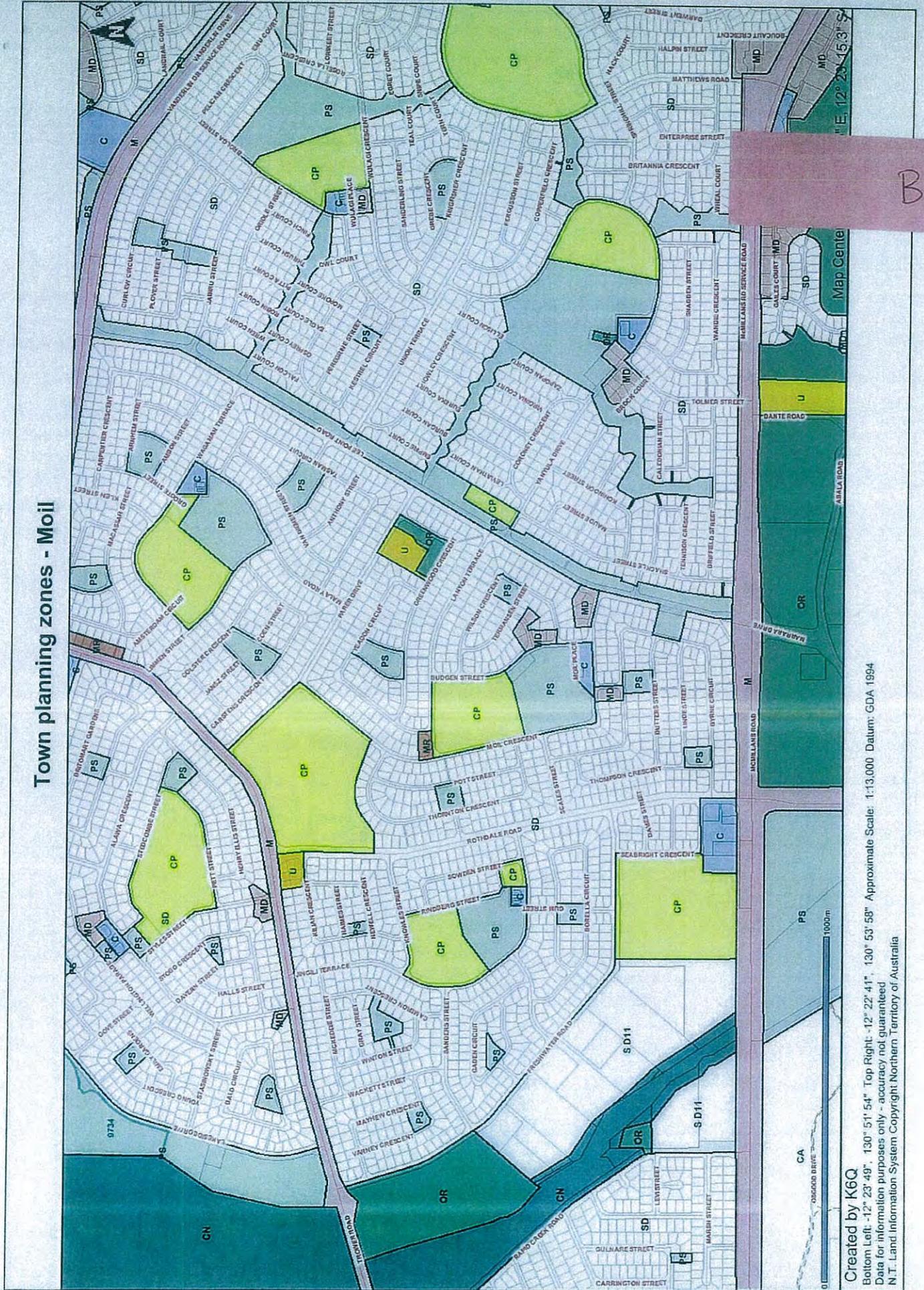
IMPORTANT MESSAGE: This title information is compiled from the paper register and may be incomplete. Please refer to the scanned image of the paper title for further details. Contact Land Titles Office staff for assistance.



MOIL CRESCENT



Town planning zones - Moil



Created by K6Q
 Bottom Left: -12° 51' 54", 130° 51' 54" Top Right: -12° 22' 41", 130° 53' 58" Approximate Scale: 1:13,000 Datum: GDA 1994
 Data for information purposes only - accuracy not guaranteed
 N.T. Land Information System Copyright Northern Territory of Australia

Please quote: 2121521 JS:fh
Your reference: PA2011/0728

25 November 2011

Kate Smyth
Project Officer - Strategic Lands Planning
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Kate

Parcel Description: Lots 3564 & 3565 (31 & 33) Moil Crescent, Town of Nightcliff.
Proposal: To Amend the NT Planning Scheme PA2011/0728 to Rezone from SD (Single Dwelling) to SU (Specific Use).

Thank you for the Proposal to Amend the NT Planning Scheme referred to this office 27 October 2011. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

Council supports in principle the proposed rezoning and planning scheme amendment, provided that the proposal is consistent with the existing provisions outlined in the Northern Territory Planning Scheme for Specific Use Zones SD34 and SD35.

In considering this application, the Reporting Body is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Wayne Wright & Alison Connochie

SD34

Amendment 162
gazetted 26.01.2011
creates SD34

Lot 1310 Town of Nightcliff (38 Ryland Road, Millner)

1. The purpose of this zone is to facilitate the use and development of the land for single storey, **multiple dwellings** for seniors and/or people with physical ailments or mobility impairments.
2. With **consent** the land may be developed for the purpose of **multiple dwellings** if the development complies with all other requirements of the Planning Scheme as if the land were in Zone MD (Multiple Dwelling Residential).

If the development does not comply with the listed requirements, the consent authority may **consent** to a variation of the requirements only if it is satisfied that the special circumstances justify the giving of **consent**.

3. Despite paragraph 2, the **consent authority** must not consent to a development that exceeds:
 - (a) one **storey** in height; and
 - (b) any more than two **multiple dwellings**.

SD35

Amendment 163
gazetted 26.01.2011
creates SD35

Lot 7162 Town of Nightcliff (42 Marrakai Street, Tiwi)

1. The purpose of this zone is to facilitate the use and development of the land for single storey, **multiple dwellings** for seniors and/or people with physical ailments or mobility impairments.
2. With **consent** the land may be developed for the purpose of **multiple dwellings** if the development complies with all other requirements of the Planning Scheme as if the land were in Zone MD (Multiple Dwelling Residential).

If the development does not comply with the listed requirements, the consent authority may **consent** to a variation of the requirements only if it is satisfied that the special circumstances justify the giving of **consent**.

3. Despite paragraph 2, the **consent authority** must not consent to a development that exceeds:
 - (a) one **storey** in height; and
 - (b) any more than two **multiple dwellings**.

ENCL: YES

DARWIN CITY COUNCIL

DATE: 03/11/2011

REPORT

TO:	TOWN PLANNING COMMITTEE MEETING /OPEN B	APPROVED: CR
FROM:	GENERAL MANAGER INFRASTRUCTURE	APPROVED: DL
REPORT NO:	11TS0204 JS:fh	APPROVED: LC
COMMON NO:	2125727	
SUBJECT:	AMENDMENT TO THE NT PLANNING SCHEME WITH RESPECT TO CLAUSE 6.17 - DREDGING WITHIN DARWIN HARBOUR	

ITEM NO: 10.5**SYNOPSIS:**

An Amendment to the NT Planning Scheme with Respect to Clause 6.17 for Dredging Within Darwin Harbour (**Attachment A**) has been referred to Council for comment pursuant to Section 48 of the Planning Act. The following report addresses relevant Council issues and recommends that Council endorse comments provided to the Development Consent Authority by staff.

GENERAL:

The purpose of Clause 6.17 – Dredging Within Darwin Harbour *'is to ensure dredging within Darwin Harbour does not degrade the environmental value of the harbour waters.'*

*'Dredging of the seabed within Darwin Harbour (being the waters south of a straight line between Charles Point and Gunn Point) for a purpose other than dredging in association with navigation **requires consent**'* of the Development Consent Authority (DCA).

The Department of Lands and Planning are proposing to amend the wording of Clause 6.17 to remove reference to navigation in order to require consent for dredging the harbour for any purpose. The proposed new wording for Clause 6.17 is *'dredging of the seabed within Darwin Harbour (being the waters south of a straight line between Charles Point and Gunn Point **requires consent**'* of the Development Consent Authority (DCA).

Council agrees with the proposed amendment to NT Planning Scheme Clause 6.17 – Dredging Within Darwin Harbour, as it is line with the *Climate Change Action Plan 2011-2020* where the proposed outcome for Action W4 is *'Understanding of the Darwin Harbour and its natural processes, condition, and variability is increased'*.

FINANCIAL IMPLICATIONS:

Nil.

STRATEGIC PLAN IMPLICATIONS:

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

Goal 1:

1. Achieve Effective Partnerships and Engage in Collaborative Relationships.

Outcome

1.1 Improve relations with all levels of Government.

Key Strategies

1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin.

1.1.5 Influence Government and developers to develop sustainable projects which reflect Darwin's lifestyle.

1.2 Effectively engage with Community.

1.2.1 Increase involvement of the Business Community for developing solutions to local issues.

Goal 2:

2. Enhance Darwin's Active, Positive and Flexible Lifestyle.

Outcome

2.1 Improve urban enhancement around Darwin.

Key Strategies

2.1.1 Manage and maintain the municipal landscaping and infrastructure to a standard that meets community needs.

2.1.4 Provide a clean and liveable municipality.

Goal 3:

3. Assist Individuals and the Community Stay Connected with the Darwin Region.

Outcome

3.1 Promote the use of public spaces.

Key Strategies

3.1.1 Enhance public spaces and encourage greater use by the community.

3.2 Enhance transport.

3.2.1 Review transport and parking needs systems.

3.2.4 Provide parking facilities and management systems which meet the needs of the community.

Goal 4:

4. Create and Maintain an Environmentally Sustainable City.

Outcome

4.2 Improve water conservation.

Key Strategies

4.2.2 Manage and maintain Council's storm water management system.

LEGAL IMPLICATIONS:

This item is not considered "Confidential".

PAGE: 3:
REPORT NO: 11TS0204 CR/fh
SUBJECT: AMENDMENT TO THE NT PLANNING SCHEME WITH RESPECT TO CLAUSE 6.17 -
DREDGING WITHIN DARWIN HARBOUR

PUBLIC RELATIONS IMPLICATIONS:

Not Assessed.

COMMUNITY SAFETY IMPLICATIONS:

Not Assessed.

DELEGATION:

To the Chief Executive Officer to provide standard Development Permit conditions as appropriate.

CONSULTATION:

Council's Climate Change and Environment Section.

PROPOSED PUBLIC CONSULTATION PROCESS:

Nil

APPROPRIATE SIGNAGE:

Not Applicable.

RECOMMENDATIONS:

THAT the Committee resolve under delegated authority:-

- A. THAT Report Number 11TS0204 JS:fh entitled Amendment to the NT Planning Scheme with Respect to Clause 6.17 for Dredging Within Darwin Harbour, be received and noted.
- B. THAT the letter to the Reporting Body in **Attachment B** to Report Number 11TS0204 JS:fh be endorsed.

DROSSO LELEKIS
MANAGER DESIGN,
PLANNING & PROJECTS

LUCCIO CERCARELLI
GENERAL MANAGER
INFRASTRUCTURE

Any queries on this report can be directed to Cindy Robson on 8930 0528 or email c.robson@darwin.nt.gov.au

NORTHERN TERRITORY OF AUSTRALIA

*Planning Act*NOTICE OF EXHIBITION OF PROPOSAL
TO AMEND NT PLANNING SCHEME
PA2011/0757

I, GERALD FRANCIS MCCARTHY, the Minister for Lands and Planning give notice under section 17 of the *Planning Act* of the following:

- (a) a proposal to amend the NT Planning Scheme, numbered PA2011/0757 as referred to in (e), is to be exhibited under Division 3 of Part 2 of the Act;
- (b) the amendment is to be exhibited at the following offices of the Department Lands and Planning:
- Ground Floor, Cavenagh House, 38 Cavenagh Street, Darwin;
 - Level 1, Alice Plaza, Todd Mall, Alice Springs;
 - Level 1, Government Centre, 5 First Street, Katherine; and
 - Regional Office, Leichhardt Street, Tennant Creek.
- (c) the period of exhibition is for 28 days, commencing upon first newspaper publication of the notice required by section 17(1);
- (d) written submissions in respect of this exhibition should be made to:
- Michael Holmes
Senior Planner
Strategic Lands Planning
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801 or
- Fax: (08) 8999 7189 or
- Email: planning@nt.gov.au
- (e) the proposed amendment to the NT Planning Scheme makes changes to Clause 6.17 (Dredging within Darwin Harbour) to require consent for dredging associated with navigation.

Dated 25th October 2011.



Gerald Francis McCarthy
Minister for Lands and Planning

NORTHERN TERRITORY OF AUSTRALIA
PROPOSAL TO AMEND NT PLANNING SCHEME

PA2011/0757

DREDGING IN DARWIN HARBOUR

The Minister for Lands and Planning is seeking comments on a proposal that will link the environmental assessment process with the land use planning process in relation to dredging associated with navigation in Darwin Harbour. This will allow for the consideration of recommendations contained within an Environmental Assessment report by the consent authority.

Major projects located around the Darwin Harbour perform dredging activities so that large vessels can safely access sites associated with the construction and operation of a development. Environmental assessment reports associated with these major projects recommend best practice techniques that assist with careful dredging.

There is currently no mechanism within the *Planning Act* and associated subordinate legislation for inclusion of these conditions. For example, clause 6.17 of the NT Planning Scheme does not require consent for dredging associated with navigation in the Darwin Harbour.

The *Planning Act* and the associated subordinate legislation is the most appropriate way of giving effect to the recommendations stipulated in an environmental assessment.

Below is an extract of the current clause 6.17 and the proposed change to clause 6.17 with the proposed amendment in red.

existing clause 6.17 Dredging within Darwin Harbour

- | |
|---|
| <ol style="list-style-type: none"> 1. The purpose of this clause is to ensure dredging within Darwin Harbour does not degrade the environmental value of the harbour waters. 2. Dredging of the seabed within Darwin Harbour (being the waters south of a straight line between Charles Point and Gunn Point) for a purpose other than dredging in association with navigation requires consent. |
|---|

proposed clause 6.17 Dredging within Darwin Harbour

- | |
|--|
| <ol style="list-style-type: none"> 1. The purpose of this clause is to ensure dredging within Darwin Harbour does not degrade the environmental value of the harbour waters. 2. Dredging of the seabed within Darwin Harbour (being the waters south of a straight line between Charles Point and Gunn Point) for a purpose other than dredging in association with navigation requires consent. |
|--|

Attached is the Notice of Exhibition under section 17 of the *Planning Act*.

The exhibition period is from Friday 4 November 2011 to Friday 2 December 2011.

Written submissions about the proposed planning scheme amendment are to be received by 4.00pm on Friday, 2 December 2011 and made to:

Mr Michael Holmes
Senior Planner
Strategic Lands Planning
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801; or

Email: planning@nt.gov.au

Fax: (08) 8999 7189 or

Hand delivered to Ground Floor, Cavenagh House, 38 Cavenagh Street, Darwin.

For more information please telephone 8999 8963.

Please quote: 2125727 JS:fh
Your reference: PA2011/0757

2 December 2011

Michael Holmes
Project Officer - Strategic Lands Planning
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Michael

**Proposal: Amendment to the NT Planning Scheme with respect to Clause 6.17 -
Dredging Within Darwin Harbour**

Thank you for the Proposed Amendment to the NT Planning Scheme referred to this office 2 November 2011. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

Council has reviewed the proposed amendment to NT Planning Scheme Clause 6.17 – Dredging Within Darwin Harbour and provides in principle support for the proposal. Council's *Climate Change Action Plan 2011-2020* supports increased assessment processes under Action W4, where the outcome supports '*Understanding of the Darwin Harbour and its natural processes, condition, and variability is increased*'.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Department of Lands & Planning

ENCL: YES

DARWIN CITY COUNCIL

DATE: 03/11/2011

REPORT

TO:	TOWN PLANNING COMMITTEE MEETING /OPEN B	APPROVED: CR
FROM:	GENERAL MANAGER INFRASTRUCTURE	APPROVED: DL
REPORT NO:	11TS0205 JS:fh	APPROVED: LC
COMMON NO:	2125788	
SUBJECT:	AMENDMENT TO THE NT PLANNING SCHEME WITH RESPECT TO CLAUSE 7.10.1 BED AND BREAKFAST ACCOMMODATION.	

ITEM NO: 10.6**SYNOPSIS:**

A proposed amendment to the NT Planning Scheme with respect to Clause 7.10.1 Bed and Breakfast Accommodation (**Attachment A**) has been referred to Council for comment pursuant to Section 48 of the Planning Act. The following report addresses relevant Council issues and recommends that Council endorse comments provided to the Reporting Body by staff.

GENERAL:

Bed and Breakfast accommodation generally refers to accommodation made available for travellers within a dwelling, or a detached dwelling on the same property, of the resident(s) of that dwelling. Planning schemes and legislation typically ensure that Bed and Breakfast Tourist Accommodation establishments:

- limit the number of guests allowed to stay at any one time;
- any detached dwellings for the purpose of bed and breakfast accommodation are limited in size and number;
- signage is limited and in keeping with the existing amenity;
- do not compromise the primary use of the detached dwelling as a private residence, and;
- operate at a standard that is consistent with the accommodation needs of the touring public.

The location of Bed and Breakfast accommodation is also controlled in order to ensure that the area in which it is proposed is capable of best serving the travelling public. Provisions for proximity to services, tourist activities and public transport all factor into assessing the location of Bed and Breakfast accommodation proposals.

The requirements for Bed and Breakfast accommodation differ between planning schemes and it may be found that schemes use criteria such as the above mentioned or other criteria specific to a zone or locality.

Northern Territory Planning Scheme:

The Northern Territory Planning Scheme defines 'Bed and Breakfast accommodation' as:

"temporary accommodation for travellers provided within a dwelling by the resident of that dwelling".

Clause 7.10.1 – Bed and Breakfast Accommodation, provides the following provisions:

1. *The purpose of this clause is to ensure that **bed and breakfast accommodation** does not detract from the **amenity** of the locality in which the use is established.*
2. *A **dwelling** may be used for **bed and breakfast accommodation** where:*
 - (a) *the **dwelling** is suitable for the use;*
 - (b) *not more than five guests are accommodated at a time in t **dwelling**; and*
 - (c) *no sign is displayed, other than a **business sign** that is not more than 0.5m² in area.*
3. *The consent authority may approve an application for **bed and breakfast accommodation** that is not in accordance with subclause 2 only if it is satisfied the proposed **bed and breakfast accommodation** is appropriate to the **site** having regard to the potential impact of the **bed and breakfast accommodation** on the residential **amenity** of adjoining and nearby property."*

N.B. Items in **bold** from the above Northern Territory Planning Scheme excerpt denote terms that are defined in Section 3.0 – Definitions.

The applicant proposes that it is no longer considered appropriate to use the term "bed and breakfast accommodation" in the Northern Territory Planning Scheme as the term does not adequately describe the land use. In addition, the applicant proposes that the tourism industry has broadened the range of tourism accommodation marketed as "bed and breakfasts" to include options such as:

- traditional homestay arrangements (e.g. a room with a household);
- self contained or serviced cottages;
- self contained cabins or suites; and
- farmstay or working property experiences

Some of these activities would require development approval under the definition of "motel, caravan park or hostel".

The applicant proposes the term "home based tourist accommodation" be used as it describes the location of the use (i.e. in a home) and implies that it is for short term accommodation for travellers. It also clarifies that home based tourist accommodation occurs in a single dwelling as a commercial operation.

Summary of proposed changes

- replacing the Term "Bed and Breakfast accommodation" with a new term "home based tourist accommodation";
- home based tourist accommodation – means a single dwelling used, by a resident of the dwelling, to provide temporary accommodation as a commercial enterprise for persons away from their normal place of residence but does not include a hostel".
- specifying that the dwelling used for home based tourist accommodation should be suitable to be classified under the Building Code of Australia as Class 1b;
- increasing the number of guests allowed from 5 to 6;
- including a requirement that the persons operating the use reside in the dwelling;
- allowing "home based tourist accommodation" in rural areas to have an illuminated business sign
- developing a new method of development assessment referred to as "self assessable" that allows the proponent to assess the proposal; and
- making "making home based tourist accommodation" as self assessable land use category.

The applicant proposes the revised clause 7.10.1 as below:

1. *"The purpose of this clause is to ensure that **home based tourist accommodation** does not detract from the:*
 - **amenity** of the locality; and
 - *primary purpose of the zone;*

in which the use is established.
2. A single **dwelling** may be used for **home based tourist accommodation** where:
 - (a) *the **dwelling** is classified under the Building Code of Australia as Class 1b;*
 - (b) *not more than six guests are accommodated at a time in the **dwelling**;*
 - (c) *the person or persons operating the use reside in the **dwelling**; and*
 - (d) *no sign is displayed, other than a **business sign** that is not more 0.5 m² in area.*
3. *Despite anything to the contrary in this Planning Scheme, the consent authority may consent to an illuminated **business sign** for **home based tourist accommodation** in Zones H, A, RL, and R as long as the sign is not more than 0.5 m².*

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*The consent authority may approve an application for **home based tourist accommodation** that is not in accordance with sub-clause 2 only if it is satisfied the proposed **home based tourist accommodation** that is satisfied the proposed **home based tourist accommodation** is appropriate to the site having regard to the potential impact of the use on the residential amenity of adjoining and nearby property”.*

Council Issues:

Generally the proposed changes are considered acceptable and are not expected to exacerbate any current issues for Council. Council however, has **objected** to the introduction of a ‘self assessment’ track within Clause 2.2 of the NT Planning Scheme.

Permitted or Discretionary Use:

Council objects to the proposed introduction of a ‘self assessment’ track within Clause 2.2 of the NT Planning Scheme. The primary reason for this is the vital need to ensure that car parking requirements are met for a use on a site and that a detailed assessment of the car parking layout is conducted for safety and functionality purposes. The problems that can result from inadequate parking areas have a large direct impact upon the amenity of surrounding residents and thus, it is not considered appropriate to allow an applicant to sign off on their own development application.

Business Signs:

Business sign provisions within the planning scheme are to remain the same, with the exception of illuminated signage being permissible within rural zones (Zones H, A, RL and R). While rural uses are limited within the Darwin municipality, rural uses do exist. For this reason, Council has requested that a note be placed in the margin of the planning scheme, adjoining the proposed amendments, to clarify that Council’s *Outdoor Advertising Signs Code* controls the erection of signage within the Darwin municipality, similar to the margin note adjoining clause 6.7 *Signs*.

Car parking:

An additional guest car park is proposed under the revised ‘Home Based Tourist Accommodation’ compared to ‘Bed and Breakfast Accommodation. As one (1) car parking bay is required per guest room and two (2) for the residents of the dwelling, it is considered reasonable to expect that any persons sharing a room would be travelling in the same party and sharing a vehicle. This is not expected to be an issue for Council.

Suitability of the dwelling:

The current requirements of the NT Planning Scheme do not specify a particular building type to be used for a ‘Bed and Breakfast’ use other than a dwelling that is sufficient for the use. Thus, by restricting the proposed ‘Home Based Tourist Accommodation’ to a Class 1b building under the Building Code of Australia, it would ensure that additional safety standards are applied to the building. This is not considered to be an issue for Council.

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Number of Guests:

The increase from five (5) persons to six (6) is not considered excessive. Council has previously advised the Development Consent Authority that it would prefer an increase to six (6) guests accommodated within Bed and Breakfast Accommodation at any one time rather than a guest room restriction, which could potentially sleep a larger number of guests. As the car parking requirement remains the same (see below) this is not considered to be an issue for Council.

Operator Resident of the Dwelling:

While the current Bed and Breakfast Accommodation definition 'means temporary accommodation for travellers provided within a dwelling by the resident of that dwelling' the related Clause 7.10.1 does not stipulate that the operator must reside in the dwelling. Revising Clause 7.10.1 to state that the operator of the business must reside in the dwelling, is considered more acceptable to Council, as it creates a clearer definition for this type of traveller's accommodation and distinguishes it from other self-contained types of accommodation. This is not considered to be an issue for Council and should improve on-site management of the use.

FINANCIAL IMPLICATIONS:

Nil.

STRATEGIC PLAN IMPLICATIONS:

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

Goal 1:

1. Achieve Effective Partnerships and Engage in Collaborative Relationships.

Outcome

1.1 Improve relations with all levels of Government.

Key Strategies

1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin.

1.1.5 Influence Government and developers to develop sustainable projects which reflect Darwin's lifestyle.

1.2 Effectively engage with Community.

1.2.1 Increase involvement of the Business Community for developing solutions to local issues.

Goal 2:

2. Enhance Darwin's Active, Positive and Flexible Lifestyle.

Outcome

2.1 Improve urban enhancement around Darwin.

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Key Strategies

- 2.1.1 Manage and maintain the municipal landscaping and infrastructure to a standard that meets community needs.
- 2.1.4 Provide a clean and liveable municipality.

Goal 3:

- 3. Assist Individuals and the Community Stay Connected with the Darwin Region.

Outcome

- 3.1 Promote the use of public spaces.

Key Strategies

- 3.1.1 Enhance public spaces and encourage greater use by the community.
- 3.2 Enhance transport.
 - 3.2.1 Review transport and parking needs systems.
 - 3.2.4 Provide parking facilities and management systems which meet the needs of the community.

Goal 4:

- 4. Create and Maintain an Environmentally Sustainable City.

Outcome

- 4.2 Improve water conservation.

Key Strategies

- 4.2.2 Manage and maintain Council's storm water management system.

LEGAL IMPLICATIONS:

This item is not considered "Confidential".

PUBLIC RELATIONS IMPLICATIONS:

Not Assessed.

COMMUNITY SAFETY IMPLICATIONS:

Not Assessed.

DELEGATION:

To the Chief Executive Officer to provide standard Development Permit conditions as appropriate.

CONSULTATION:

Through the Development Application statutory process.

PROPOSED PUBLIC CONSULTATION PROCESS:

Nil

APPROPRIATE SIGNAGE:

Not Applicable.

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RECOMMENDATIONS:

THAT the Committee resolve under delegated authority:-

- A. THAT Report Number 11TS0205 JS:fh entitled Amendment to the NT Planning Scheme with Respect to Clause 7.10.1 Bed and Breakfast Accommodation, be received and noted.
- B. THAT the letter to the Reporting Body in **Attachment B** to Report Number 11TS0205 JS:fh, be endorsed.

DROSSO LELEKIS
MANAGER DESIGN,
PLANNING & PROJECTS

LUCCIO CERCARELLI
GENERAL MANAGER
INFRASTRUCTURE

Any queries on this report can be directed to Cindy Robson on 8930 0528 or email c.robson@darwin.nt.gov.au

NORTHERN TERRITORY OF AUSTRALIA
PROPOSAL TO AMEND NT PLANNING SCHEME

PA2007/0422

REVIEW OF BED AND BREAKFAST REQUIREMENTS

The Minister for Lands and Planning is seeking comments on a review of the bed and breakfast requirements in the NT Planning Scheme by:

- replacing the term "bed and breakfast accommodation" with a new term "home based tourist accommodation";
- changing the definition;
- specifying that the dwelling should be suitable to be classified under the Building Code of Australia as Class 1b;
- increasing the number of guests allowed from five to six;
- including a requirement that the persons operating the use reside in the dwelling;
- allowing "home based tourist accommodation" in rural areas to have an illuminated business sign;
- developing a new method of development assessment referred to as "self assessable" that allows the proponent to assess the proposal; and
- making "home based tourist accommodation" a self assessable land use category.

Attached are the Notice of Exhibition under section 17 of the *Planning Act* and a discussion paper that includes the existing NT Planning Scheme definition of "bed and breakfast accommodation" and the proposed definition "home based tourist accommodation".

The exhibition period is from Friday 4 November 2011 to Friday 2 December 2011.

Written submissions about the proposed planning scheme amendment are to be received by 4.00pm on Friday, 2 December 2011 and made to:

Ms Ann Stephens
Project Manager
Strategic Lands Planning
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801; or

Email: planning@nt.gov.au

Fax: (08) 8999 7189 or

Hand delivered to Ground Floor, Cavenagh House, 38 Cavenagh Street, Darwin.

For more information please telephone 8999 8963.

NORTHERN TERRITORY OF AUSTRALIA

Planning Act

**NOTICE OF EXHIBITION OF PROPOSAL
TO AMEND NT PLANNING SCHEME
PA2007/0422**

I, GERALD FRANCIS MCCARTHY, the Minister for Lands and Planning, give notice under section 17 of the *Planning Act* of the following:

- (a) a proposal to amend the NT Planning Scheme, numbered PA2007/0422 as referred to in (e), is to be exhibited under Division 3 of Part 2 of the Act;
- (b) the proposal is to be placed on exhibition at the Offices of the Department of Lands and Planning at the following locations:
- Ground Floor, Cavenagh House, 38 Cavenagh Street, Darwin;
 - Level 1, Alice Plaza, Todd Mall, Alice Springs;
 - Level 1, Government Centre, 5 First Street, Katherine; and
 - Regional Office, Leichhardt Street, Tennant Creek.
- (c) the period of exhibition is 28 days commencing on the date on which this notice is first published in a newspaper circulating in the Northern Territory;
- (d) written submissions about the proposal may be made to:
- Ms Ann Stephens
Project Manager
Strategic Lands Planning
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801; or
- Facsimile: (08) 8999 7189
- Email: planning@nt.gov.au
- (e) the proposed amendment is to the NT Planning Scheme to alter the requirements for "bed and breakfast accommodation" in the NT Planning Scheme by:
- replacing the term "bed and breakfast accommodation" with a new term "home based tourist accommodation";
 - changing the definition;
 - specifying that the dwelling should be suitable to be classified under the Building Code of Australia as Class 1b;
 - increasing the number of guests allowed from 5 to 6;

- including a requirement that the persons operating the use reside in the dwelling;
- allowing “home based tourist accommodation” in rural areas to have an illuminated business sign;
- developing a new method of development assessment referred to as self assessment; and
- making “home based tourist accommodation” a self assessable land use category.

Dated 25th October

2011



GERALD FRANCIS MCCARTHY
Minister for Lands and Planning

Review of the NT Planning Scheme rules associated with Bed and Breakfast Accommodation

Background

The Department of Lands and Planning has been asked to review the rules that apply to “bed and breakfast accommodation” as the current rules are considered by the tourism industry to be too restrictive.

Discussion

It is no longer considered appropriate to use the term “bed and breakfast accommodation” in the NT Planning Scheme as the term does not adequately describe the land use. In addition, the tourism industry has broadened the range of tourism accommodation marketed as “bed and breakfasts” to include options such as:

- traditional homestay arrangements (eg a room within a household);
- self contained or serviced cottages;
- self contained cabins or suites; and
- farmstay or working property experiences.

Some of these activities would require development approval under the definition of motel, caravan park or hostel.

It is proposed the term **home based tourist accommodation** be used as it describes the location of the use (ie in a home) and implies that it is for short term accommodation for travellers. It also clarifies that home based tourist accommodation occurs in a single dwelling as a commercial operation:

“home based tourist accommodation” means a single dwelling used, by a resident of the dwelling, to provide temporary accommodation as a commercial enterprise for persons away from their normal place of residence but does not include a hostel.

Summary of Proposed Changes

The review recommends the following changes to the NT Planning Scheme:

- replacing the term “bed and breakfast accommodation” with a new term “home based tourist accommodation”;
- changing the definition;
- specifying that the dwelling used for home based tourist accommodation should be suitable to be classified under the Building Code of Australia as Class 1b;
- increasing the number of guests allowed from 5 to 6;
- including a requirement that the persons operating the use reside in the dwelling;
- allowing “home based tourist accommodation” in rural areas to have an illuminated business sign;
- developing a new method of development assessment referred to as “self assessable” that allows the proponent to assess the proposal; and
- making “home based tourist accommodation” a self assessable land use category.

Details of the proposed changes to the definition and rules for home based tourist accommodation are at **Attachment 1**.

Current NT Planning Scheme Definitions

The current NT Planning Scheme definitions relevant to bed and breakfast accommodation are as follows:

"bed and breakfast accommodation" means temporary accommodation for travellers provided within a dwelling by the resident of that dwelling;

"dwelling" means a building, or part of a building, designed, constructed or adapted as a self-contained residence;

"single dwelling" means a building containing one dwelling only;

"hostel" includes boarding houses, guest houses, lodging houses and other premises used to provide board or lodging with communal toilet, ablution, dining or cooking facilities but does not include bed and breakfast accommodation or a group home;

"motel" means premises wholly or principally used for the accommodation of travellers and the vehicles used by them, whether or not the building is also used to provide meals to the travellers or to members of the general public and whether or not the premises are licensed under the *Liquor Act*, but does not include bed and breakfast accommodation;

"caravan park" means land used for the parking of caravans or the erection or placement and use of tents or cabins for the purpose of providing accommodation;

NT Planning Scheme Rules

NT Planning Scheme clause 7.10.1 provides the rules for the operation of "bed and breakfast accommodation". The clause is structured with a purpose statement followed by the assessment criteria then a statement about the circumstances that would allow the development consent authority to vary the criteria. The criteria relate to the suitability of the dwelling, the number of guests and the size of a business sign.

7.10.1 Bed and Breakfast Accommodation

PURPOSE

1. The purpose of this clause is to ensure that **bed and breakfast accommodation** does not detract from the **amenity** of the locality in which the use is established.

ASSESSMENT
CRITERIA

2. A dwelling may be used for bed and breakfast accommodation where:

(a) the dwelling is suitable for the use;

(b) not more than five guests are accommodated at a time in the dwelling; and

(c) no sign is displayed, other than a business sign that is not more than 0.5m² in area.

CIRCUMSTANCES
TO VARY THE
CRITERIA

3. The consent authority may approve an application for **bed and breakfast accommodation** that is not in accordance with sub-clause 2 only if it is satisfied the proposed **bed and breakfast accommodation** is appropriate to the **site** having regard to the potential impact of the **bed and breakfast accommodation** on the residential **amenity** of adjoining and nearby property.

Purpose Statement

The current clause purpose statement establishes that the use should not detract from the **amenity** of the locality. It is proposed that the purpose statement for the new clause is linked to the primary purpose of the zone in which the use is to be located since the zone purpose provides a context for assessing the amenity of the locality.

The proposed purpose statement is to ensure that home based tourist accommodation does not detract from:

- the amenity of the locality; and
- the primary purpose of the zone;

in which the use is established.

Suitability of the Dwelling

The current rules state that a dwelling may be used for bed and breakfast accommodation where the dwelling is suitable for the use but there are no criteria to determine how to measure the suitability of the dwelling.

The Building Code of Australia uses a building classification process based on a process of understanding risks in a building or part of a building, according to its use. Under the Building Code of Australia, an ordinary house is classified as a Class 1a.

In terms of the Building Code, small boarding houses, small guest houses, small hostels or bed and breakfast accommodation are classified as Class 1b. Apart from their use, the primary difference between Class 1a and Class 1b buildings is that the latter is required to have a greater number of smoke alarms and in some circumstances, access and features for people with a disability.

The Class 1b classification can attract concessions applicable to Class 3 buildings (hostels accommodating more than 12 persons etc). These concessions allow people to rent out rooms in a house, or run a bed and breakfast establishment, without having to comply with the more stringent Class 3 requirements. The reasoning is that the smaller size of the building and its lower number of occupants represents reduced fire risks.

Class 1a and 1b dwellings can be made up of more than one building. For example, it may include what is ordinarily called a house, plus one or more habitable 'outbuildings' such as sleep outs.

It is recommended that rather than state that a dwelling may be used for bed and breakfast accommodation where the dwelling is suitable for the use, the NT Planning Scheme require that the dwelling be classified under the Building Code of Australia as Class 1b.

Numbers of guests

The current rules limit the number of guests to 5. Many other jurisdictions allow for 6 guests. Some allow for more. It would seem reasonable to increase the number of guests to 6.

Operator Resident of the Dwelling

There is at least one business in the NT that refers to itself as “bed and breakfast” where the operators do not live in the dwelling used for the purpose of accommodating guests but live in the dwelling on the neighbouring property.

Whilst this is not the usual situation, it might be considered acceptable and could be achieved in the future by varying clause 7.10.1 if it meets the clause purpose statement. This is a matter which would require a development application.

Business Sign

The NT Planning Scheme limits the area of any business sign associated with the bed and breakfast accommodation to not more than 0.5m². Details of the requirements for signs are at **Attachment 2**.

A rural Bed and Breakfast operator has requested that the NT Planning Scheme allow for a larger business sign that can be illuminated. The operator’s property is in Zone H (Horticulture) in Litchfield Shire. Guests, who often arrive at night, have difficulties finding the property in the dark because of the absence of street lighting in the rural area.

It is proposed to allow for an illuminated business sign in rural zones. The 0.5m² limitation in area is considered adequate and should not be increased.

Car Parking

The NT Planning Scheme currently requires a bed and breakfast establishment to provide one car parking space for each guest room plus two for the residents of the dwelling. No changes to the car parking requirements are proposed.

Number of Bathrooms

The Bed and Breakfast and Farmstay Association has requested that the NT Planning Scheme include a requirement that “bed and breakfast accommodation” include a guest bathroom separate from the bathroom used by the residents of the dwelling. This is not an appropriate planning requirement since the purpose of the planning scheme is to protect the amenity of the locality. The number of bathrooms is not a planning issue.

The Tourism NT Fact Sheet could be altered to promote a separate guest bathroom as desirable from a marketing point of view.

Permitted or Discretionary Use

The Leading Practice Model for development assessment in Australia recommends that development applications should be streamed into an assessment “track” that corresponds with the level of assessment required to make an appropriately informed decision.

In terms of a track based assessment model, the NT Planning Scheme operates on four assessment tracks: exempt, prohibited, permitted and discretionary. The prohibited, permitted and discretionary tracks are described in clause 2.2 of the NT Planning Scheme. It would be possible to introduce a new track termed “self assessable”.

Currently “bed and breakfast accommodation” is a discretionary use in the residential zones. It would seem reasonable to relax the rules so that a development application is not required where a proposal meets the planning scheme requirements outlined in clause 7.10. “Home based tourist accommodation” would be listed under the self assessable track. In order to introduce a self assessable track, it will be necessary to change clause 2.2 (**Attachment 3**), all the zoning tables (Zone SD is used as an example at **Attachment 4**) and update the zone matrix and the User Guide.

A self assessment form is included at **Attachment 5**.

In some circumstances it may be reasonable to conduct a home based tourist accommodation that caters for more than 6 guests if the amenity of the locality is not compromised. This would require a development application to vary the requirements of clause 7.10. The Building Code classification 1b would allow for up to 12 persons including permanent residents to be accommodated at one time in the dwelling.

Application Fee

It is recommended that the self assessment fee is the same as the fee for development not exceeding \$100,000 in value which currently is \$148.00.

More Information

If you require clarification of any of the matters raised in the discussion paper please contact Ms Ann Stephens – ann.stephens@nt.gov.au

Proposed Changes to the NT Planning Scheme

New definition:

“home based tourist accommodation” means a single dwelling used, by a resident of the dwelling, to provide temporary accommodation as a commercial enterprise for persons away from their normal place of residence but does not include a hostel.

Proposed Changes to Clause 7.10.1

7.10.1 Home Based Tourist Accommodation

PURPOSE	<p>1. The purpose of this clause is to ensure that home based tourist accommodation does not detract from the:</p> <ul style="list-style-type: none"> • amenity of the locality; and • primary purpose of the zone; <p>in which the use is established.</p>	
ASSESSMENT CRITERIA	<p>2. A single dwelling may be used for home based tourist accommodation where:</p> <p>(a) the dwelling is classified under the Building Code of Australia as Class 1b;</p> <p>(b) not more than six guests are accommodated at a time in the dwelling;</p> <p>(c) the person or persons operating the use reside in the dwelling; and</p> <p>(d) no sign is displayed, other than a business sign that is not more than 0.5m² in area.</p>	A class 1 dwelling may comprise more than one building.
SPECIFIC CLAUSE TO ALLOW ILLUMINATED BUSINESS SIGNS	<p>3. Despite anything to the contrary in this Planning Scheme, the consent authority may consent to an illuminated business sign for home based tourist accommodation in Zones H, A, RL and R as long as the sign is not more than 0.5m² in area.</p>	
CIRCUMSTANCES TO VARY THE CRITERIA	<p>4. The consent authority may approve an application for home based tourist accommodation that is not in accordance with sub-clause 2 only if it is satisfied the proposed home based tourist accommodation is appropriate to the site having regard to the potential impact of the use on the residential amenity of adjoining and nearby property.</p>	

Note: changes to the current wording are shown in blue font.

6.7 SIGNS

1. The purpose of this clause is to ensure that business signs and promotion signs on zoned land are of a size and location that minimises detriment to the amenity of the area.
2. This clause does not apply in the municipalities of Alice Springs, Darwin, Palmerston Katherine or Tennant Creek.
3. For the purposes of this clause, business signs and promotion signs include but are not limited to:
 - (a) signs on a wall or façade;
 - (b) signs erected on poles or pylons that are not part of a building or other structure;
 - (c) illuminated signs; and
 - (d) signs attached to and protruding from a building.
4. The total area of business signs or promotion signs on a site in a zone specified in column 1 of the table to this clause is not to exceed the areas specified opposite in column 2 or if the sign is illuminated, column 3.
5. Illuminated signs are to be no closer than 30m to any residential zone.
6. Signs attached to and protruding from a building are to be at least 2.7m above the ground and are not to extend past the edge of any awning adjacent to a road.

Clause 1.3 2(d) exempts some signs from control under the Planning Scheme. Alice Springs, Darwin, Palmerston, Katherine and Tennant Creek municipal councils control the erection of signs.

On land within a road under the care and control of the Department of Lands and Planning the approval of that Department is also required.

Clause 6.10 refers to signs in Zone HT.

TABLE TO CLAUSE 6.7

Column 1	Column 2	Column 3
Zone	Maximum area of signs on a site	Maximum area of illuminated signs on a site
SD, MD, MR, HR, HT	1m ²	Prohibited
CL	1.5m ²	Prohibited
CB, C, SC, TC	The lesser of 25% of any one façade or 20m ²	3m ²
LI, GI, DV	The lesser of 25% of any one façade or 30m ²	5m ²
PS, OR, CN, CP, CV	5m ²	Prohibited
RR, RL, RD	1.5m ²	Prohibited
R, H, A, FD, WM	3m ²	Prohibited
T	3m ²	3m ²

2.0 ADMINISTRATION

2.1 ZONES

The zones referred to in this Planning Scheme are those shown on the zoning maps.

2.2 PERMITTED, SELF ASSESSABLE, DISCRETIONARY AND PROHIBITED DEVELOPMENT

1. Land within a zone may be used or developed only in accordance with the Act and this Planning Scheme.
2. A use or development of land within a zone is permitted without **consent** if the use or development:
 - (a) is shown on the relevant zoning table as permitted; and
 - (b) complies with all the provisions of this Planning Scheme relating to that use or development in the zone.
3. A use or development of land within a zone is permitted with self assessment if the use or development:
 - (a) is shown on the relevant zoning table as self assessable; and
 - (b) complies with all the provisions of this Planning Scheme relating to that use or development in the zone.
4. A use or development of land within a zone requires **consent** if any of the following apply in relation to the use or development:
 - (a) it is shown on the relevant zoning table as discretionary;
 - (b) subject to sub-clause 4, it is not shown on the relevant zoning table;
 - (c) it does not comply with all the provisions of this Planning Scheme relating to that use or development within the zone; or
 - (d) a provision of this Planning Scheme expressly requires **consent**.
5. Subject to clause 2.3, a use or development of land within a zone is prohibited if the use or development is:
 - (a) in Zones SD, MD, MR or HR and is not shown on the relevant zoning table; or
 - (b) shown on the relevant zoning table as prohibited.

Review of the NT Planning Scheme rules associated with Bed and Breakfast Accommodation
Attachment 4

ZONING TABLE – ZONE SD

abattoir	x	
agriculture	x	
animal boarding	x	
bed and breakfast accommodation	D	6.5.1, 7.10.1
business sign	P	6.7
caravan park	x	
caretaker's residence	x	
car park	x	
child care centre	x	
community centre	D	6.1, 6.5.1
dependant unit	P	7.1, 7.3, 7.10.4
domestic livestock	x	
education establishment	x	
fuel depot	x	
general industry	x	
group home	P	7.1, 7.10.5
home based child care centre	D	6.5.1, 7.10.6
home based contracting	P	7.10.8
home based tourist accommodation	S	6.5.1, 7.10.1
home occupation	P	7.10.7
horticulture	x	
hospital	x	
hostel	x	
hotel	x	
intensive animal husbandry	x	
leisure and recreation	x	
licensed club	x	
light industry	x	
medical clinic	x	
medical consulting rooms	D	6.5.1, 7.10.9
motel	x	
motor body works	x	
motor repair station	x	
multiple dwellings	x	
office	x	
passenger terminal	x	
place of worship	x	
plant nursery	x	
promotion sign	x	
recycling depot	x	
restaurant	x	
retail agricultural stall	x	
rural industry	x	
service station	x	
shop	x	
showroom sales	x	
single dwelling	P	6.5.1, 7.1, 7.3, 7.5
stables	x	
supporting accommodation	D	6.5.1, 7.1, 7.5, 7.6, 7.7, 7.8
transport terminal	x	
vehicle sales and hire	x	
veterinary clinic	x	
warehouse	x	

P = Permitted S = Self Assessable D = Discretionary x = Prohibited

NORTHERN TERRITORY OF AUSTRALIA

Self Assessment Form for Home Based Tourist Accommodation

1. LAND INFORMATION

Location of Development Town/Hundred/Locality: Parcel Number(s) and/or Unit number: LTO Plan: Number and Street Name: Zone:
--

2. LAND OWNER INFORMATION

Land Owner Information Is the applicant the land owner? YES/NO Owner's name(s): Postal address:	
I am not the land owner and I have attached the owner's authorisation.	Attach 1 copy

3. APPLICANT INFORMATION

Applicant ILIS Customer no. (if known): Company name (if applicable): ABN or ACN (if applicable): Title: Mr Mrs Miss Ms Dr Other: Family name(s): Given name(s): Preferred name(s): Postal address: Telephone no. (business hours): Facsimile no.: E-mail address:	Note: All correspondence will go to the person and address indicated here.
---	---

You are required to tick the following boxes and sign the form.
This represents a statement that your home based tourist accommodation meets the requirements of the NT Planning Scheme.

4. DWELLING

The dwelling is a single dwelling and it will meet the requirements of the Building Code of Australia to be classified as Class 1b.	
---	--

5. GUESTS

No more than six guests will be accommodated at a time in the dwelling.	
---	--

6. RESIDENT OPERATOR

I will operate the home based tourist accommodation and I will reside in the dwelling.	
--	--

7. BUSINESS SIGN

If I choose to erect a business sign it will not be more than 0.5m ² in area.	
--	--

8. CAR PARKING

I will provide one car parking space for each guest room plus two car parking spaces for the residents of the dwelling.	
---	--

9.

10. FEE

I am aware that there is a self assessment fee www.nt.gov.au/lands/planning/fees/index.shtml	
---	--

11. DIMENSIONED PLANS

I have attached two dimensioned plans of the proposal.	Attach 2 copies 
--	---

12. APPLICANT TO SIGN AND/OR AFFIX SEAL

The application is complete and any required documentation is attached.	
_____	___/___/___
Signature(s)	Date

PRIVACY NOTE:
 The Department of Lands and Planning, on behalf of the Minister, is authorised under the *Planning Act* to collect the information on this form, or otherwise provided by you, to consider a request for a self assessment. Failure to provide the information in full may result in delays in processing of the application.
 Collection of personal information on this form is done in accordance with the privacy legislation contained within the *Information Act 2002 (NT)*. For more information please refer to the Department of Lands and Planning privacy statement located at www.dlp.nt.gov.au
 Any personal information provided can be subsequently accessed by you on request. If you have any queries please contact Development Assessment Services on 8999 6046.

File Reference	
Planner (Name & Signature)	
Date	

Please quote: 2125788 CR:fh
Your reference: PA2007/0422

2 December 2011

Ann Stephens
Project Officer - Strategic Lands Planning
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Ann

**Proposal: Amendment to the NT Planning Scheme with respect to Clause 7.10.1
Bed and Breakfast Accommodation.**

Thank you for the Proposed Amendment to the NT Planning Scheme referred to this office 2 November 2011. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

Generally the proposed changes are considered acceptable and are not expected to affect matters relating to Council's responsibilities. Council however, **does object** to the introduction of a 'self assessment' track within Clause 2.2 of the NT Planning Scheme.

Permitted or Discretionary Use:

Council objects to the proposed introduction of a 'self assessment' track within Clause 2.2 of the NT Planning Scheme. Council believes that a number of matters require site by site assessment, including the vital need to ensure that car parking requirements are met for a use on a site and that a detailed assessment of the car parking layout is conducted for safety and functionality purposes. The problems that can result from inadequate on-site parking and access have the potential to directly impact upon the amenity of surrounding residents and thus, it is not considered appropriate to allow an applicant to sign off on their own development application.

Business Signs:

Business sign provisions within the planning scheme are to remain the same, with the exception of illuminated signage being permissible within rural zones (Zones H, A, RL and R). While rural uses are limited within the Darwin municipality, rural uses do exist. For this reason, Council requests that a note be placed in the margin of the planning

.../2

scheme, adjoining the proposed amendments, to clarify that Council's *Outdoor Advertising Signs Code* controls the erection of signage within the Darwin municipality, similar to the margin note adjoining clause 6.7 *Signs*.

Car parking:

An additional guest car park is proposed under the revised 'Home Based Tourist Accommodation' compared to 'Bed and Breakfast Accommodation'. As one (1) car parking bay is required per guest room and two (2) for the residents of the dwelling, it is considered reasonable to expect that any persons sharing a room would be travelling in the same party and sharing a vehicle. This is not expected to be an issue for Council.

Suitability of the dwelling:

The current requirements of the NT Planning Scheme do not specify a particular building type to be used for a 'Bed and Breakfast' use other than a dwelling that is sufficient for the use. Thus, by restricting the proposed 'Home Based Tourist Accommodation' to a Class 1b building, under the Building Code of Australia, it would ensure that additional safety standards are applied to the building. This is not considered to be an issue for Council.

Number of Guests:

The increase from five (5) persons to six (6) is not considered excessive. Council has previously advised the Development Consent Authority that it would prefer an increase to six (6) guests accommodated within Bed and Breakfast Accommodation at any one time rather than a guest room restriction, which could potentially sleep a larger number of guests. As the car parking requirement remains the same (see below) this is not considered to be an issue for Council.

Operator Resident of the Dwelling:

While the current Bed and Breakfast Accommodation definition 'means temporary accommodation for travellers provided within a dwelling by the resident of that dwelling' the related Clause 7.10.1 does not stipulate that the operator must reside in the dwelling. Revising Clause 7.10.1 to state that the operator of the business must reside in the dwelling, is considered more acceptable to Council, as it creates a clearer definition for this type of traveller's accommodation and distinguishes it from other self-contained types of accommodation. This is not considered to be an issue for Council and should provide for better onsite management.

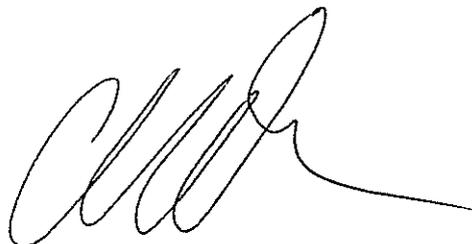
In considering this application, the Reporting Body is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

.../3

-3-

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully

A handwritten signature in black ink, appearing to be 'Cindy Robson', written in a cursive style.

CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: NT Department of Lands and Planning

OPEN SECTION

PAGE

TP12/*

Town Planning Committee Meeting – Tuesday, 6 December 2011**11 INFORMATION ITEMS****11.1 Minutes of the Development Consent Authority Meeting – 21 October, 2011 & 4 November 2011**

Document No. 2140244 (21/10/11) Common No. 1863114

Document No. 2140244 (04/11/11) Common No. 1863114

*The Minutes of the Development Consent Authority Meeting held on 21 October, 2011 & 4 November 2011, are distributed as a separate attachment.***COMMITTEE'S DECISION**

THAT the Committee resolve under delegated authority that the Minutes of the Development Consent Authority Meeting held on 21 October, 2011 and 4 November 2011, be received and noted.

DECISION NO.20\() (06/12/11)

OPEN SECTION

PAGE

TP12/*

Town Planning Committee Meeting – Tuesday, 6 December 2011**11 INFORMATION ITEMS****11.2 Various Letters sent to Development Assessment Services under Delegated Authority**

Common No. 1962248

COMMITTEE'S DECISION

THAT the Committee resolve under delegated authority that the following letters sent to Development Assessment Services, be received and noted:-

- i) Lot 0747 (36) Cummins Street Town of Nightcliff. Proposed Development: Carport addition to an existing single dwelling with a reduced side setback – Common Number 2128292SG:fh dated 21 November 2011.
- ii) Lot 2017 (6) Queen Street Town of Darwin. Proposed Development: 12x2 bedroom multiple dwellings in a 4 storey building plus basement car parking – Common Number 1997327JS:fh dated 11 November 2011.
- iii) Portion 2464 (28) Lakes Crescent Hundred of Bagot. Proposed Development: Extension to an existing single dwelling with a reduced side setback – Common Number 2129577BS:fh dated 25 November 2011.
- iv) Lot 3101 (8) Blesser Street Town of Darwin. Proposed Development: Shed addition to an existing single dwelling with a reduced side setback – Common Number 2131776 dated 25 November 2011.
- v) Lot 3106 (3) Crush Street Town of Darwin. Proposed Development: Dependant Unit – Common Number 2137473 dated 2 December 2011.
- vi) Section 3916 Hidden Valley Road Hundred of Bagot. Proposed Development: Notification of proposed Telecommunications Facility at an existing site without development application for the purposed of removal of three (3) new panel antennas attached to the existing monopole at height of 31.87 metres to the centerline of the antennas – Common Number 2131695 dated 18 November 2011.
- vii) Section 4356 College Road Town of Bagot. Proposed Development: Issuance of Occupational Licence to Mousellis & Sons – Common Number 2124918BS:fh dated 16 November 2011.
- viii) Lot 4687 (38) Gothenburg Crescent Town of Darwin. Proposed Development: 11x2 bedroom units in a 4 storey building with ground level car parking – Common Number 2090196SG:fh dated 18 November 2011.
- ix) Section 5729 Henry Wrigley Drive Hundred of Bagot. Proposed Development: Notification of proposed telecommunications facility at an existing site without development application for the purpose of removal of three (3) new panel antennas and the installation of three (3) new panel antennas attached to the existing water tower at a height of 40.00 metres to the centerline of the antennas – Common Number 2131695 BS:fh dated 18 November 2011.

(Continued on next page...)

OPEN SECTION

PAGE

TP12/*

Town Planning Committee Meeting – Tuesday, 6 December 2011**11 INFORMATION ITEMS****11.2 Various Letters sent to Development Assessment Services under Delegated Authority***(...Continued from previous page)*

- x) Lot 6635 Tambling Terrace Town of Nightcliff. Proposed Development: Carport addition to an existing single dwelling with reduced front and side setbacks – Common Number 2126254 JS:fh dated 18 November 2011.
- xi) Lot 7733 (18) Duke Street Town of Darwin. Proposed Development: 2 storey single dwelling exceeding 8.5m in height – Common Number 2126251BS:fh dated 18 November 2011.
- xii) Lot 8033 (25) Parap Road Town of Darwin. Proposed Development: Change of use from office to a medical clinic (units 6 & 7) – Common Number 2131730BS:fh dated 2 December 2011.
- xiii) Lot 9129 (1) Cartwright Court Town of Nightcliff. Proposed Development: Verandah addition to an existing multiple dwelling (unit 12) with a reduced side setback – Common Number 2137474JS:fh dated 2 December 2011.
- xiv) Lot 9129 Cartwright Court Town of Nightcliff. Proposed Development: Verandah addition to an existing multiple dwelling (unit 13) with a reduced side setback – Common Number 2137475JS:fh dated 2 December 2011.
- xv) Lot 9276 (13) Harris Street Town of Nightcliff. Proposed Development: Carport, shed and verandah additions to an existing multiple dwelling (unit 1) – Common Number 2131135BS:fh dated 25 November 2011.
- xvi) Lot 10490 (11) Vanderlin Drive Town of Nightcliff. Proposed Development: Change of used of one tenancy (on level 1) from shop to medical clinic – Common Number 2119926JS:fh dated 11 November 2011.

DECISION NO.20\()

(06/12/11)

Please quote: 2128292 SG:fh
Your reference: PA2011/0787

21 November 2011

Doug Lesh
Manager Urban Planning
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

Parcel Description: Lot 0757 (36) Cummins Street Town of Nightcliff
Proposed Development: Carport addition to an existing single dwelling with a reduced side setback

Thank you for the Development Application referred to this office 7 November 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

No issues are raised for this Development Application in relation to matters that fall within the responsibility of the Darwin City Council.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **Council requests the Authority requires a schematic plan demonstrating that stormwater run-off is capable of being discharged across the lot surface to the main drainage system or to an approved alternate connection.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged to Council's drainage network.
 - 1). Council stormwater discharge guidelines do not allow concentrated discharge of stormwater from a Single Dwelling lot to adjoining properties or the road reserve. All stormwater is to be piped or dispersed via sheet flow to the road reserve.

.../2

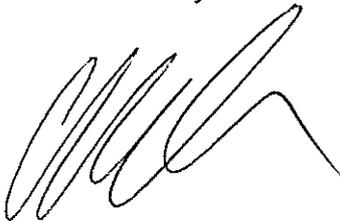
Council comments in relation to the Planning Act, the NT Planning Scheme and Land Use Objectives:-

- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager Infrastructure, Darwin City Council.
- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the General Manager Infrastructure, Darwin City Council and at no cost to Council.
- Sight lines shall be provided at crossovers to public streets to the satisfaction of the General Manager Infrastructure, Darwin City Council. No fence or tree exceeding 0.6 metres in height shall be planted in front of the sight line.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Mr Rino Cercarelli



Development Consent Authority

Northern Territory

GPO BOX 1680
DARWIN NT 0801

Telephone No: (08) 8999 6046
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0787

Sir or Madam
Darwin City Council
GPO Box 84
DARWIN NT 0801

Dear Sir or Madam,

Proposed Development Application

The attached application has been received for assessment by the Development Consent Authority:

Parcel Description	Lot 00757 Town of Nightcliff
Road/Street	36 CUMMINS ST
Town Plan Zone	SD (Single Dwelling)
Tenure Type	ESTATE IN FEE SIMPLE
Land Owners	Cercarelli, Rino Romeo
Applicant	Mr Rino Cercarelli
Contact Number	0401 114 521
Purpose	Carport addition to an existing single dwelling with a reduced side setback

The proposal can be viewed online for a two week period from **Monday, 7th November 2011** until **Monday, 21st November 2011** at:

<https://www.ntlis.nt.gov.au/planning/ita.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Monday, 21st November 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:

https://www.ilis.nt.gov.au/ilis/12?pagelD=planning.application&ilis_entity_id=65716324

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

If you wish to secure a third party right of appeal, when it exists, you must specify that the submission is being made under section 49 and ensure that the submission is lodged with the consent authority by 4PM CST **Monday, 21st November 2011** which is the closing date for public exhibition.

CURNOW PLACE

EXISTING CONCRETE DRIVEWAY

19.810 m

6.455 m

FRONT YARD

LOT 575

EXISTING RESIDENCE

BACK YARD

PROPOSED CARPORT

24.385 m

6800 MIN

8500 TO COLUMN

300

33.530 m

31.800 m

SITE PLAN 1:200

CUMMINS STREET

EXISTING CONCRETE DRIVEWAY

TRIMDEK COLORBOND ROOF SHEETING AT 3" ON STEEL PURLINS FIXED TO NT DTC M/140/1-TYP

DURAGAL RHS FRAMES. PAINT FINISH-TYP

100 DEEP SLAB ON GROUND

ELEVATION 1

COLORBOND PM BARGES AND FLASHINGS TO ROOF EDGES-TYP

TOP OF BEAM

3400

TOP OF SLAB

ELEVATION 4

600 ROOFLINE

CARPORT CONC. SLAB

4100

1800

1800

6000

9600

FLOOR PLAN



ELEVATION KEY

____ OF _____

(NAME)

(ADDRESS)

HEREBY DO NOT OBJECT TO THE PROPOSED DEVELOPMENT OUTLINED IN THIS DRAWING.

SIGNED: _____

DATE: _____

8/52 MARINA BLVD CULLEN BAY
 PO BOX 37577 WINNELLE NT 0821
 TELEPHONE (08) 89422112
 FACSIMILE (08) 89422113

di Mir

STRUCTURAL ENGINEERS & BUILDING CONSULTANTS

ISSUE FOR DEVELOPMENT ASSESSMENT

ASSIGNMENT: CARPORT AT LOT 757 CUMMINS STREET STREET NIGHTCLIFF

102 OF 982 SHEET DA1

Please quote: 1997327 JS:fh
Your reference: PA2011/0272

11 November 2011

Doug Lesh
Manager Urban Planning
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

Parcel Description: Lot 2017 (6) Queen Street Town of Darwin
Proposed Development: 12 x 2 bedroom multiple dwellings in a 4 storey building plus basement car parking

Thank you for the Development Application referred to this office 27 October 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**

a). **Driveway Location**

Notwithstanding the amended plans indicating an internal circular driveway, Council's preference is for the driveway to remain in its original location as per drawing number O1D-11-002. The proposed alternative location may result in unsafe traffic scenarios in relation to the intersection of Queen Street and Coronation Drive.

b). **Waste**

Council requests the Authority require a Waste Management Plan demonstrating waste disposal, storage and removal in accordance with Council's Waste Management Policy 054. The applicant's plans fail to demonstrate adequate waste management.

A copy of Council's Waste Management Policy 054 may be viewed on Council's website or by contacting Council's Infrastructure department.

.../2

c). **Setbacks**

Council notes a number of variations to the Northern Territory Planning Scheme provisions in relation to Table B of Clause 7.3 – Minimum Building Setbacks for Residential Buildings Over Two Storeys in Height and Associated Open Structures. While Council does not necessarily support these variations, the development proposal is generally consistent with the Northern Territory Planning Scheme controls and therefore, it does not object

d). **Private Open Space**

Council notes a variation to the Northern Territory Planning Scheme provisions in relation to Clause 7.5 – Private Open Space. The applicant's plans indicate a maximum width of 2.0m for balconies when a minimum width of 2.8m is required. While Council does not object to these variations, it does note that the narrower balconies may be less functional.

ii). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

a). **Council requests the Authority requires a schematic plan demonstrating all stormwater to be collected on the site and discharged underground to Council's stormwater drainage system.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged underground to Council's drainage network.

1). The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system.

2). Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into Council's stormwater drainage system. It is also necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.

.../3

- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the General Manager Infrastructure, Darwin City Council and at no cost to Council.
- Kerb crossovers and driveways to the site shall be provided and disused crossovers removed, public footpath and cycleways shall be provided, stormwater shall be collected and discharged into Council's drainage network, and reinstatement works carried out, all to the requirements and satisfaction of the General Manager Infrastructure, Darwin City Council and at no cost to Council.
- Sight lines shall be provided at crossovers to public streets to the satisfaction of the General Manager Infrastructure, Darwin City Council. No fence or tree exceeding 0.6 metres in height shall be planted in front of the sight line.
- Any gate over an access to a public road shall be placed on the subject site at least 4.5m from the face of the kerb line of the adjoining public road.
- Car parking spaces and internal driveways shall meet the requirements of the relevant Australian Standard and be linemarked and sealed with an impervious material.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager Infrastructure, Darwin City Council.
- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.
- Any proposed signage for the site shall be subject to a separate assessment in accordance with Darwin City Council Policy Number 42 – Outdoor Advertising Signs Code.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Mr George Mamouzellos

Development Consent Authority

Northern Territory

GPO BOX 1680
 DARWIN NT 0801

Telephone No: (08) 8999 6046
 Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0272

Sir or Madam
 Darwin City Council
 GPO Box 84
 DARWIN NT 0801

Dear Sir or Madam,

Proposed Development Application

The attached application has been received for assessment by the Development Consent Authority:

Parcel Description	Lot 02017 Town of Darwin
Road/Street	6 QUEEN ST
Town Plan Zone	MR (Medium Density)
Tenure Type	ESTATE IN FEE SIMPLE
Land Owners	Mamouzellos, Katina

Applicant	Mr George Mamouzellos
Contact Number	0416 707 030
Purpose	12 x 2 bedroom multiple dwellings in a 4 storey building plus basement car parking

The **amended proposal** can be viewed online for a two week period from **Friday, 28th October 2011** until **Friday, 11th November 2011** at:

<https://www.ntlis.nt.gov.au/planning/lta.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Friday, 11th November 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

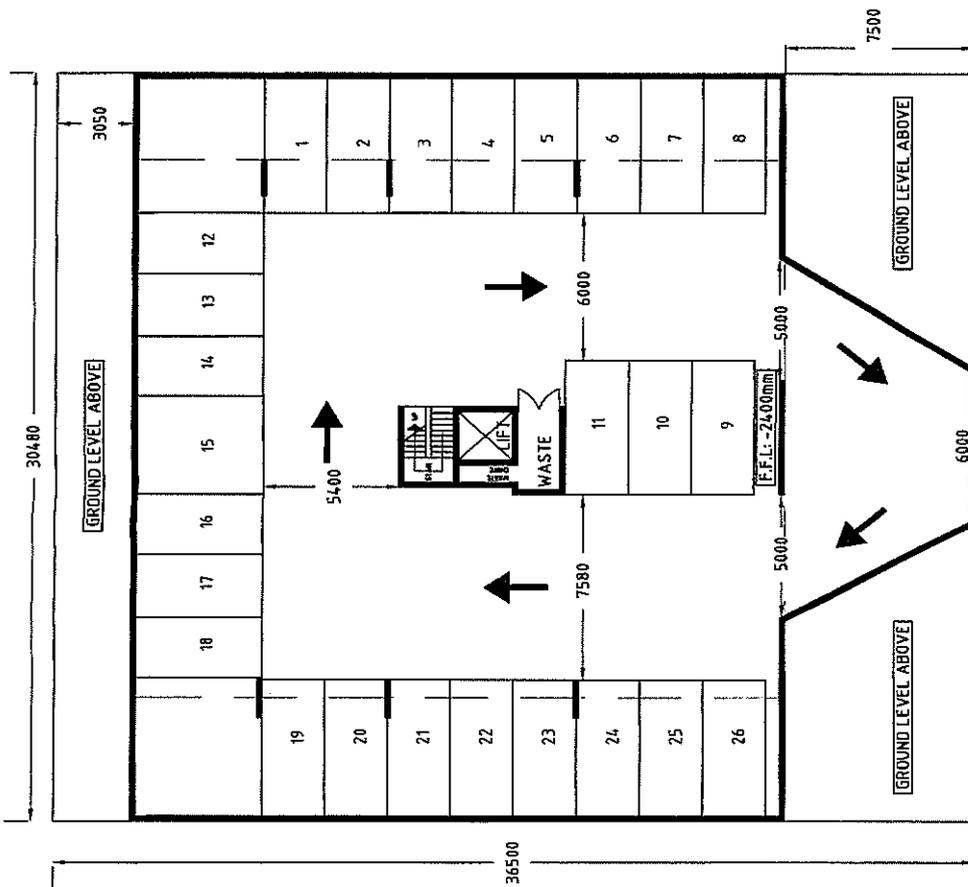
If you have access to ILIS please enter your submission online at:
https://www.ilis.nt.gov.au/ilis/l2?pageId=planning.application&ilis_entity_id=63405815

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

If you wish to secure a third party right of appeal, when it exists, you must specify that the submission is being made under section 49 and ensure that the submission is lodged with the consent authority by 4PM CST **Friday, 11th November 2011** which is the closing date for public exhibition.



QUEEN ST

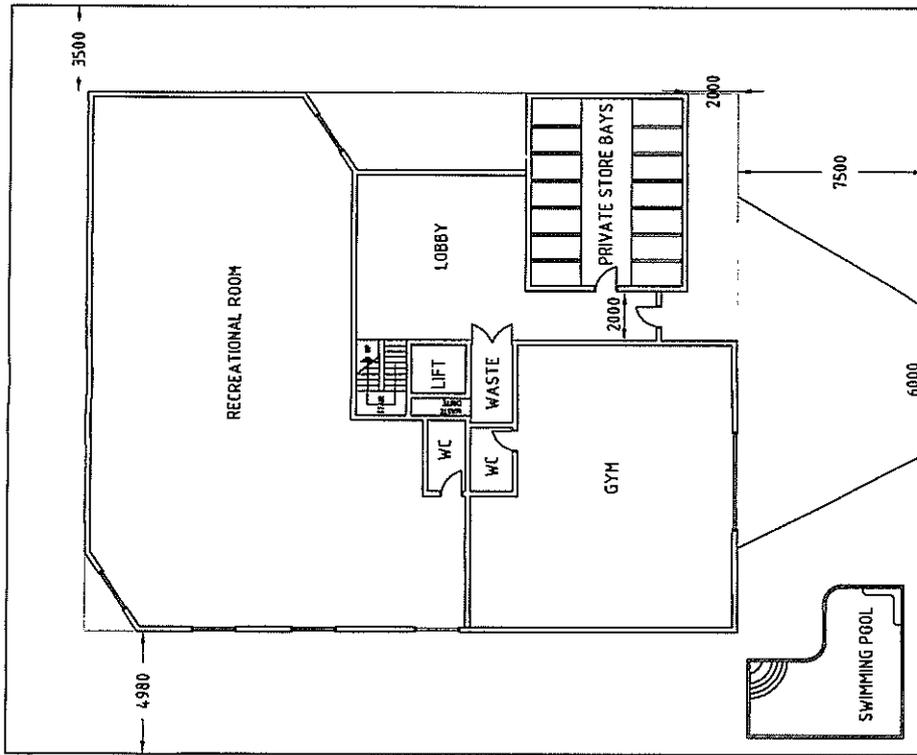
SCALE	1:200	DRAWING NO.	01D-11-002
DATE	12/10/2011	DATE ANSQ.	
DRAWN BY	DANIEL	SHEET NO.	A-01

PROPOSED DEVELOPMENT OF TWELVE
BY THREE BEDROOM UNITS
AT LOT 2017
QUEEN STREET
STUART PARK
FOR: GEORGE MAROUZELLIS

UNDERGROUND PARKING PLAN

0404 695 122
oneid@live.com.au

oneid
esigns
architectural design &
drafting solutions



GROUND FLOOR LAYOUT

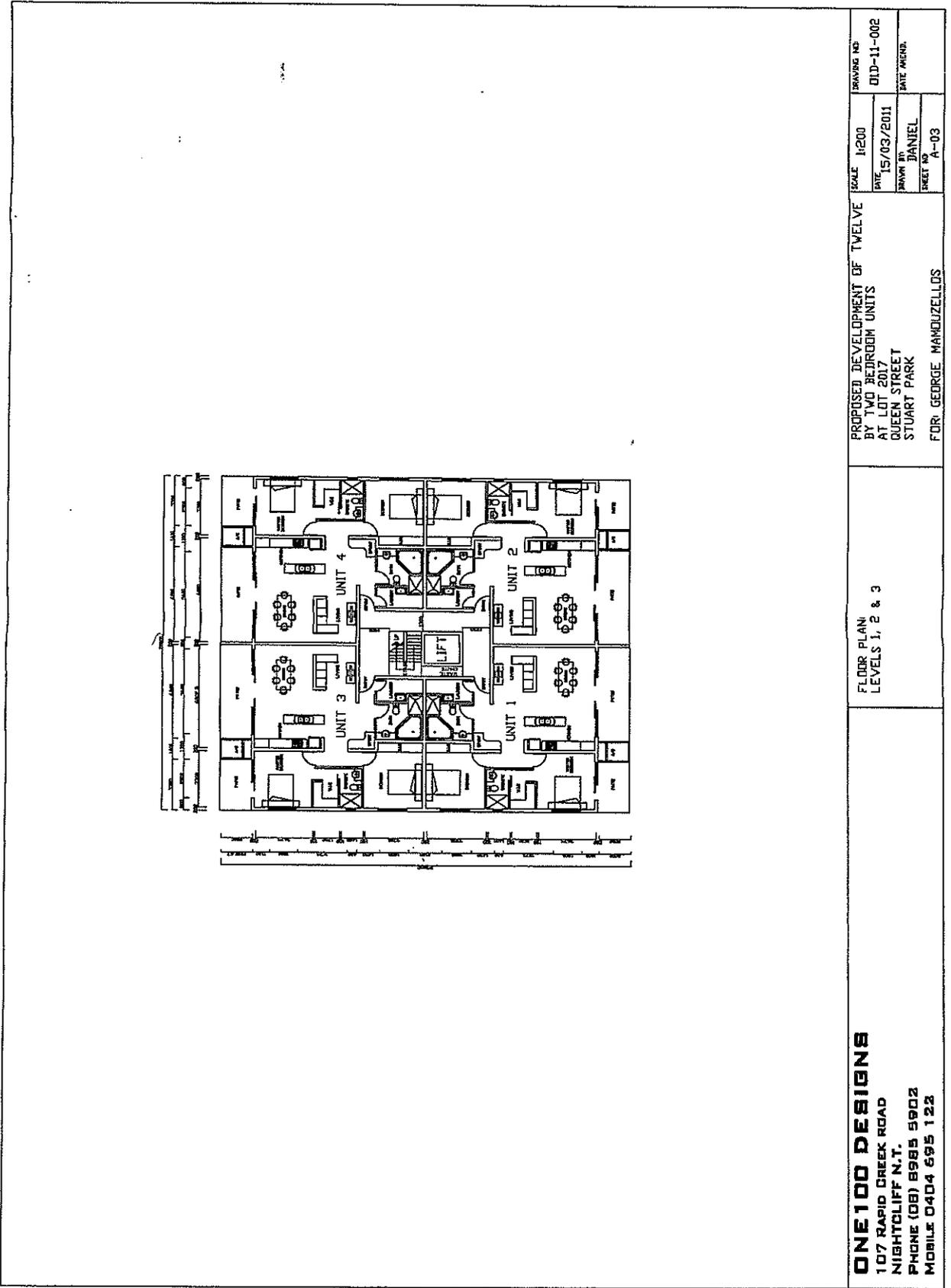
PROPOSED DEVELOPMENT OF TWELVE
 BY THREE BEDROOM UNITS
 AT LOT 2017
 QUEEN STREET
 STUART PARK
 FOR: GEORGE MAMOUZELLOS

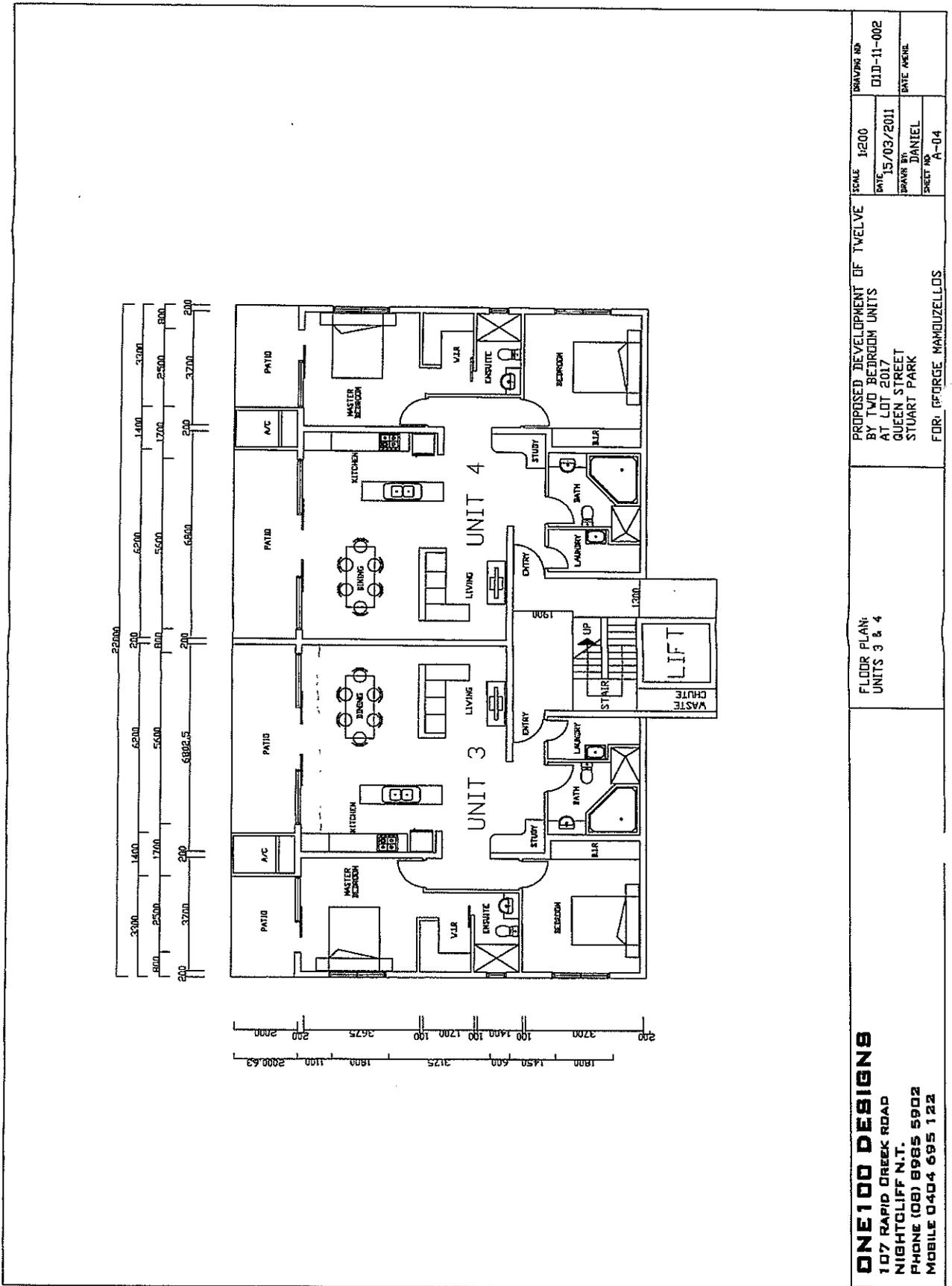
SCALE	1:200	DRAWING NO.	01D-11-002
DATE	12/10/2011	DATE AMOD.	
DRAWN BY	DANIEL		
SHEET NO.	A-02		

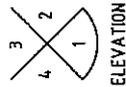
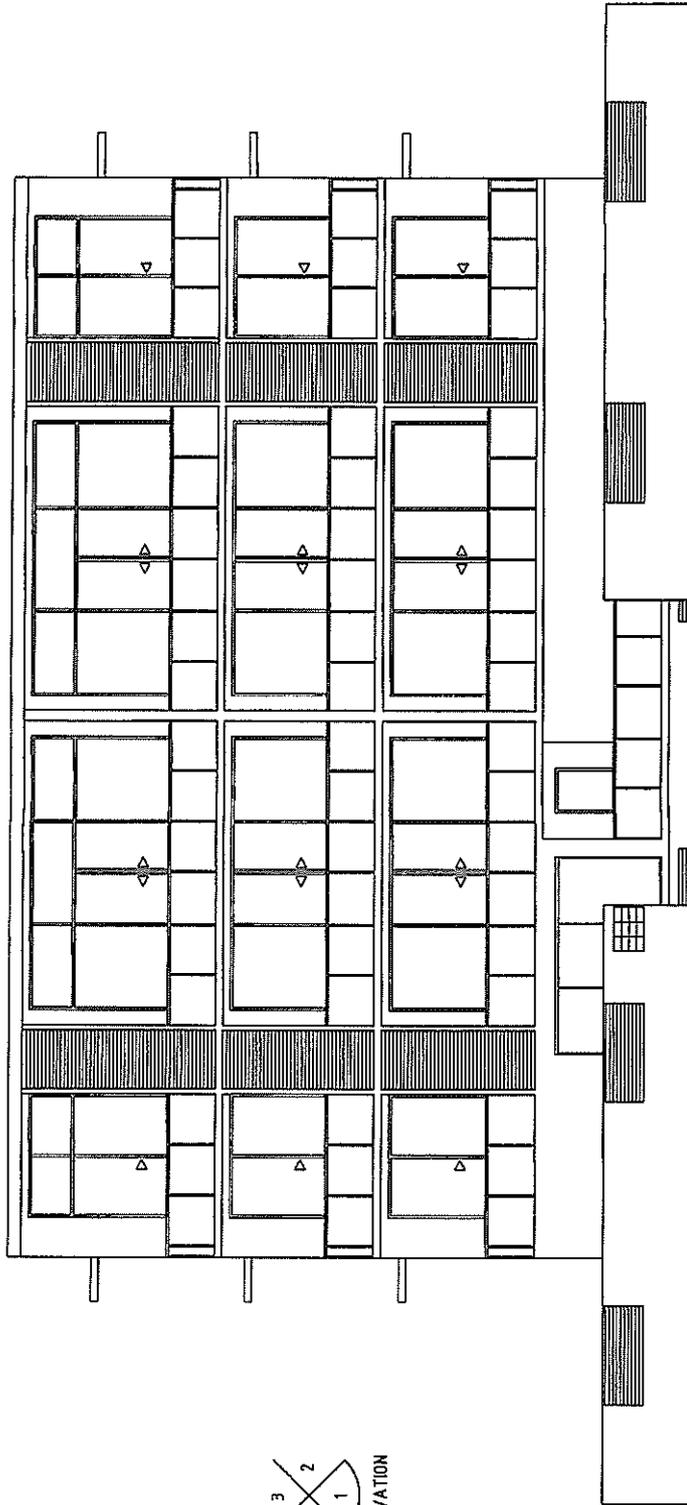
0404 695 122
 one100@live.com.au



one100
esigns
 architectural design &
 drafting solutions







ELEVATIONS

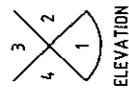
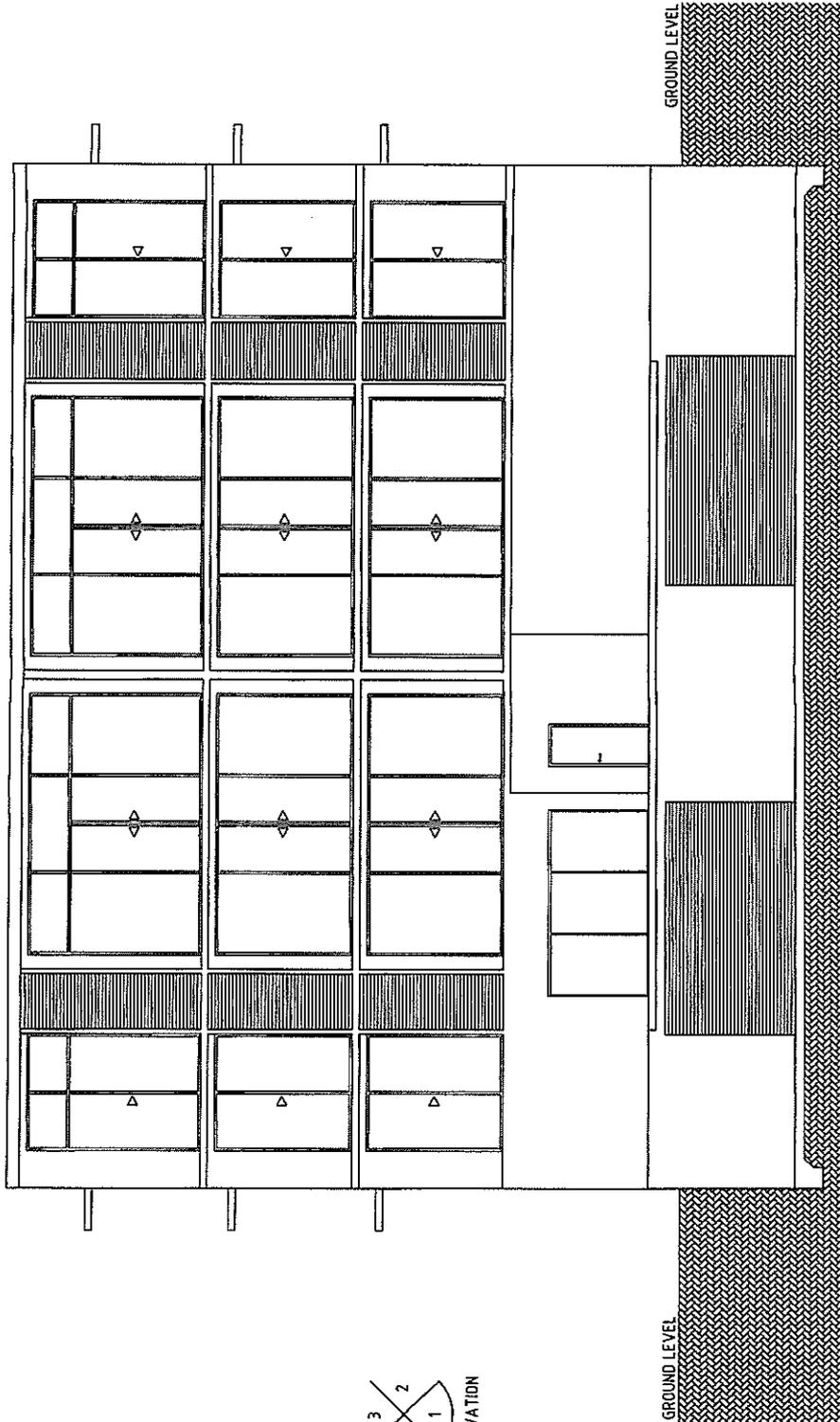
PROPOSED DEVELOPMENT OF TWELVE
 BY THREE BEDROOM UNITS
 AT LOT 2017
 QUEEN STREET
 STUART PARK
 FOR: GEORGE MAMOUIZELLOS

SCALE	1:100	DRAWING NO.	01D-11-002
DATE	12/10/2011	DATE APPR.	
DRAWN BY	DANIEL		
SHEET NO.	A-03		

0404 696 122
 oneioolive.com.au



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esiqns
 architectural design &
 drafting solutions



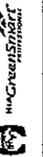
DRAWING NO.	01D-11-002
DATE	12/10/2011
DRAWN BY	DANIEL
CHECKED BY	
SHEET NO.	A-04

SCALE 1:100

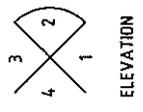
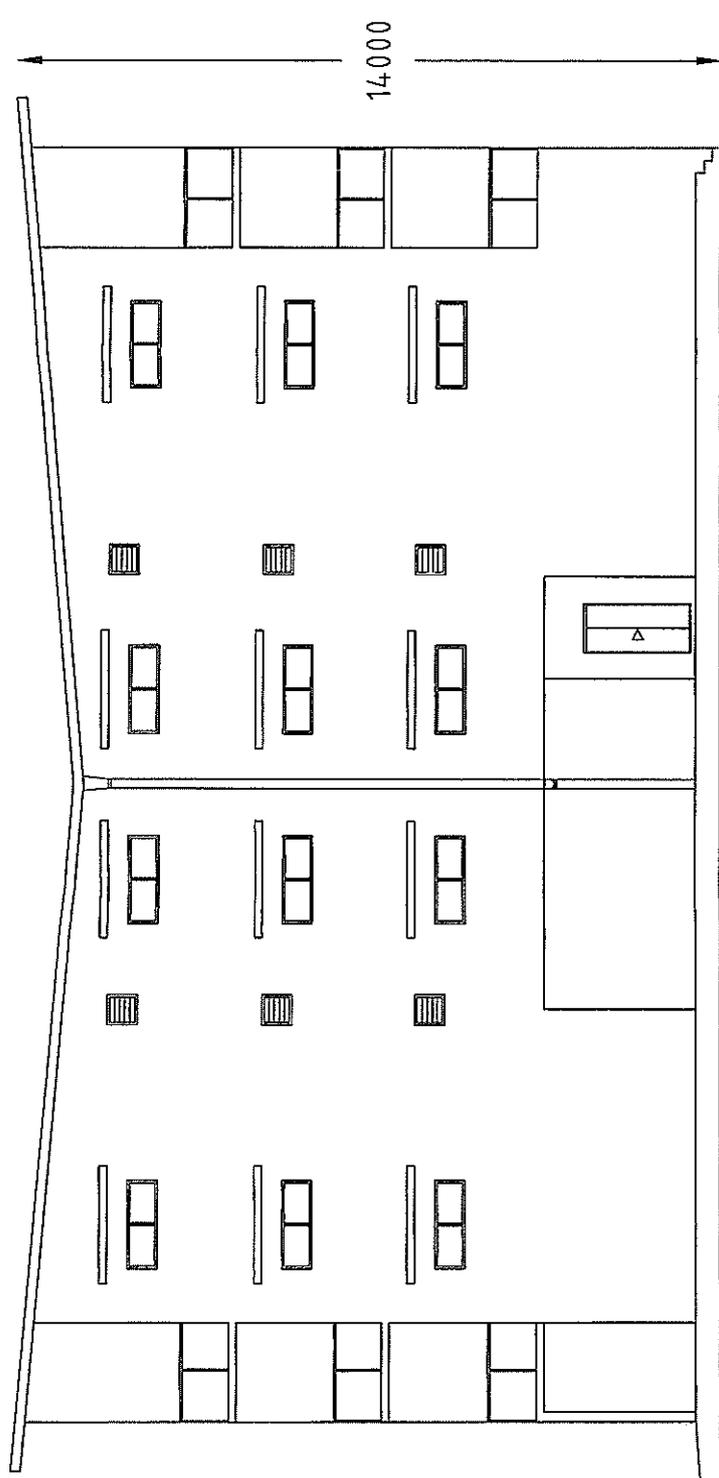
PROPOSED DEVELOPMENT OF TWELVE
BY THREE BEDROOM UNITS
AT LOT 2017
QUEEN STREET
STUART PARK
FOR: GEORGE MANOUZELLOS

ELEVATIONS

0404 695 122
oneidolive.com.au



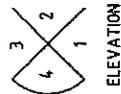
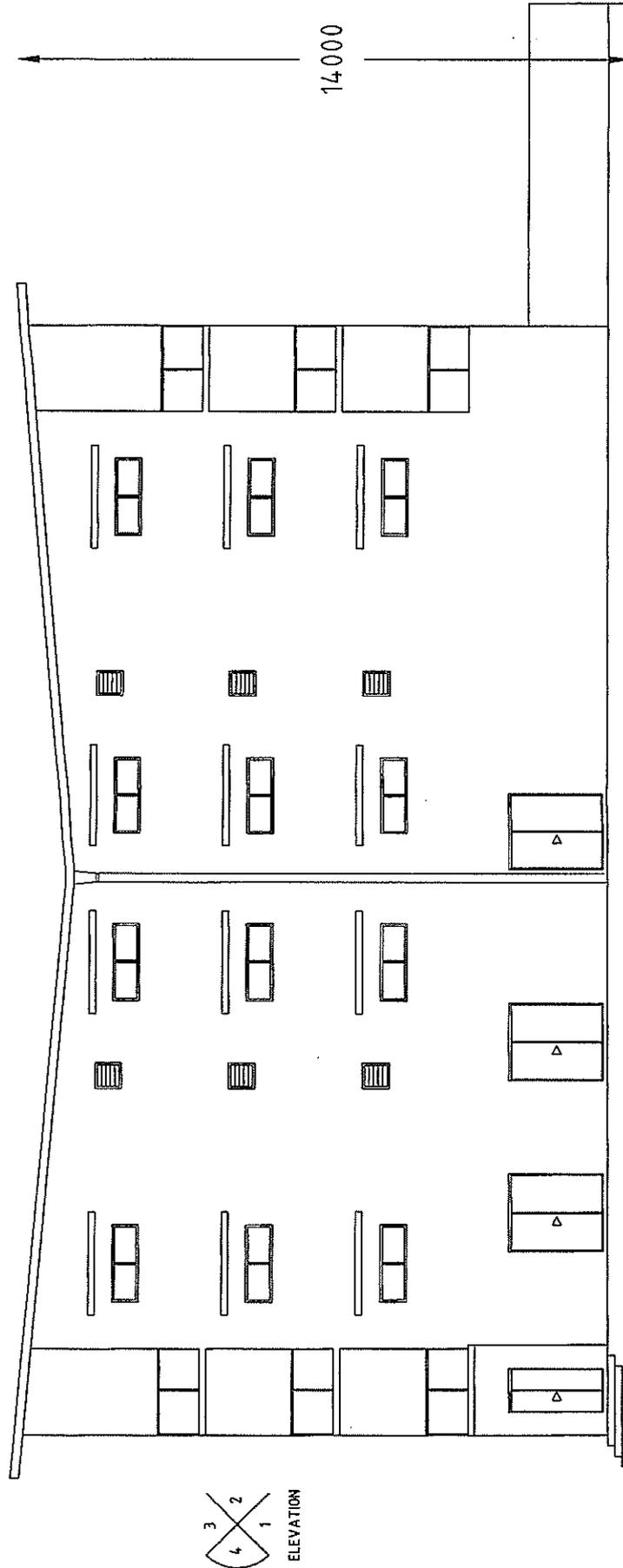
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esigns
architectural design &
drafting solutions



DRAWING NO. D1D-11-002	SCALE	1:100
	DATE	12/10/2011
	DRAWN BY	DANIEL
	SHEET NO.	A-05
PROPOSED DEVELOPMENT OF TWELVE BY THREE BEDROOM UNITS AT LOT 2017 QUEEN STREET STUART PARK DR: GEORGE MANGOUZELLOS		
ELEVATIONS		

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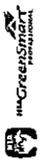

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esiqns
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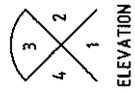
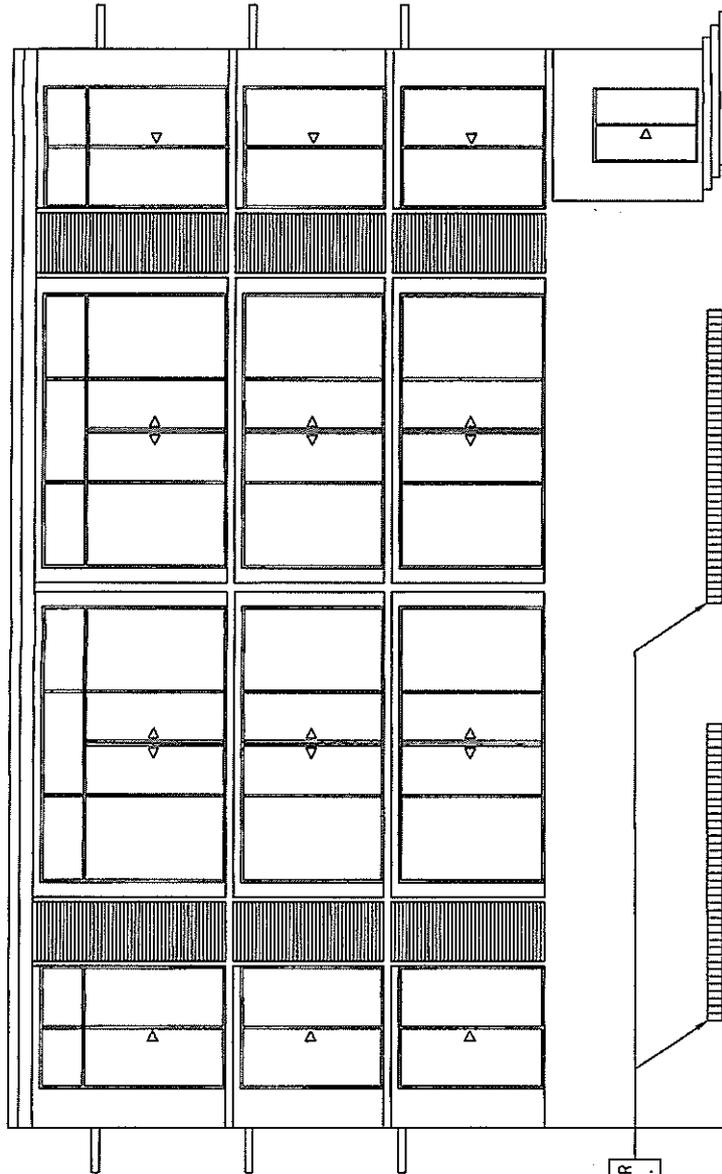
PROPOSED DEVELOPMENT OF TWELVE BY THREE BEDROOM UNITS AT LOT 2017 QUEEN STREET STUART PARK FOR: GEORGE HAMOUZELLOS	SCALE	1:100	DRAWING NO.	01D-11-002
	DATE	12/10/2011	DATE ANNO.	
	DRAWN BY	DANIEL		
	SHEET NO.	A-06		

ELEVATIONS

0404 699 122
 one100@live.com.au



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 esiqns
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 drafting solutions



ELEVATION

300mm HIGH GRATE FOR AIRFLOW TO CARPARK.

DRAWING NO. 010-11-002		SCALE 1:100
DATE 12/10/2011		DATE 12/10/2011
DRAWN BY DANIEL		SHEET NO. A-07
PROPOSED DEVELOPMENT OF TWELVE BY THREE BEDROOM UNITS AT LOT 2017 QUEEN STREET STUART PARK FOR: GEORGE MANOUZELLOS		
ELEVATIONS		

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 HIA GreenStar 4 Approved
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 esiqns
 architectural design &
 drafting solutions

Please quote: 2129577BS:fh
Your reference: PA2011/0814

25 November 2011

Doug Lesh
Manager Urban Planning
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

Parcel Description: Portion 2464 (28) Lakes Crescent Hundred of Bagot
Proposed Development: Extension to an existing single dwelling with a reduced side setback

Thank you for the Development Application referred to this office 8 November 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

- i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**
 - a). Council notes a number of variations to the Northern Territory Planning Scheme provisions in relation to Table A of Clause 7.3 – Minimum Building Setbacks for Residential Buildings and Associated Open Structures. While Council does not necessarily support these variations, in light of the existing built form within the area, it does not object.
- ii). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **Council requests the Authority requires a schematic plan demonstrating that stormwater run-off is capable of being discharged across the lot surface to the main drainage system or to an approved alternate connection. The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged to Council's drainage network.**

.../2

- 1). Council stormwater discharge guidelines do not allow concentrated discharge of stormwater from a Single Dwelling lot to adjoining properties or the road reserve. All stormwater is to be piped or dispersed via sheet flow to the road reserve.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager Infrastructure, Darwin City Council.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Mr Peter Donald Styles



Development Consent Authority

Northern Territory

GPO BOX 1680
DARWIN NT 0801

Telephone No: (08) 8999 6046
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0814

Sir or Madam
Darwin City Council
GPO Box 84
DARWIN NT 0801

Dear Sir or Madam,

Proposed Development Application

The attached application has been received for assessment by the Development Consent Authority:

Parcel Description	Portion 02464 Hundred of Bagot
Road/Street	28 LAKES CRES
Town Plan Zone	SD (Single Dwelling)
Tenure Type	ESTATE IN FEE SIMPLE
Land Owners	Fazldeen,Linda Rose-Marie Styles,Peter Donald
Applicant	Mr Peter Donald Styles
Contact Number	08 8927 2100
Purpose	Extension to an existing single dwelling with a reduced side setback

The proposal can be viewed online for a two week period from **Friday, 11th November 2011** until **Friday, 25th November 2011** at:

<https://www.ntlis.nt.gov.au/planning/ta.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Friday, 25th November 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:

https://www.ilis.nt.gov.au/ilis/l2?pageId=planning.application&ilis_entity_id=65816528

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

If you wish to secure a third party right of appeal, when it exists, you must specify that the submission is being made under section 49 and ensure that the submission is lodged with the consent authority by 4PM CST **Friday, 25th November 2011** which is the closing date for public exhibition.

Description of works for proposed cyclone shelter storeroom at 28 Lakes Crescent, Marrara.

This application relates to the construction of a cyclone shelter storeroom on the southern side of the existing dwelling located at 28 Lakes Crescent, Marrara.

This southern or outer wall of the cyclone shelter is proposed to be built as a firewall on the property boundary between 28 Lakes Crescent and 30 Lakes Crescent, Marrara.

There is an existing 3 m easement between 28 and 30 Lakes Crescent, Marrara.

The firewall on the property boundary would extend east and west along the side of the existing dwelling.

The entire cyclone shelter storeroom would be constructed of concrete blocks, have the appropriate reinforcing rods and be core filled.

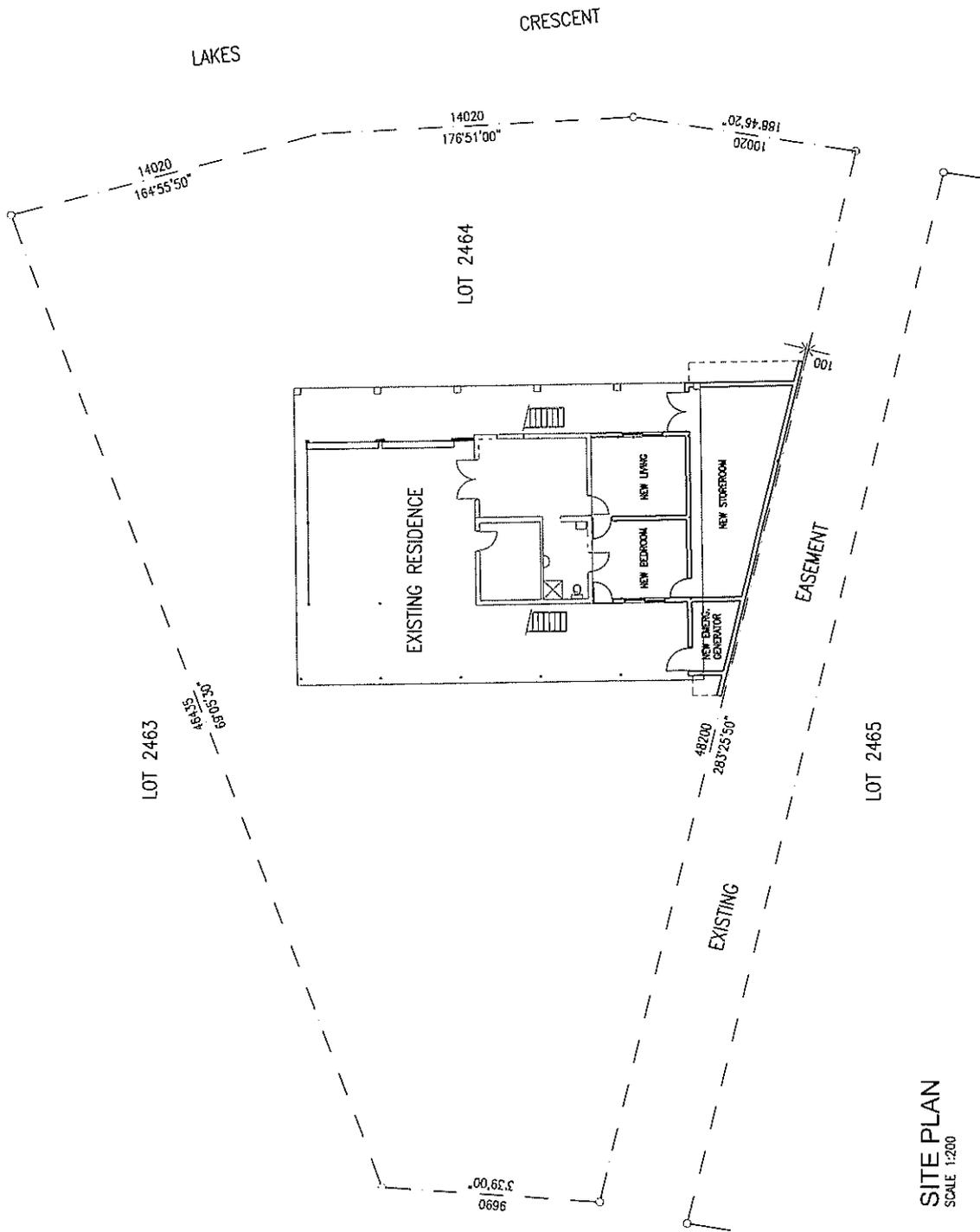
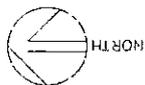
This would then have a concrete roof which would in turn have a colour bond roof over the structure to keep direct sunlight off the concrete, thereby reducing the internal temperature of the cyclone shelter storeroom.

Currently growing in the easement and adjacent to the existing fence at 28 Lakes Crescent, is a row of clumping golden cane farms which would cover approximately 2/3 of the proposed firewall on the property boundary.

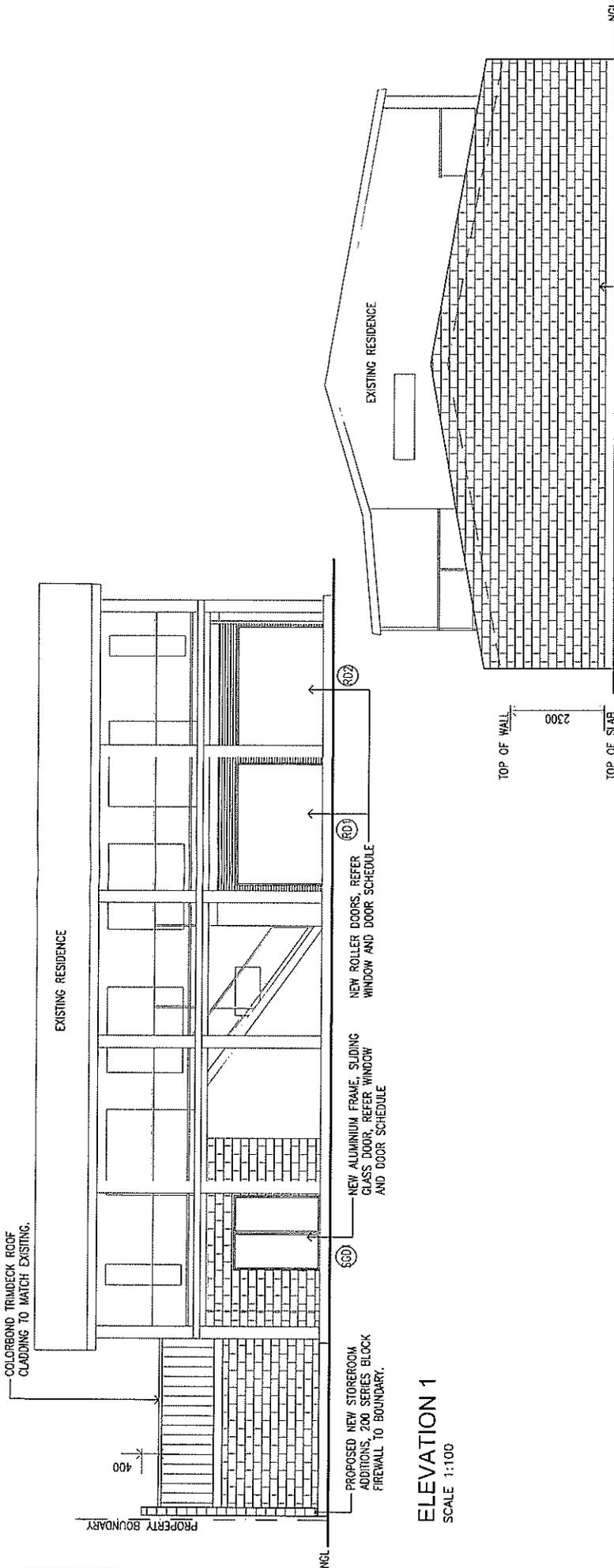
It is proposed that more golden canes would be planted in the easement and along the property line so as to continue the existing vegetation and add to the aesthetics.

The proposed front wall of the cyclone shelter storeroom that would face the front of the property and therefore the street would be hidden by the existing garden, shrubs and trees.

The proposed enclosure of the area under the existing dwelling would be constructed of concrete blocks and core filled with concrete so as to add to the overall strength of the ground level alterations and to strengthen the overall cyclone survivability of the structure.

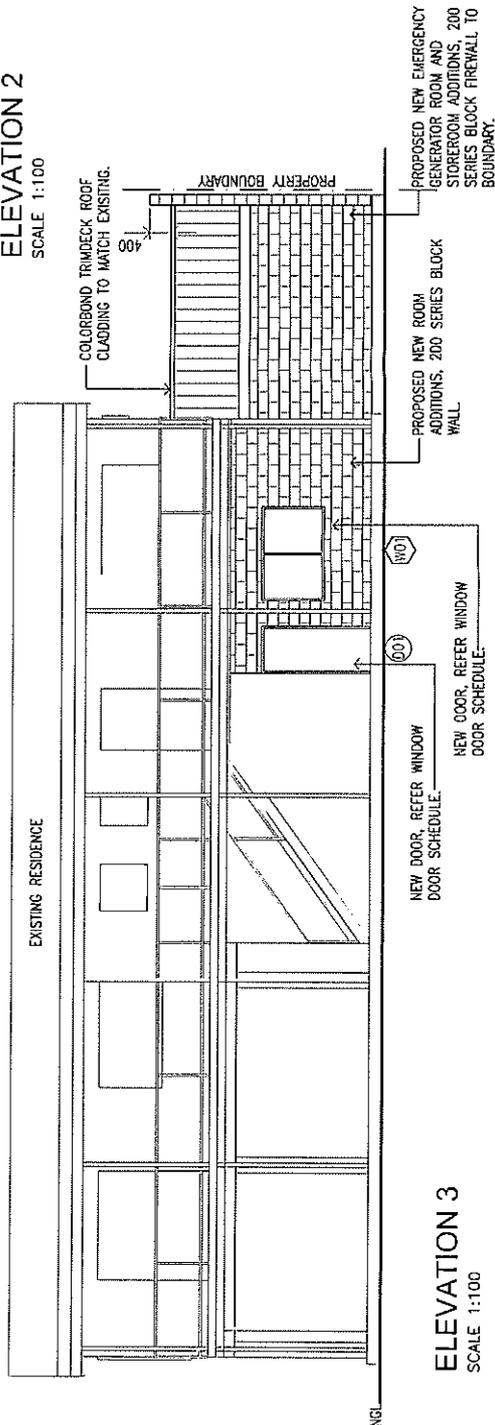


SITE PLAN
SCALE 1:200

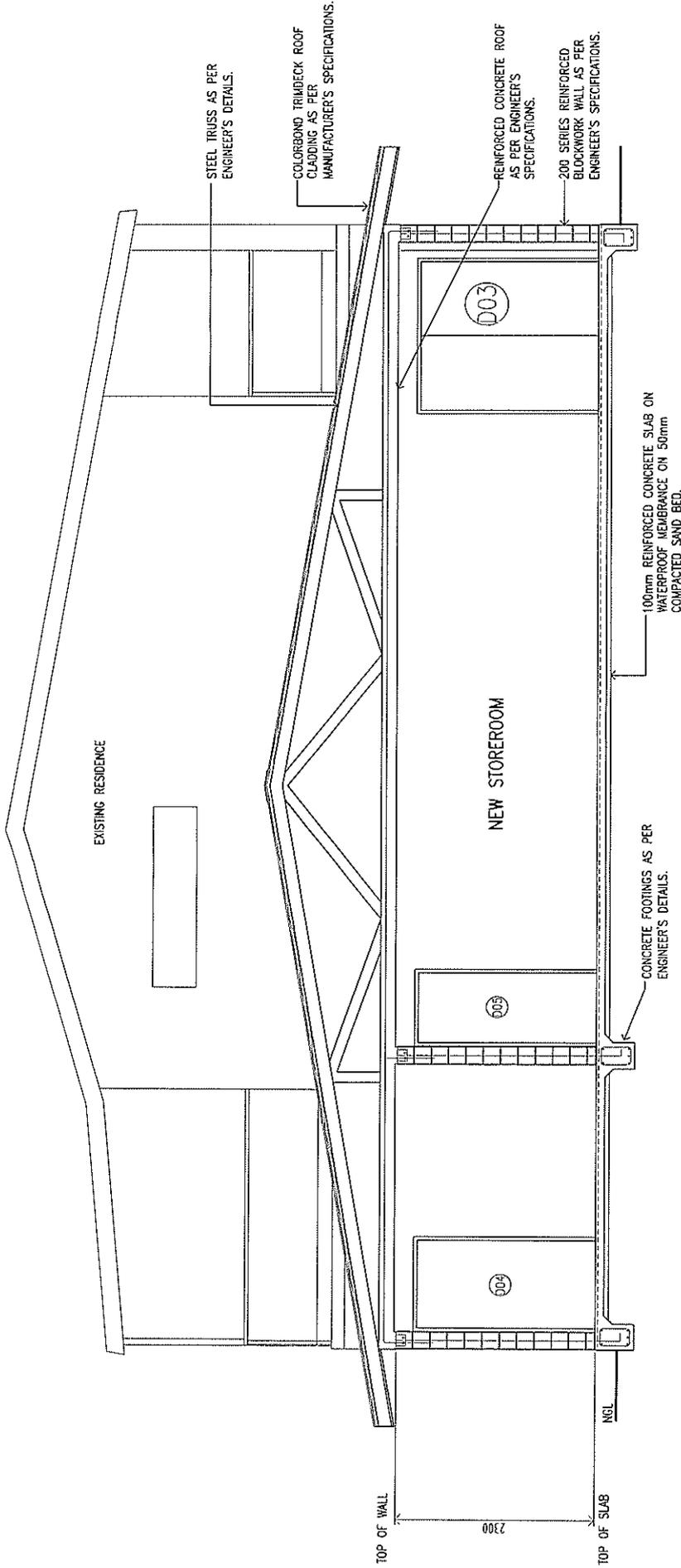


ELEVATION 1
SCALE 1:100

ELEVATION 2
SCALE 1:100



ELEVATION 3
SCALE 1:100



SECTION X - X
SCALE 1:50 AT A3
A02

Please quote: 2131776 BS:fh
Your reference: PA2011/0810

25 November 2011

Doug Lesh
Manager Urban Planning
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

Parcel Description: Lot 3101 (8) Blesser Street Town of Darwin
Proposed Development: Shed addition to an existing single dwelling with a reduced side setback

Thank you for the Development Application referred to this office 11 November 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

No issues are raised for this Development Application in relation to matters that fall within the responsibility of the Darwin City Council.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are recommended for inclusion in the Development Permit issued by the Development Consent Authority.

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **Council requests the Authority requires a schematic plan demonstrating that stormwater run-off is capable of being discharged across the lot surface to the main drainage system or to an approved alternate connection.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged to Council's drainage network.
 - 1). Council stormwater discharge guidelines do not allow concentrated discharge of stormwater from a Single Dwelling lot to adjoining properties or the road reserve. All stormwater is to be piped or dispersed via sheet flow to the road reserve.

.../2

Council comments in relation to the Planning Act, the NT Planning Scheme and Land Use Objectives:-

- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager Infrastructure, Darwin City Council.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Mr Robert Watt



Development Consent Authority

Northern Territory

GPO BOX 1680
DARWIN NT 0801

Telephone No: (08) 8999 6046
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0810

Sir or Madam
Darwin City Council
GPO Box 84
DARWIN NT 0801

Dear Sir or Madam,

Proposed Development Application

The attached application has been received for assessment by the Development Consent Authority:

Parcel Description	Lot 03101 Town of Darwin
Road/Street	8 BLEESER ST
Town Plan Zone	SD (Single Dwelling)
Tenure Type	ESTATE IN FEE SIMPLE
Land Owners	Johnson, Peter James Johnson, Sandra Ruth
Applicant	Mr Robert Watt
Contact Number	08 8948 4771
Purpose	Shed addition to an existing single dwelling with a reduced side setback

The proposal can be viewed online for a two week period from **Friday, 11th November 2011** until **Friday, 25th November 2011** at:

<https://www.ntlis.nt.gov.au/planning/ta.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Friday, 25th November 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:

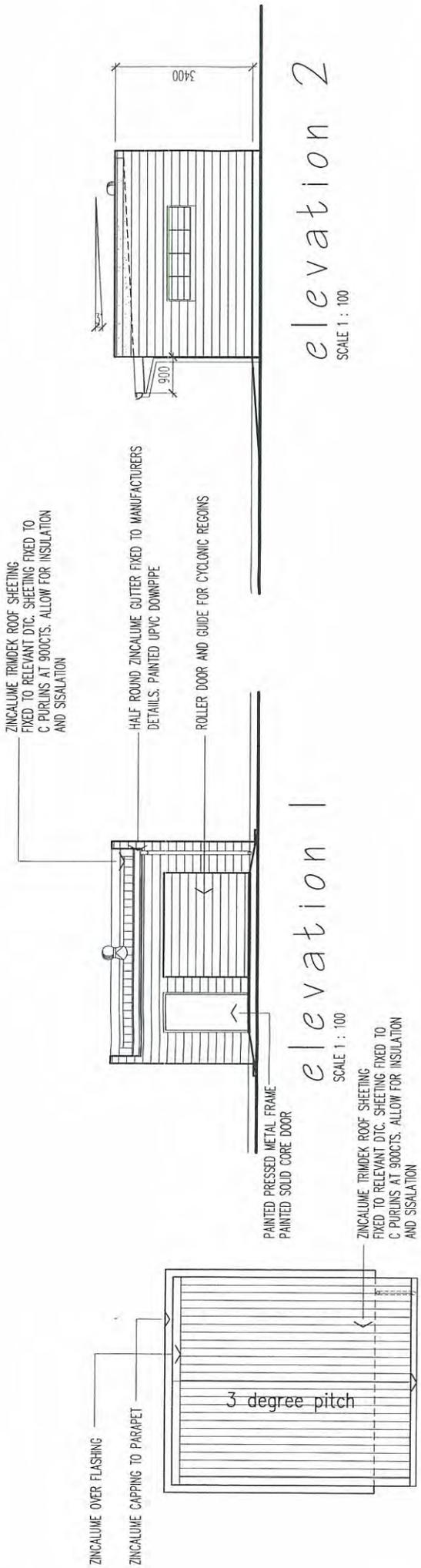
https://www.ilis.nt.gov.au/ilis/l2?pageld=planning.application&ilis_entity_id=65779868

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

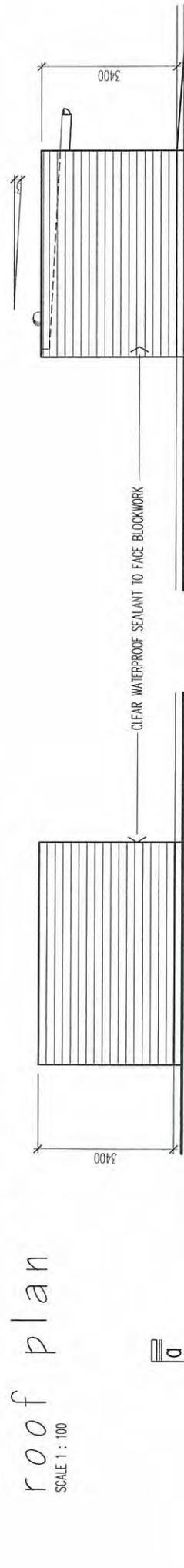
Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

If you wish to secure a third party right of appeal, when it exists, you must specify that the submission is being made under section 49 and ensure that the submission is lodged with the consent authority by 4PM CST **Friday, 25th November 2011** which is the closing date for public exhibition.



elevation 2
SCALE 1 : 100

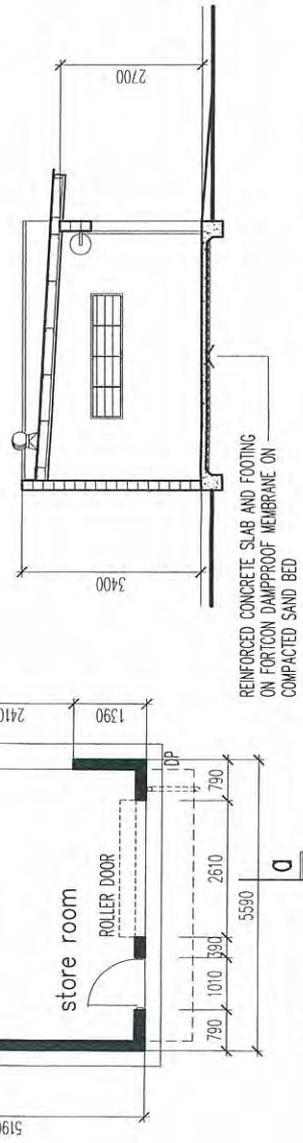
elevation 1
SCALE 1 : 100



roof plan
SCALE 1 : 100

elevation 3
SCALE 1 : 100

elevation 4
SCALE 1 : 100



section a-a
SCALE 1 : 100

floor plan
SCALE 1 : 100

REV 1 ISSUED FOR DCA APPROVAL 28.10.11

raw designs
northern territory

21 - 3000 road - darwin - NT 0810 • 0813 6363 • 0813 6363 • 0813 6363
111 - 105 Bayside Court - Darwin - NT 0810 • 0813 6363 • 0813 6363

LOT 3101
BLEESER STREET
FANNIE BAY
23 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

128
A

10131-SK2

Please quote: 2137473 SR:fh
Your reference: PA2011/0812

2 December 2011

Doug Lesh
Manager Urban Planning
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

Parcel Description: Lot 3106 (3) Crush Street Town of Darwin
Proposed Development: Dependant Unit

Thank you for the Development Application referred to this office 18 November 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**

a). **Dependant Units**

Council notes a variation to the Northern Territory Planning Scheme provisions in relation to sub-clause 2(a) of Clause 7.10.4 – Dependant Units in which the proposal exceeds the maximum allowable floor area of 50m². While Council does not necessarily support these variations, in light of the proposal being generally consistent with the Northern Territory Planning Scheme provisions, it does not object.

ii). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

a). **Council requests the Authority requires a schematic plan demonstrating that stormwater run-off is capable of being**

.../2

discharged across the lot surface to the main drainage system or to an approved alternate connection. The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged to Council's drainage network.

- 1). Council stormwater discharge guidelines do not allow concentrated discharge of stormwater from a Single Dwelling lot to adjoining properties or the road reserve. All stormwater is to be piped or dispersed via sheet flow to the road reserve.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager Infrastructure, Darwin City Council.
- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the General Manager Infrastructure, Darwin City Council and at no cost to Council.
- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Mrs Kathleen Brown



Development Consent Authority

Northern Territory

GPO BOX 1680
DARWIN NT 0801

Telephone No: (08) 8999 6046
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0812

Sir or Madam
Darwin City Council
GPO Box 84
DARWIN NT 0801

Dear Sir or Madam,

Proposed Development Application

The attached application has been received for assessment by the Development Consent Authority:

Parcel Description	Lot 03106 Town of Darwin
Road/Street	3 CRUSH ST
Town Plan Zone	SD (Single Dwelling)
Tenure Type	ESTATE IN FEE SIMPLE
Land Owners	Brown, Kathleen Joy

Applicant	Mrs Kathleen Brown
Contact Number	08 8981 7915
Purpose	Dependant unit

The proposal can be viewed online for a two week period from **Friday, 18th November 2011** until **Friday, 2nd December 2011** at:

<https://www.ntlis.nt.gov.au/planning/lta.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Friday, 2nd December 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:

https://www.ilis.nt.gov.au/ilis/l2?pagelid=planning.application&ilis_entity_id=65809131

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

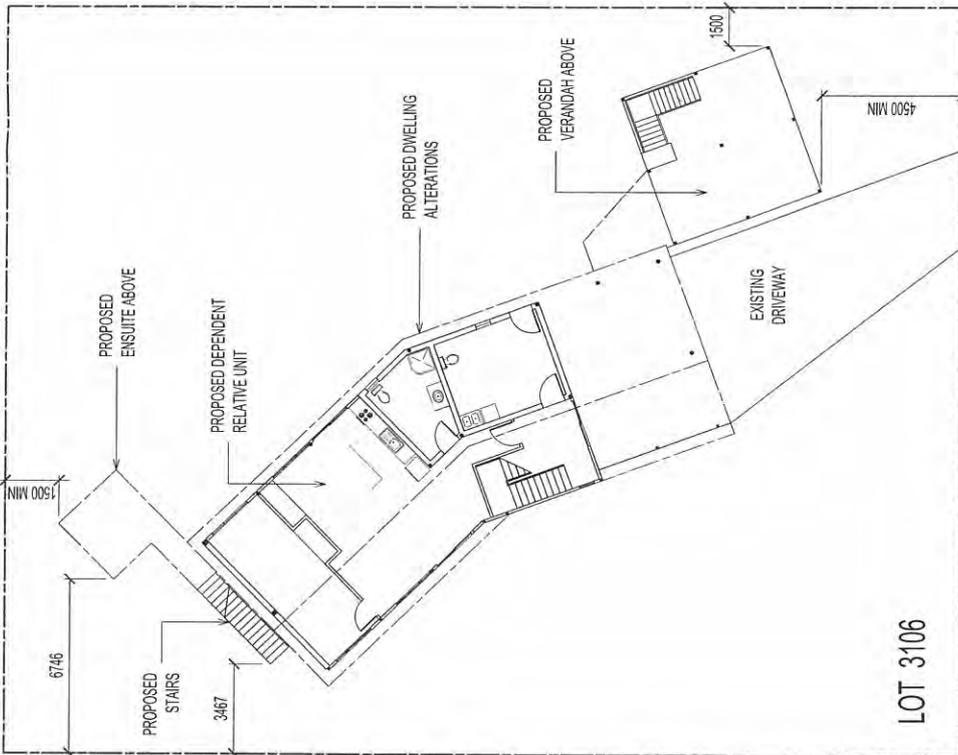
Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

If you wish to secure a third party right of appeal, when it exists, you must specify that the submission is being made under section 49 and ensure that the submission is lodged with the consent authority by 4PM CST **Friday, 2nd December 2011** which is the closing date for public exhibition.

BUILDING NOTES

1. ALL NEW BUILDING WORKS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA (BCA) 2010 VOLUME TWO.
2. THE DOOR TO A FULLY ENCLOSED SANITARY COMPARTMENT MUST OPEN OUTWARDS OR SLIDE OR BE READILY REMOVABLE FROM OUTSIDE THE COMPARTMENT.
3. GLASS IN WINDOWS AND DOORS INCLUDING THE FRAMES, GLAZING AND FIXINGS MUST COMPLY WITH AS1288, AS2047 & DTC14122. CERTIFICATION MUST BE PROVIDED BY MANUFACTURER AND INSTALLER WITHIN THE CYCLONIC REGION.
4. WINDOWS LESS THAN 500MM FROM THE FLOOR LEVEL OR LESS THAN 500MM FROM AN OPENING REQUIRE SAFETY GLASS IN ACCORDANCE WITH AS2289.
5. ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE INCLUDING SHOWER DOORS, SHOWER SCREENS BATH ENCLOSURES AND ASSOCIATED WINDOWS TO COMPLY WITH BCA 2010.3.6.4.5(1) SHALL BE GRADE A SAFETY GLASS
6. PROVIDE MECHANICAL VENTILATION TO ENCLOSED TOILET IN ACCORDANCE WITH AS1688.1.
7. SMOKE ALARMS TO BE INSTALLED AS PER AS3786. HARDWIRED TO MAINS CONSUMER POWER WITH BATTERY BACKUP. IONIZATION TYPE ALARM MAY BE MORE SUITABLE NEAR BATHROOMS AND PHOTOELECTRIC ALARMS MAY BE USED NEAR COOKING APPLIANCES.
8. ROLLER DOOR TO BE INSTALLED AS PER THE RELEVANT DTC AND BE CERTIFIED BY THE MANUFACTURER FOR SUPPLY AND INSTALLATION. IF FIXINGS ARE NOT SPECIFIED ON THE DTC SHEET THE INSTALLER MUST SUPPLY A STRUCTURALLY CERTIFIED FIXING DETAIL WITH THE RELEVANT DTC SHEET TO THE BUILDING CERTIFIER.
9. WET AREA WATERPROOFING SYSTEM TO BE INSTALLED IN ACCORDANCE WITH AS3740 AND MANUFACTURERS SPECIFICATIONS. CERTIFICATE OF INSTALLATION TO BE PROVIDED TO THE CERTIFIER.
10. ALL PLUMBING AND DRAINAGE TO BE IN ACCORDANCE WITH THE NATIONAL PLUMBING AND DRAINAGE CODE AS3500 AND WORKS SHALL BE CARRIED OUT BY A LICENSED PLUMBER.
11. ANY ROOF ATTACHMENTS SUCH AS SOLAR HOT WATER SYSTEMS AND ROOF VENTILATORS MUST BE INSTALLED IN ACCORDANCE WITH THE RELEVANT DTC. IF THE PRODUCT DOES NOT HAVE A SPECIFIC DTC A STRUCTURAL ENGINEER SECTION 40 CERTIFICATE AND DESIGN DETAILS ARE TO BE SUBMITTED PRIOR TO INSTALLATION.
12. TERMITE MANAGEMENT SYSTEM IS TO BE INSTALLED AND CERTIFIED BY AN APPROVED APPLICATOR IN ACCORDANCE WITH AS3660.1-2000. A CERTIFICATE OF COMPLETION SHOULD BE PROVIDED WITH A DURABLE NOTICE LOCATED IN OR NEAR THE METER BOX OR SIMILAR LOCATION DESCRIBING THE TREATMENT USED AND THE DATE OF TREATMENT. PROVIDE 300X30MM THICK CONCRETE STRIP OVER PERIMETER CHEMICAL BARRIER.
13. VISUAL BARRIER SUBFLOOR CLEARANCE SYSTEM MUST COMPLY WITH BCA 3.4.1 WITH MINIMUM 400 MM CLEARANCE ONLY WHERE TERMITE BARRIERS ARE INSTALLED.
14. TERMITE PROTECTION ALTERNATIVES
 - TR1. FULL IRRIGATION SYSTEM TO MANUFACTURERS SPECIFICATIONS.
 - TR2. ENGINEERED SLAB AS BARRIER
 - TR3. ANY BUILDING CERTIFIER APPROVED PROTECTION SYSTEM COMPLYING WITH AS 3660.1.
15. FINISHED FLOOR LEVEL IN HABITABLE AREAS SHALL NOT BE LESS THAN 150 MM ABOVE ADJACENT PAVED AREAS. GROUND ADJACENT TO A BUILDING SHALL BE GRADED AWAY TO FALL AT LEAST 50 MM OVER 1 METRE WIDTH TO COMPLY WITH BCA PART 3.1.2.
16. ROOF TRUSSES SHALL BE DESIGNED, CONSTRUCTED AND CERTIFIED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION AND TO BE CONFIRMED BY TRUSS MANUFACTURER BEFORE COMMENCING ANY SITE WORKS.
17. BALUSTRADES
 - B.1 THE MIN HEIGHT SHOULD NOT BE LESS THAN 865MM ABOVE NOSINGS OF STAIR TREADS OR RAMP.
 - B.2 THE MIN HEIGHT IS NOT LESS THAN 1000MM ABOVE BALCONY, LANDING OR THE LIKE.
 - B.3 THE OPENINGS IN THE BALUSTRADES ARE TO BE MAX 125MM.
 - B.4 BALUSTRADE OR OTHER BARRIER MUST BE DESIGNED TO TAKE LOADING FORCES IN ACCORDANCE WITH AS1070.1
 - B.5 FOR FLOORS MORE THAN 4.0 M ABOVE THE GROUND, ANY HORIZONTAL ELEMENTS WITHIN THE BALUSTRADE OR OTHER BARRIER BETWEEN 150MM AND 760MM ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING.
18. STAIRS
 - S.1 STAIR RISERS TO BE MIN 115 MAX 190.
 - S.2 STAIR GOINGS TO BE MIN 240 AND MAX 355.
 - S.3 SLOPE RELATIONSHIP TO BE 2R+G=560-700.
 - S.4 STAIRS TO HAVE MAX RISERS OF 18.
 - S.5 ALL STAIR RISERS AND TREADS TO BE CONSTANT THROUGHOUT.
 - S.6 STAIRS TO HAVE MAX 125 MM GAP BETWEEN TREADS AND WITH NOMINAL DIMENSIONS OF GOINGS AND RISERS TO BE CONSTANT THROUGHOUT.



CRUSH ST

1 SITE PLAN

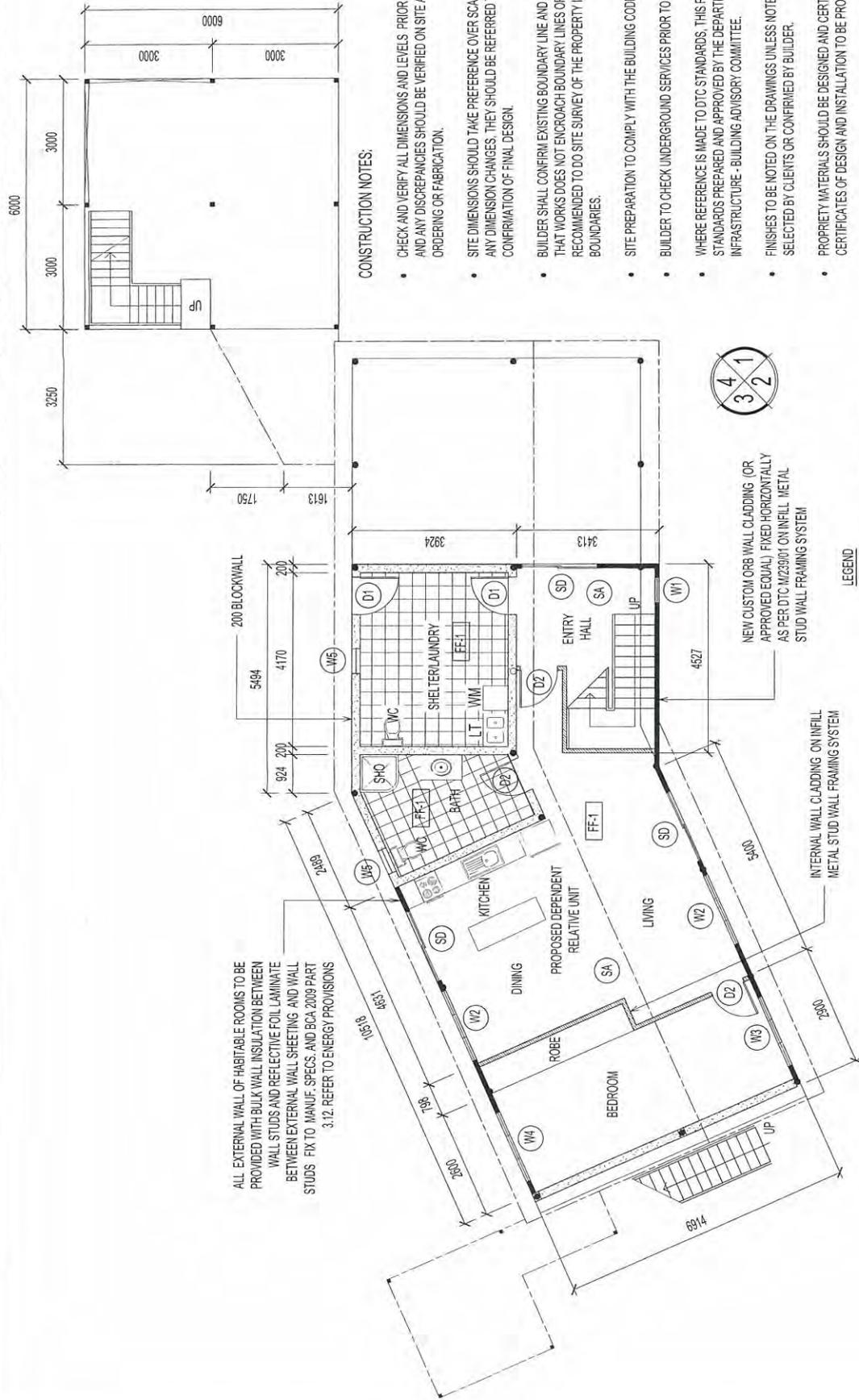
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DESIGNED BY	SCALE	SHEET NO	REVISION
MP	AS SHOWN	X	-
CHECKED BY	DRAWING NO		SIZE
DATE DRAWN 01/09/2011	V122-S01	X	A3

SHEET CONTENTS
SITE PLAN
BUILDING NOTES

OWNER	PROJECT TITLE
RICHARD BAKER AND KATHLEEN BROWN	PROPOSED DWELLING ALTERATIONS, ADDITIONS AND DEPENDENT RELATIVE UNIT
LOCATION	LOT 3106 (3) CRUSH ST, FANNIE BAY

Vanguard
Drafting Designs
e-mail: draftingdesigns@vanguardhomes.com.au
mob: 0427925590



ALL EXTERNAL WALL OF HABITABLE ROOMS TO BE PROVIDED WITH BULK WALL INSULATION BETWEEN WALL STUDS AND REFLECTIVE FOIL LAMINATE BETWEEN EXTERNAL WALL SHEETING AND WALL STUDS. FIX TO MANUF. SPECS. AND BCA 2019 PART 3.12. REFER TO ENERGY PROVISIONS.

CONSTRUCTION NOTES:

- CHECK AND VERIFY ALL DIMENSIONS AND LEVELS. PRIOR TO COMMENCING ANY SITE WORK AND ANY DISCREPANCIES SHOULD BE VERIFIED ON SITE AND MUST BE RESOLVED BEFORE ORDERING OR FABRICATION.
- SITE DIMENSIONS SHOULD TAKE PREFERENCE OVER SCALED DRAWINGS AND IF THERE ARE ANY DIMENSION CHANGES, THEY SHOULD BE REFERRED TO THE BUILDING DESIGNER FOR CONFIRMATION OF FINAL DESIGN.
- BUILDER SHALL CONFIRM EXISTING BOUNDARY LINE AND FENCE LOCATION AND ENSURE THAT WORKS DOES NOT ENCRUCH BOUNDARY LINES OR ADJACENT PROPERTIES. IT IS RECOMMENDED TO DO SITE SURVEY OF THE PROPERTY IF UNSURE OF PROPERTY BOUNDARIES.
- SITE PREPARATION TO COMPLY WITH THE BUILDING CODE SITE PREPARATION DETAILS.
- BUILDER TO CHECK UNDERGROUND SERVICES PRIOR TO SET OUT.
- WHERE REFERENCE IS MADE TO DTC STANDARDS, THIS REFERS TO THE DEEMED TO COMPLY STANDARDS PREPARED AND APPROVED BY THE DEPARTMENT OF PLANNING AND INFRASTRUCTURE - BUILDING ADVISORY COMMITTEE.
- FINISHES TO BE NOTED ON THE DRAWINGS UNLESS NOTED OTHERWISE OR CAN BE SELECTED BY CLIENTS OR CONFIRMED BY BUILDER.
- PROPERTY MATERIALS SHOULD BE DESIGNED AND CERTIFIED BY THE MANUFACTURER AND CERTIFICATES OF DESIGN AND INSTALLATION TO BE PROVIDED TO CERTIFIER AS REQUIRED.
- THE BUILDER SHOULD BE RESPONSIBLE FOR THE STRUCTURE DURING ERECTION AND SHALL PROVIDE ADEQUATE PROPPING AND SUPPORT.
- KEEP THE SITE IN A CLEAN AND TIDY CONDITION THROUGHOUT CONSTRUCTION AND AT THE COMPLETION OF WORK REMOVE ALL LITTER AND DEBRIS TO THE SATISFACTION OF THE OWNER.
- ALL WORKMANSHIP TO BE IN ACCORDANCE WITH ANY RELEVANT AUSTRALIAN STANDARDS PREPARED BY THE STANDARDS ASSOCIATION OF AUSTRALIA.

LEGEND

- (SA) SMOKE ALARM INTERLINK TO EXISTING DWELLING SMOKE ALARM (SEE BUILDING NOTE)

FLOOR LEGEND

- [FF-1] CERAMIC/PORCELAIN FLOOR TILES

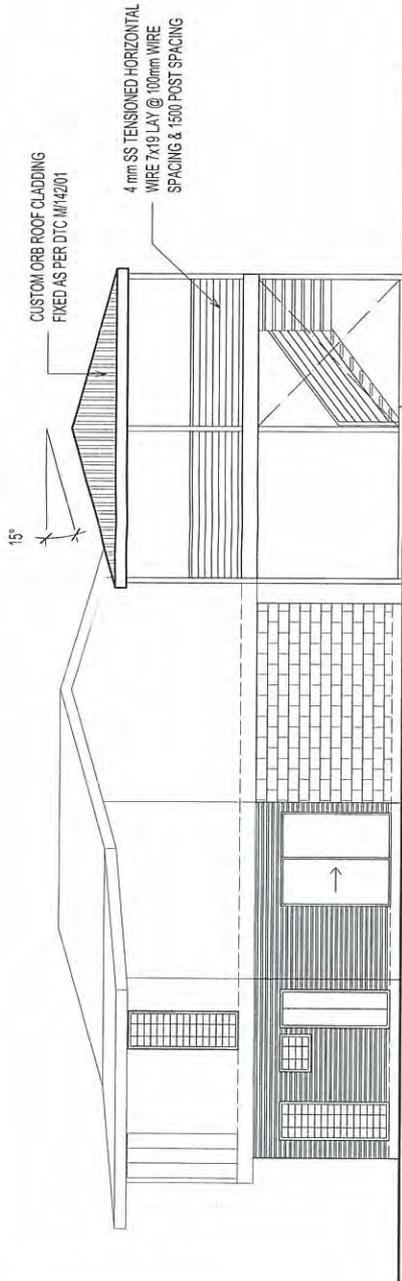
GROUND FLOOR PLAN

Scale: 1:100

PROJECT TITLE PROPOSED DWELLING ALTERATIONS, ADDITIONS AND DEPENDENT RELATIVE UNIT	OWNER RICHARD BAKER AND KATHLEEN BROWN	SHEET CONTENTS GROUND FLOOR PLAN		DESIGNED BY -	SCALE AS SHOWN	SHEET NO X	REVISION -
	LOCATION LOT 3106 (3) CRUSH ST, FANNIE BAY			DRAWN BY MP	DRAWING NO V122-S03	DATE DRAWN 01/09/2011	SIZE A3

Vanguard
Drafting Designs
e-mail: draftingdesigns@vanguardhomes.com.au

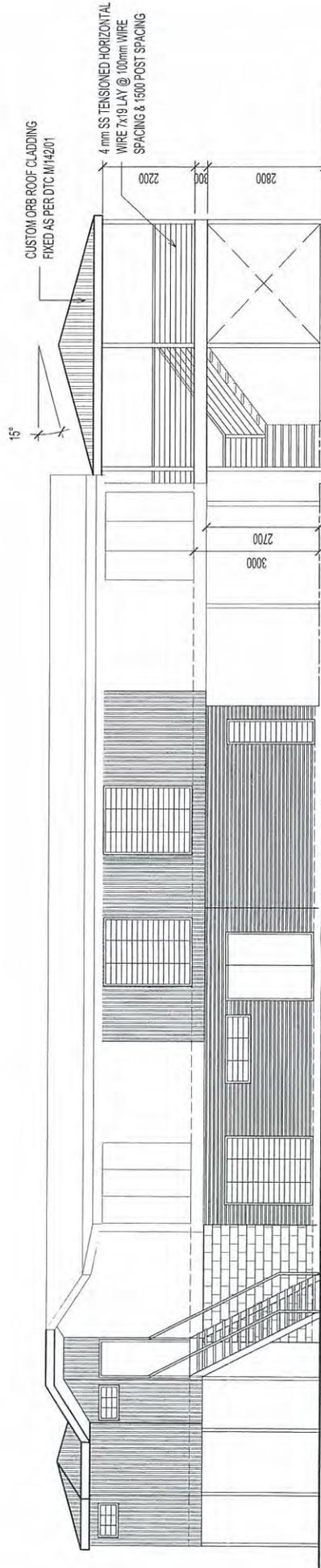
PO Box 36503 Warrille NT 0821
Mob: 042726590



ELEVATION 1

1

Scale: 1:100



ELEVATION 2

2

Scale: 1:100



Vanguard

 Drafting Designs

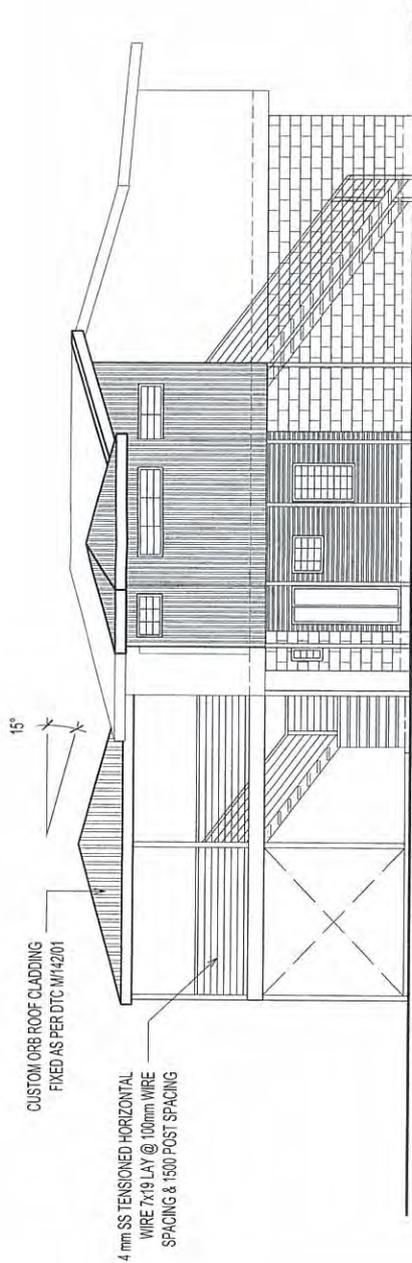
 e-mail: draftingdesigns@vanguardhomes.com.au

mob: 042725590

 PO Box 3503 Wrinville NT 0821

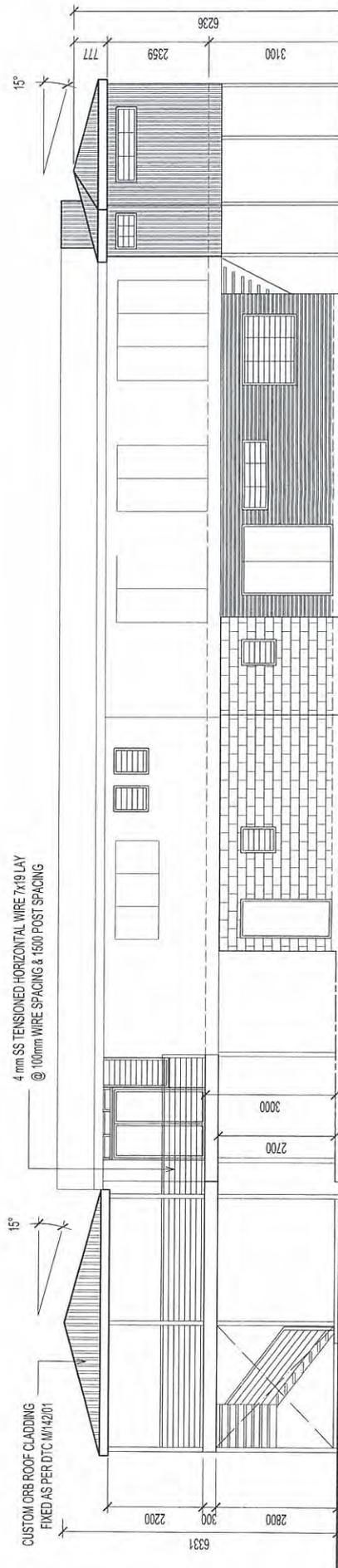
 136

PROJECT TITLE PROPOSED DWELLING ALTERATIONS, ADDITIONS AND DEPENDENT RELATIVE UNIT	OWNER RICHARD BAKER AND KATHLEEN BROWN	SHEET CONTENTS ELEVATIONS	DESIGNED BY -	SCALE AS SHOWN	SHEET NO X	REVISION -
	LOCATION LOT 3106 (3) CRUSH ST, FANNIE BAY		DRAWN BY MP	DRAWING NO V122-S05	SIZE A3	
			CHECKED BY -			
			DATE DRAWN 01/09/2011			



1 ELEVATION 3

Scale: 1:100



2 ELEVATION 4

Scale: 1:100



PROJECT TITLE		OWNER		SHEET CONTENTS		DESIGNED BY		SCALE		SHEET NO		REVISION	
PROPOSED DWELLING ALTERATIONS, ADDITIONS AND DEPENDENT RELATIVE UNIT		RICHARD BAKER AND KATHLEEN BROWN		ELEVATIONS		MP		AS SHOWN		X		-	
LOCATION		LOT 3106 (3) CRUSH ST, FANNIE BAY				CHECKED BY		DRAWING NO		X		SIZE	
						DATE DRAWN		V122-S06				A3	
						01/09/2011							

Please quote: 2131695 BS:fh
Your reference: CT710/296

18 November 2011

Andrew Burley
Aurecon Australia Pty Ltd
55 Grenfell Street
ADELAIDE SA 5000

Dear Mr Burley

Parcel Description: Section 3916 Hidden Valley Road Hundred of Bagot
Proposal: Notification of Proposed Telecommunications Facility at an Existing Site Without Development Application for the Purpose of Removal of Three (3) Panel Antennas and the Installation of Three (3) New Panel Antennas Attached to the Existing Monopole at a Height of 31.87 Metres to the Centreline of the Antennas

Thank you for the letter referred to this office on the 11th November 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

No issues have been raised in relation to matters that fall within the responsibility of Darwin City Council.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



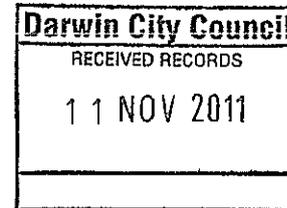
CINDY ROBSON
STRATEGIC TOWN PLANNER

Aurecon Australia Pty Ltd
 ABN 54 005 139 873
 55 Grenfell Street
 Adelaide South Australia 5000
 Australia

T +61 8 8237 9777
 F +61 8 8237 9778
 E adelaide@ap.aurecongroup.com
 W aurecongroup.com

9 November 2011

Infrastructure Services
 Darwin City Council
 GPO Box 84
 Darwin NT 0801



To whom it may concern

Notification of Proposed Telecommunications Facility at Existing Sites Without Development Application within the Darwin City Council Area.

This notification is required to ensure the deployment of radio communications infrastructure is compliant with the Australian Communications Industry Forum Code (ACIF Code).

Optus is implementing the ACIF Code requirements on a telecommunications facility proposed to be attached to two existing telecommunications sites. The proposal is required to satisfy Section 5.6 of the Code, *Installation at an Existing Site Without Development Application*, which requires Carriers to undertake compulsory notification to Council and place a public notice in the local newspaper. The Council notification requirements under clause 5.6.2 of the Code are addressed in **Attachment A**.

As part of this notification process for an existing site, the Code requires that "*before commencing the work, the Carrier must have regard to any submission received from the public and Council*" (p18 ACIF C564:2004).

Proposed Work

Optus is proposing to improve mobile telecommunications coverage in the Berrimah and Eaton areas. The proposal requires the following works:

- **Section 3916, Hidden Valley Road, Berrimah, NT 0828 (CT 710/296);** The removal of three (3) panel antennas and the installation of three (3) new panel antennas attached to the existing monopole at a height of 31.87 metres to the centreline of the antennas.
- **Section 5729, Hundred of Bagot, Henry Wrigley Drive, Eaton, NT 0800 (CT 717/233);** the removal of three (3) panel antennas and the installation of three (3) new panel antennas attached to the existing water tower at a height of 40.00 metres to the centreline of the antennas.

The proposed telecommunication facilities are detailed on the Elevation plans prepared by Aurecon (refer **Attachment B**).

Compliance with the Telecommunications (Low Impact Facilities) Determination 1997

Schedule 3 of the Telecommunications Act 1997 establishes criteria exempting proposals qualifying as low impact from the State planning laws. Consequently, in circumstances where a facility is determined as low impact, development approval is not required under any State legislation.

The proposal is classified as low impact under Item 3 of the Schedule in the *Telecommunications (Low Impact Facilities) Determination 1997* (refer to **Attachment A** which refers to this relevant section). Accordingly, the proposal meets the requirements of low impact facilities under the

RECEIVED

14 NOV 2011

DARWIN CITY COUNCIL

Telecommunications (Low Impact Facilities) Determination 1997, and hence do not require development approval.

The proposed low impact facility is to be located within an area that has no planning scheme controls and is Commonwealth land, as depicted by the Northern Territory Atlas and Spatial Data Directory (http://www.ntlis.nt.gov.au/imfPublic/imf.jsp?site=nt_atlas).

In relation to environmental factors detailed in clause 2.5(1) to 2.5(8) of the *Telecommunications (Low Impact Facilities) Determination*, the proposal is not located within an area of environmental significance.

Compliance with the ACMA EMR Regulatory Arrangements

The proposed telecommunications facility will comply with the Australian Communications and Media Authority (ACMA) regulatory arrangements with respect to electromagnetic energy exposure levels.

A summary of estimated EME exposure levels around the mobile telecommunications base station is attached.

Further Information

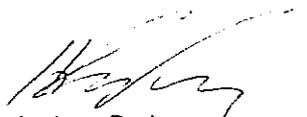
Further information on a range of issues relevant to the placement of mobile phone towers (including industry codes of practice and legislation, and a video clip on mobile phones and health) is available at <http://emr.acma.gov.au> or by phoning 02 6219 5555 and asking for projects team. This web address takes you directly to the Australian Communications and Media Authority (ACMA) website. ACMA is a government regulator of telecommunications and radiocommunications.

Response Timing

We hereby advise that a public notices relating to the proposed facilities will appear in the Darwin Sun on Wednesday the 16th of November 2011. Submissions are invited from the public within 10 days of the date of notification. If Council wish to make comment regarding the proposed work, submissions must be received in writing within 10 days of the date of this notice. Submissions should be sent to Andrew Burley at Aurecon, 55 Grenfell Street, Adelaide SA 5000.

If you require any further information on the proposed work, please contact me at Aurecon (on behalf of Optus) on 8237 9934 or burleya@ap.aurecongroup.com.

Sincerely



Andrew Burley
Planner
Aurecon Australia Pty Ltd

CC: Development Consent Authority
GPO Box 1680
Darwin NT 0801

Attachments:

- A Details of Proposed Installations
- B Technical Drawings
- C Environmental EME Reports (in the ARPANSA format)

ATTACHMENT A

Notification of Telecommunications Facility At An Existing Site Without Development Application. (Section 5.6.2 ACIF Industry Code C564:2004 For Deployment of Mobile Phone Network Infrastructure)

Notification Date		9 November 2011	
Carrier		Optus	
Zoning of Site		No Planning Scheme Controls Apply (Commonwealth Government Land)	
5.6.2(a)	Site / Proposed Location	Section 3916, Hidden Valley Road, Berrimah, NT 0828 (CT 710/296)	
5.6.2(b)	Description of proposed installation	The proposal requires the removal of three (3) panel antennas and the installation of three (3) new panel antennas attached to the existing monopole at a height of 31.87 metres to the centreline of the antenna.	
5.6.2(c)	Proposed installation classification	Optus regards the proposed installation as a Low-impact Facility under the <i>Telecommunications (Low-impact Facilities) Determination 1997</i> ("The Determination").	
		The reasons for this conclusion are based on the classification of the following components of the facility in relation to the Determination. With reference to Part 2 of "The Determination", the site is considered to be within a rural area.	
		Facility	Complies with item in Determination
		Panel Antennas: 3 panel antenna, less than 2.8 metres in length and light grey in colour.	Schedule Part 1 - Radio Facilities Item 3 Panel, yagi or other like antenna: (a) not more than 2.8 metres long; and (b) if the antenna is attached to a structure – protruding from the structure by not more than 3 metres; and (c) either: (i) colour matched to its background; or (ii) in a colour agreed in writing between the carrier and the relevant local authority and within a residential, commercial, industrial or rural area.
		The proposed installation will comply with the Australian Communications Media Authority (ACMA) regulatory arrangements with respect to electromagnetic radiation exposure levels.	
		EMR Exposure Levels from this site have been calculated in accordance with the ARPANSA prediction methodology and report format. This report is attached.	
5.6.2 (f)	Carriers Contact Details	Contact Name: Andrew Burley Phone: 8237 9934 Fax: 8237 9778 Address for Written Correspondence: Aurecon 55 Grenfell Street, Adelaide SA 5000	

NOTE:
THIS DRAWING IS DIAGRAMMATIC ONLY
AND SHOULD NOT BE SCALED.

AIRCRAFT
WARNING LIGHTS

REMOVE 3-OFF EXISTING
DP360-16ESX ANTENNAS AND
REPLACE WITH 3-OFF NEW CRNPX310R
ANTENNAS (TYP). RE-USE EXISTING
FEEDERS, MOUNTS AND MHA'S.

TOP OF MONOPOLE
EL 30.00

6-OFF OPTUS PANEL ANTENNAS
EL TO CL 31.87

OPTUS 600W MW ANTENNA
EL TO CL 26.00 TO D0015 LEANYER

EXISTING 30.00 STEEL
MONOPOLE

NOTES:
1. REFER TO DRAWING D0029-A1 FOR PANEL ANTENNA DETAILS.

ELEVATION

1:150

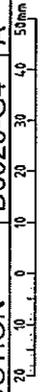


aurecon
Aurecon Australia Pty Ltd ABN 54 005 139 873

Client
Project
MOBILE NETWORK
AUSTRALIA
SITE No:- D0029
BERRIMAH
SEC 3916 HIDDEN VALLEY RD

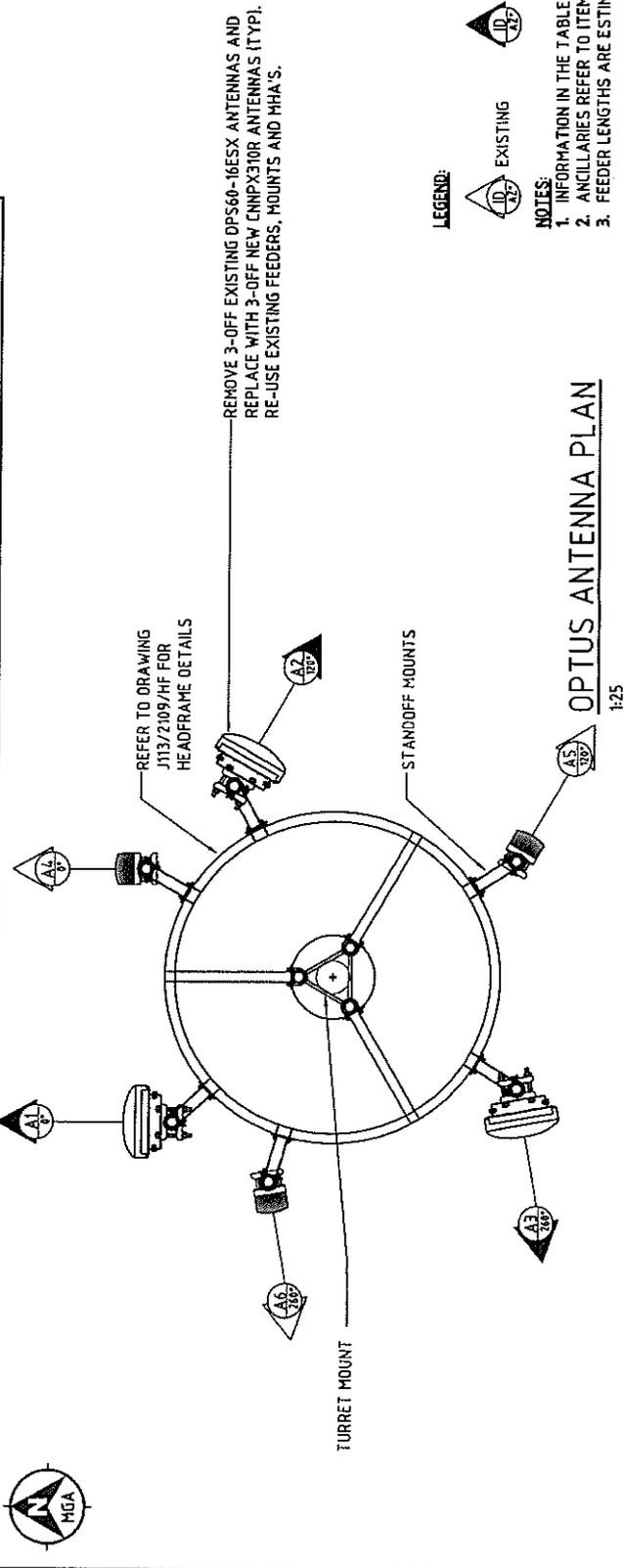
Drawing Title
SITE ELEVATION

Drawing No
D0029-G4
Revision
A



Rev	Description	By	Check	Date
A	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11
B	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11
C	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11
D	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11
E	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11
F	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11
G	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11
H	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11
I	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11
J	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11
K	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11
L	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11
M	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11
N	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11
O	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11
P	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11
Q	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11
R	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11
S	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11
T	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11
U	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11
V	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11
W	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11
X	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11
Y	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11
Z	ISSUED FOR CONSTRUCTION	RIB	RIB	12/07/11

IDENTIFICATION NR	A1	A2	A3	A4	A5	A6
ANTENNA	NEW 0° TN 31.87m	NEW 120° TN 31.87m	NEW 260° TN 31.87m	EXISTING 0° TN 31.87m	EXISTING 120° TN 31.87m	EXISTING 260° TN 31.87m
STATUS	NEW	NEW	NEW	EXISTING	EXISTING	EXISTING
AZIMUTH	0° TN	120° TN	260° TN	0° TN	120° TN	260° TN
EL AT CL ANTENNA	31.87m	31.87m	31.87m	31.87m	31.87m	31.87m
MAKE & MODEL	ARGUS CNPX310R	ARGUS CNPX310R	ARGUS CNPX310R	ARGUS NPX310R	ARGUS NPX310R	ARGUS NPX310R
DIMENSIONS (L x W x D)	2630x370x120	2630x370x120	2630x370x120	1330x160x95	1330x160x95	1330x160x95
BAND	900 MHz	900 MHz	900 MHz	2100 MHz	2100 MHz	2100 MHz
TECHNOLOGY	GSM 900	GSM 900	GSM 900	UMTS 2100	UMTS 2100	UMTS 2100
SECTOR N°	1	2	3	4	5	6
PORTS	2	2	2	2	2	2
MHA	1 OFF EXIST	1 OFF EXIST	1 OFF EXIST	1 OFF	1 OFF	1 OFF
RET	YES	YES	YES	YES	YES	YES
DIPLEXER / TRIPLEXER	NO	NO	NO	NO	NO	NO
OTHER	-	-	-	-	-	-
QUANTITY	2	2	2	2	2	2
TYPE / SIZE	LDF 5-50	LDF 5-50	LDF 5-50	LDF 5-50	LDF 5-50	LDF 5-50
ESTIMATED LENGTH	38m	38m	38m	38m	38m	38m



LEGEND:

- EXISTING
- NEW

- NOTES:**
1. INFORMATION IN THE TABLES SUPPLIED AND VERIFIED BY OPTUS
 2. ANCILLARIES REFER TO ITEMS AT THE ANTENNA.
 3. FEEDER LENGTHS ARE ESTIMATED, ROUNDED UP TO THE NEXT 5m.

OPTUS ANTENNA PLAN

1:25

<p>Aurecon Australia Pty Ltd ABN 54 005 139 873</p>				Project: MOBILE NETWORK AUSTRALIA SITE No:- D0029 BERRIMAH SEC. 3916 HIDDEN VALLEY RD	
Client:		Drawing No: D0029-A1		Revision: A	
Issued For: CONSTRUCTION		Drawing No:		Revision:	
Date:		Drawing No:		Revision:	

Please quote: 2124918 BS:fh
Your reference: TBA

16 November 2011

Anguree Jansen Van Rensburg
Project Officer - Land Administration
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Anguree

Parcel Description: Section 4356 College Road Town of Bagot
Proposal: Issuance of Occupational Licence to Mousellis & Sons

Thank you for your Request for Comment referred to this office 1 November 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

- i). **Council supports in principle the Issuance of Occupational Licence provided the following issues are adequately addressed:**
 - a). Council does not support the stock piling of loose materials in this location without some form of erosion and sedimentation control. It can be expected that during the wet season rains, water runoff will wash away some of the stock piles into the surrounding area.
 - b). Vehicle movements through the area during the wet season would reasonably be expected to cause a disturbance to the soil which may cause a further erosion hazard.
- ii). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **Council requests the Authority requires a schematic plan demonstrating that stormwater run-off is capable of being discharged across the lot surface to the main drainage system or to an approved alternate connection.** The applicant's plans fail to

.../2

-2-

demonstrate how on-site stormwater will be collected and discharged into the drainage network. There is a requirement to control storm water at the point of source so it does not cause any erosion to the surrounding area.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Cindy Robson', with a long horizontal flourish extending to the right.

CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Mousellis & Sons – John Mousellis, Director



NORTHERN TERRITORY OF AUSTRALIA
CROWN LANDS ACT

Application for Occupation Licence over Vacant Crown Land – Section 90

Occupation Licences are issued to allow an applicant to occupy and use Crown Land for an approved purpose. Occupation Licences are a short term tenure option and does not confer a right to exclusive possession. An Occupation Licence is granted for an initial period of 12 months and can be extended upon request for a maximum term of five years.

An application for an occupation licence may take up to six weeks to process.

Methods of Submitting applications:

Hand Deliver	Department of Lands and Planning Land Administration 2 nd Floor Cavenagh House 38 Cavenagh Street, Darwin, NT 0800
Post	Department of Lands and Planning Land Administration GPO Box 1680 DARWIN NT 0801
Fax	(08) 8999 5404

Privacy Note:

The Department of Lands and Planning, on behalf of the Minister, is authorised under the *Crown Lands Act* to collect the information on this form, or otherwise provided by you, to consider the issue of an Occupation Licence. Failure to provide the information in full may result in delays in processing of the application.

Some of the personal information provided by you on this application may be provided to other NT Government agencies, the Australian Valuation Office, local governments and Commonwealth Government Departments and agencies, as required by law.

Collection of personal information on this form is done in accordance with the privacy legislation contained within the Information Act 2002 (NT). For more information please refer to the Department of Lands and Planning privacy statement located at www.dlp.nt.gov.au

Any personal information provided can be subsequently accessed by you on request. If you have any queries please contact Assistant Director Land Administration Services on 8999 6143.

Office Use Only

Date Received: Received 31 October 2011

Action Officer: _____

Application entered into ILIS: _____

Licence No: _____

1. Land Information

Town/Hundred/Locality: Hundred of Bagot
 Parcel Number: Section 04356
 LTO Plan: _____
 Number and Street Address: _____
 Approximate area: 5000 sqm

Please attach a plan with detail of the proposed licensed area, including licensed area measurements, bearings and distances from parcel boundaries and plans of any proposed structures to be placed on the land (if applicable).

2. Applicant Information

Company/Applicant Name:

Mousellis Nominees Pty Ltd - John Mousellis

Postal Address:

GPO Box 4616, Darwin NT 0801

Australian Company Number:

009 623 483

Australian Business Number

25 670 422 638

Contact Name:

John Mousellis

Contact Telephone:

(08) 89470181

Contact Mobile:

0418 895233

Email Address:

mousellis@mousellis.com.au

Fax Number:

89470187

3. Licence Purpose

Proposed use of the land:

Storage of Earth Moving Equipment and Stockpiles of Materials - such as Cracker dust, gravel, blue metal and top soil. - mainly for the wet season (as access to our supplies in the rural area are shut or load limits are in place)

Proposed total term of the Licence: (Note: An Occupation Licence is granted for an initial period of 12 months and can be extended upon request for a maximum term of five years)

5 years

Details of improvements: (Buildings, structures etc if applicable)

We will fence off area. We operate our existing business in the property in front of this parcel, we are running out of room for storage and would like to use the area directly behind our premises for this purpose. If required by emergency services we can leave a 12 meter drive thru area between properties. We will fence entire area.

4. Applicant to sign and/or affix seal

I confirm that the information contained in this application is true and correct, that the application form is complete and all required information is attached. I understand that the application will be assessed for suitability and I will be advised of the outcome in due course.

Signature:



Full Name and Position:

JOHN MOUSELLIS , DIRECTOR

Date:

27/10/2011

18 November 2011

Doug Lesh
Manager Urban Planning
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

Parcel Description: Lot 4687 (38) Gothenburg Crescent Town of Darwin
Proposed Development: 11 x 2 bedroom units in a 4 storey building with ground level car parking

Thank you for the revised Development Application referred to this office 16 November 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **Council lodges the following submission under Section 49 of the Planning Act, in which Council objects to the granting of a Development Permit for the following reasons:**

- a). **Dwelling Density and Height**

Council notes a number of variations in relation to the Northern Territory Planning Scheme provisions in Table A to Clause 7.1 – Residential Density and Height Limitations. Under the Northern Territory Planning Scheme's provisions for Dwelling Density within the MR zone, a maximum of 4 storeys with one, 2 bedroom dwelling per 85 m² is permitted. The proposal provides one, 2 bedroom dwelling per 65 m² in a 5 storey complex, a substantial increase in the prescribed density for that zone.

Whilst the basement level is predominantly recessed into the escarpment it does present as another storey from the Gothenburg Crescent, street view and the addition of a fifth level contributes to the proposal exceeding the planning scheme density requirements. Therefore, Council does not support the proposed height or density variation.

.../2

b). **Communal Open Space**

Council notes a variation to the Northern Territory Planning Scheme provisions in relation to Clause 7.6 - Communal Open Space. Sub-clause 2 requires a minimum of 15% of the site, being not less than 6m wide at any point be provided for Communal Open Space.

The proposed plans provide 16.35% but do not allow for the required minimum 6m width for a portion of the proposed Communal Open Space. Notwithstanding the slight variation to sub-clause 2, the adjacent Dinah Beach Oval provides a significant area of Communal Open Space and is available for leisure and organised recreation, and therefore Council does not object.

c). **Setbacks**

Council notes a number of variations to the Northern Territory Planning Scheme provisions in relation to Table B of Clause 7.3 – Minimum Building Setbacks for Residential Buildings Over Two Storeys in Height and Associated Open Structures and Clause 7.3.1 – Additional Setback Requirements for Residential Buildings Longer Than 18m or Taller than 4 Storeys.

While Council does not necessarily support the variations to Table B of Clause 7.3 and Clause 7.3.1., the existing site topography will lesson any impact of the proposed reduced setbacks and therefore does not object.

d) **Traffic**

Council understands that proposed upgrades to Tiger Brennan Drive may result in changes to the Gothenburg Crescent and Tiger Brennan Drive intersection. The most likely outcome would be a left-out only restricted access from Gothenburg Crescent onto Tiger Brennan Drive, which effectively would redirect city bound traffic from Gothenburg Crescent through the Stuart Park local road network. Council does not support any variation to the density of the approved MR zone which may contribute to an increase in traffic which will be redirected through Stuart Park in the future.

ii). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

.../3

- a). **Council requests the Authority requires a schematic plan demonstrating all stormwater to be collected on the site and discharged underground to Council's stormwater drainage system.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged underground to Council's drainage network.
- 1). The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system.
 - 2). Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into Council's stormwater drainage system. It is also necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.
- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the General Manager Infrastructure, Darwin City Council and at no cost to Council.
- Kerb crossovers and driveways to the site shall be provided and disused crossovers removed, public footpath and cycleways shall be provided, stormwater shall be collected and discharged into Council's drainage network, and reinstatement works carried out, all to the requirements and satisfaction of the General Manager Infrastructure, Darwin City Council and at no cost to Council.
- Sight lines shall be provided at crossovers to public streets to the satisfaction of the General Manager Infrastructure, Darwin City Council. No fence or tree exceeding 0.6 metres in height shall be planted in front of the sight line.
- Any gate over an access to a public road shall be placed on the subject site at least 4.5m from the face of the kerb line of the adjoining public road.
- Car parking spaces and internal driveways shall meet the requirements of the relevant Australian Standard and be linemarked and sealed with an impervious material.

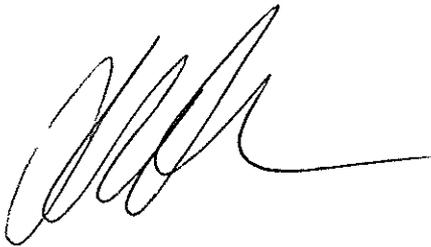
.../4

- The total number of required disabled car parking bays shall be met on site.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager Infrastructure, Darwin City Council.
- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully

A handwritten signature in black ink, appearing to be 'Cindy Robson', written in a cursive style.

CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Mr Randal Ashford

NOTES

The design is subject to the following conditions and assumptions:
 1. The design is based on the information provided in the program and is not intended to be used for any other purpose.
 2. The design is based on the information provided in the program and is not intended to be used for any other purpose.
 3. The design is based on the information provided in the program and is not intended to be used for any other purpose.



Section 2
 1 : 100

Project Name	1107
Project Location	
Project Description	
Project Manager	
Client Name	
Client Address	
Client Phone	
Client Email	
Client Website	
Client Logo	
Client Contact	
Client Title	
Client Date	



Drawn	Checked
Reviewed	Approved
Project Manager	Client Contact
Project Location	Project Description

Project Name: 1107
 Project Location: Sections 1
 Project Description: 1107
 Client Name: A3001
 Client Title: A

FOR INFORMATION

LEGEND

100% UNOBSTRUCTED VIEW.
NOT AFFECTED BY PROPOSED
DEVELOPMENT ON LOT 4687.



ONLY EASTERN LEVEL 1 UNIT
OF 37 DUKE STREET IS MILDLY
AFFECTED BY PROPOSED DE-
VELOPMENT. BLUE ARROWS
SHOW VIEWS WILL CONTINUE
OVER THE HIGHEST POINT OF
PROPOSED DEVELOPMENT.
REFER TO ELEVATIONS.



INDICATES OUTLINE OF LEVEL
4 OF PROPOSED APARTMENT
DEVELOPMENT ON LOT 4687
GOTHENBURG CRESCENT,
STUART PARK, NT 0820.



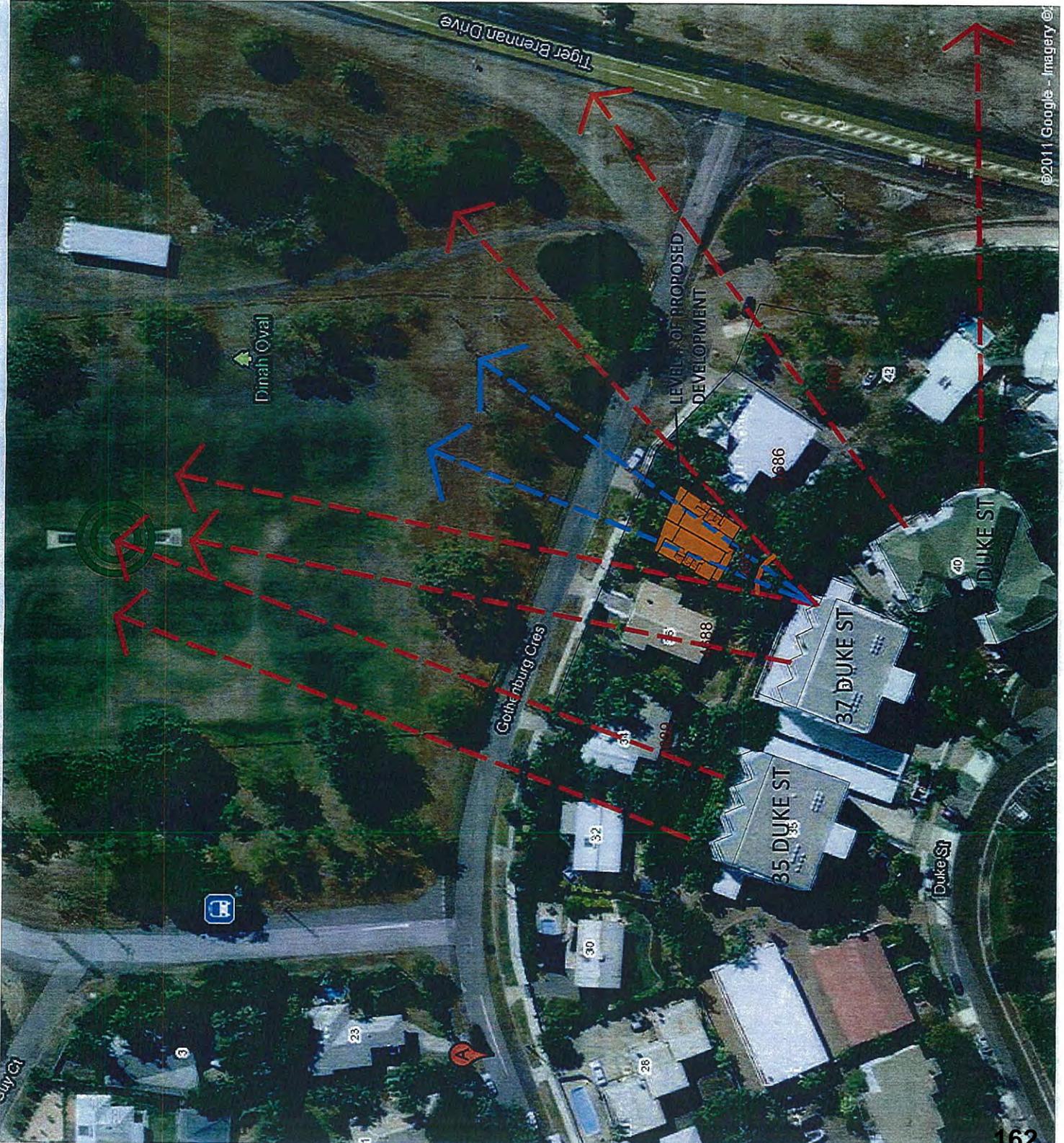
CENTRE OF DINAH OVAL

GENERAL ANALYSIS

THE VIEWS FROM RESIDENCES OF 35
DUKE STREET WILL NOT BE AFFECTED BY
THE PROPOSED APARTMENT DEVELOP-
MENT ON LOT 4687 GOTHENBURG
CRESCENT, STUART PARK

ONLY THE EASTERN LEVEL 1 UNIT OF 37
DUKE STREET WILL BE MILDLY AFFECTED
BY THE PROPOSED APARTMENT DEVELOP-
MENT ON LOT 4687 GOTHENBURG.
THIS UNIT WILL STILL BE ABLE TO SEE
CLEARLY OVER THE HIGHEST POINT.

THE VIEWS FROM RESIDENCES OF 40
DUKE STREET WILL NOT BE AFFECTED BY
THE PROPOSED APARTMENT DEVELOP-
MENT ON LOT 4687 GOTHENBURG
CRESCENT, STUART PARK



©2011 Google - Imagery

Please quote: 2131695 BS:fh
Your reference: CT717/233

18 November 2011

Andrew Burley
Aurecon Australia Pty Ltd
55 Grenfell Street
ADELAIDE SA 5000

Dear Mr Burley

Parcel Description: Section 5729 Henry Wrigley Drive, Hundred of Bagot
Proposal: Notification of Proposed Telecommunications Facility at an Existing Site Without Development Application for the Purpose of Removal of Three (3) Panel Antennas and the Installation of Three (3) New Panel Antennas Attached to the Existing Water Tower at a Height of 40.00 Metres to the Centreline of the Antennas.

Thank you for the letter received at this office on the 11 November 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

No issues have been raised in relation to matters that fall within the responsibility of Darwin City Council.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

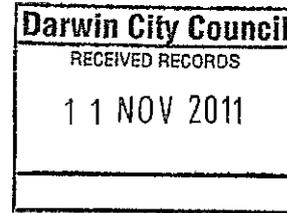
Yours faithfully



CINDY ROBSON
STRATEGIC TOWN PLANNER

9 November 2011

Infrastructure Services
Darwin City Council
GPO Box 84
Darwin NT 0801



To whom it may concern

Notification of Proposed Telecommunications Facility at Existing Sites Without Development Application within the Darwin City Council Area.

This notification is required to ensure the deployment of radio communications infrastructure is compliant with the Australian Communications Industry Forum Code (ACIF Code).

Optus is implementing the ACIF Code requirements on a telecommunications facility proposed to be attached to two existing telecommunications sites. The proposal is required to satisfy Section 5.6 of the Code, *Installation at an Existing Site Without Development Application*, which requires Carriers to undertake compulsory notification to Council and place a public notice in the local newspaper. The Council notification requirements under clause 5.6.2 of the Code are addressed in **Attachment A**.

As part of this notification process for an existing site, the Code requires that "*before commencing the work, the Carrier must have regard to any submission received from the public and Council*" (p18 ACIF C564:2004).

Proposed Work

Optus is proposing to improve mobile telecommunications coverage in the Berrimah and Eaton areas. The proposal requires the following works:

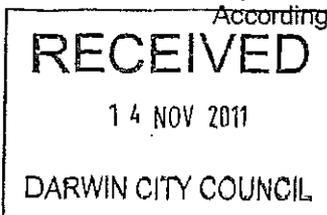
- **Section 3916, Hidden Valley Road, Berrimah, NT 0828 (CT 710/296);** The removal of three (3) panel antennas and the installation of three (3) new panel antennas attached to the existing monopole at a height of 31.87 metres to the centreline of the antennas.
- **Section 5729, Hundred of Bagot, Henry Wrigley Drive, Eaton, NT 0800 (CT 717/233);** the removal of three (3) panel antennas and the installation of three (3) new panel antennas attached to the existing water tower at a height of 40.00 metres to the centreline of the antennas.

The proposed telecommunication facilities are detailed on the Elevation plans prepared by Aurecon (refer **Attachment B**).

Compliance with the Telecommunications (Low Impact Facilities) Determination 1997

Schedule 3 of the Telecommunications Act 1997 establishes criteria exempting proposals qualifying as low impact from the State planning laws. Consequently, in circumstances where a facility is determined as low impact, development approval is not required under any State legislation.

The proposal is classified as low impact under Item 3 of the Schedule in the *Telecommunications (Low Impact Facilities) Determination 1997* (refer to **Attachment A** which refers to this relevant section). Accordingly, the proposal meets the requirements of low impact facilities under the



Telecommunications (Low Impact Facilities) Determination 1997, and hence do not require development approval.

The proposed low impact facility is to be located within an area that has no planning scheme controls and is Commonwealth land, as depicted by the Northern Territory Atlas and Spatial Data Directory (http://www.ntlis.nt.gov.au/imfPublic/imf.jsp?site=nt_atlas).

In relation to environmental factors detailed in clause 2.5(1) to 2.5(8) of the *Telecommunications (Low Impact Facilities) Determination*, the proposal is not located within an area of environmental significance.

Compliance with the ACMA EMR Regulatory Arrangements

The proposed telecommunications facility will comply with the Australian Communications and Media Authority (ACMA) regulatory arrangements with respect to electromagnetic energy exposure levels.

A summary of estimated EME exposure levels around the mobile telecommunications base station is attached.

Further Information

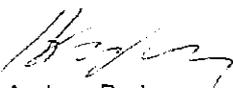
Further information on a range of issues relevant to the placement of mobile phone towers (including industry codes of practice and legislation, and a video clip on mobile phones and health) is available at <http://emr.acma.gov.au> or by phoning 02 6219 5555 and asking for projects team. This web address takes you directly to the Australian Communications and Media Authority (ACMA) website. ACMA is a government regulator of telecommunications and radiocommunications.

Response Timing

We hereby advise that a public notices relating to the proposed facilities will appear in the Darwin Sun on Wednesday the 16th of November 2011. Submissions are invited from the public within 10 days of the date of notification. If Council wish to make comment regarding the proposed work, submissions must be received in writing within 10 days of the date of this notice. Submissions should be sent to Andrew Burley at Aurecon, 55 Grenfell Street, Adelaide SA 5000.

If you require any further information on the proposed work, please contact me at Aurecon (on behalf of Optus) on 8237 9934 or burleya@ap.aurecongroup.com.

Sincerely



Andrew Burley
Planner
Aurecon Australia Pty Ltd

CC: Development Consent Authority
GPO Box 1680
Darwin NT 0801

Attachments:

- A Details of Proposed Installations
- B Technical Drawings
- C Environmental EME Reports (in the ARPANSA format)

Notification of Telecommunications Facility At An Existing Site Without Development Application. (Section 5.6.2 ACIF Industry Code C564:2004 For Deployment of Mobile Phone Network Infrastructure)

Notification Date		9 November 2011	
Carrier		Optus	
Zoning of Site		No Planning Scheme Controls apply (Commonwealth Government Land)	
5.6.2(a)	Site / Proposed Location	Section 5729, Hundred of Bagot, Henry Wrigley Drive, Eaton, NT 0800 (CT 717/233)	
5.6.2(b)	Description of proposed installation	The proposal requires the removal of three (3) panel antennas and the installation of three (3) new panel antennas attached to the existing water tower at a height of 40.00 metres to the centreline of the antenna.	
5.6.2(c)	Proposed installation classification	Optus regards the proposed installation as a Low-impact Facility under the <i>Telecommunications (Low-impact Facilities) Determination 1997</i> ("The Determination").	
		The reasons for this conclusion are based on the classification of the following components of the facility in relation to the Determination. With reference to Part 2 of "The Determination", the site is considered to be within a rural area.	
		Facility	Complies with item in Determination
		Panel Antennas: 3 panel antenna, less than 2.8 metres in length and light grey in colour.	Schedule Part 1 - Radio Facilities Item 3 Panel, yagi or other like antenna: (d) not more than 2.8 metres long; and (e) if the antenna is attached to a structure – protruding from the structure by not more than 3 metres; and (f) either: (j) colour matched to its background; or (ii) in a colour agreed in writing between the carrier and the relevant local authority and within a residential, commercial, industrial or rural area.
		The proposed installation will comply with the Australian Communications Media Authority (ACMA) regulatory arrangements with respect to electromagnetic radiation exposure levels.	
		EMR Exposure Levels from this site have been calculated in accordance with the ARPANSA prediction methodology and report format. This report is attached.	
5.6.2 (f)	Carriers Contact Details	Contact Name: Andrew Burley Phone: 8237 9934 Fax: 8237 9778 Address for Written Correspondence: Aurecon 55 Grenfell Street, Adelaide SA 5000	

TOP OF TOWER
EL 4.120m

3-OFF OPTUS PANEL ANTENNAS
EL 40.50m TO CL

3-OFF NEW PANEL ANTENNAS
EL 40.00m TO CL

REMOVE 6-OFF DPS60-16GD
ANTENNAS AND REPLACE WITH
3-OFF CNPX310R ANTENNAS.
RE-USE EXISTING FEEDERS,
MOUNTS AND MHA'S.

4.120m HIGH WATER TOWER

UNDER GROUND CABLE DUCT

EQUIPMENT SHELTER

ELEVATION

1:200

NOTES:
1. REFER TO DRAWING D0004-A1 FOR PANEL ANTENNA DETAILS.

NOTE:
THIS DRAWING IS DIAGRAMMATIC ONLY
AND SHOULD NOT BE SCALED.

Project
**MOBILE NETWORK
AUSTRALIA**
SITE No: D0004
DARWIN AIRPORT
HENRY WRIGLEY DR, MARRARA

Client
**'yes'
OPTUS**

aurecon
Aurecon Australia Pty Ltd ABN 54 002 139 873

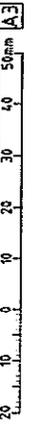
Author	Checked	Drawn	Scale	Sheet No	Total Sheets
				116	116
A. 001111 ISSUED FOR CONSTRUCTION					
Copyright © OPTUS MOBILES PTY LTD. ABN 62 064 362 699. ALL RIGHTS RESERVED. VERSION 12 - JULY 2011					

Drawing Title SITE ELEVATION

Drawing No
D0004-G4

Revision
A

FOR CONSTRUCTION





Summary of Estimated RF EME Levels around the Mobile Phone Base Station at Darwin Airport Henry Wrigley Drive, MARRARA NT 0812

Introduction:

Date 4/11/2011

NSA Site No.: 0812006

This report summarises the estimated maximum cumulative radiofrequency (RF) electromagnetic energy (EME) levels at ground level emitted from the existing Mobile Phone Base Station antennas at Darwin Airport Henry Wrigley Drive MARRARA NT 0812. Maximum EME levels are estimated in 360° circular bands out to 500m from the base station. The procedures for making the estimates have been developed by the Australian Radiation Protection And Nuclear Safety Agency (ARPANSA)¹. These are documented in the ARPANSA Technical Report; "Radio Frequency EME Exposure Levels - Prediction Methodologies" which is available at <http://www.arpansa.gov.au>

EME Health Standard

ARPANSA, an Australian Government agency in the Health and Ageing portfolio has established a Radiation Protection Standard² specifying limits for continuous exposure of the general public to RF transmissions at frequencies used by mobile phone base stations. Further information can be gained from the ARPANSA web site.

The Australian Communications and Media Authority (ACMA)³ mandates exposure limits for continuous exposure of the general public to RF EME from mobile phone base stations. Further information can be found at the ACMA website <http://emr.acma.gov.au>

Existing Site Radio Systems

Optus / WCDMA2100	Optus / GSM900		
-------------------	----------------	--	--

Table of Predicted EME Levels – Existing

Distance from the antennas at Darwin Airport Henry Wrigley Drive in 360° circular bands	Maximum Cumulative EME Level – All carriers at this site (% of ARPANSA exposure limits ²) Public exposure limit = 100%
0m to 50m	0.006%
50m to 100m	0.0058%
100m to 200m	0.03%
200m to 300m	0.037%
300m to 400m	0.032%
400m to 500m	0.02%
Maximum EME level 243.58 m, from the antennas at Darwin Airport Henry Wrigley Drive	0.037%

Note: Estimation for the maximum level of RF EME at 1.5m above the ground from the existing antennas assuming level ground. The estimated levels have been calculated on the maximum mobile phone call capacity anticipated for this site. This estimation does not include possible radio signal attenuation due to buildings and the general environment. The actual EME levels will generally be significantly less than predicted due to path losses and the base station automatically minimising transmitter power to only serve established phone calls⁵. Where applicable, particular locations of interest in the area surrounding the base station, including topographical variations, are assessed in Appendix A "Other areas of Interest" table on the last page.

Summary – Existing Radio Systems

RF EME levels have been estimated from the existing antennas at Darwin Airport Henry Wrigley Drive MARRARA NT 0812.

Environmental EME report (v10.3)

(2007 ARPANSA Format)

Produced with RF-Map2 2.0 (Build 0.293)

Appendix A

Table of Other Areas of Interest

Additional Locations	Height / Scan relative to location ground level	Maximum Cumulative EME Level All Carriers at this site (% of ARPANSA exposure limits ²) Public exposure limit = 100%
ACIF Code Section 5.5 - community consultation plan new sites	n/a	Existing Site Update - No additional locations identified. Refer to previous table for the environmental EME assessment
Topography/Buildings	n/a	No locations identified
Other (e.g. significant previous community concern)	n/a	No locations identified

Note: Estimation for the maximum EME levels at selected areas of interest over a height range relative to the specific ground level at the area of interest. This table includes any existing and proposed radio systems.

Estimation Notes / Assumptions – Other Areas of Interest

Variable ground topography has been included in the assessment of the "Other Areas of Interest" as per ARPANSA methodology
Insert other data / notes as required

Existing and Proposed Site Radio Systems

Optus / GSM900	Optus / WCDMA900 (proposed)	Optus / WCDMA2100	
----------------	--------------------------------	-------------------	--

Table of Predicted EME Levels – Existing and Proposed

Distance from the antennas at Darwin Airport Henry Wrigley Drive in 360° circular bands	Maximum Cumulative EME Level – All carriers at this site (% of ARPANSA exposure limits ²) Public exposure limit = 100%
0m to 50m	0.003%
50m to 100m	0.0054%
100m to 200m	0.052%
200m to 300m	0.088%
300m to 400m	0.083%
400m to 500m	0.053%
Maximum EME level 273.58 m, from the antennas at Darwin Airport Henry Wrigley Drive	0.088%

Note: Estimation for the maximum level of RF EME at 1.5m above the ground from the existing and proposed antennas assuming level ground. The estimated levels have been calculated on the maximum mobile phone call capacity anticipated for this site. This estimation does not include possible radio signal attenuation due to buildings and the general environment. The actual EME levels will generally be significantly less than predicted due to path losses and the base station automatically minimising transmitter power to only serve established phone calls⁵. Where applicable, particular locations of interest in the area surrounding the base station, including topographical variations, are assessed in Appendix A "Other areas of Interest" table on the last page.

Summary – Existing and Proposed Radio Systems

RF EME levels have been estimated from the existing and proposed antennas at Darwin Airport Henry Wrigley Drive MARRARA NT 0812. The maximum cumulative EME level at 1.5 m above ground level is estimated to be 0.088 % of the ARPANSA public exposure limits.

Reference Notes:

1. The Australian Radiation Protection and Nuclear Safety Agency (ARPANSA) is a Federal Government agency incorporated under the Health and Ageing portfolio. ARPANSA is charged with responsibility for protecting the health and safety of people, and the environment, from the harmful effects of radiation (ionising and non-ionising).
2. Australian Radiation Protection and Nuclear Safety Agency (ARPANSA), 2002, 'Radiation Protection Standard: Maximum Exposure Levels to Radiofrequency Fields — 3 kHz to 300 GHz', Radiation Protection Series Publication No. 3, ARPANSA, Yallambie Australia. [Printed version: ISBN 0-642-79400-6 ISSN 1445-9760] [Web version: ISBN 0-642-79402-2 ISSN 1445-9760]
3. The Australian Communications and Media Authority (ACMA) is responsible for the regulation of broadcasting, radiocommunications, telecommunications and online content. Information on EME is available at <http://emr.acma.gov.au/>
4. The EME predictions in this report assume a near worst-case scenario including:
 - base station transmitters operating at maximum power (no automatic power reduction)
 - simultaneous telephone calls on all channels
 - an unobstructed line of sight view to the antennas.
 In practice a worst-case scenario is rarely the case. There are often trees and buildings in the immediate vicinity, and cellular networks automatically adjust transmit power to suit the actual telephone traffic. The level of EME may also be affected where significant landscape features are present and predicted EME levels might not be the absolute maximum at all locations.
5. Further explanation of this report may be found in "Understanding the ARPANSA Environmental EME Report" and other documents on the ARPANSA web site, <http://www.arpansa.gov.au>

Issued by: Optus, Data reference file – MARRARA NT 0812 - 20111104112133

Please quote: 2126254 JS: fh
Your reference: PA2011/0801

18 November 2011

Doug Lesh
Manager Urban Planning
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

Parcel Description: Lot 6635 (11) Tambling Terrace, Town of Nightcliff
Proposed Development: Carport addition to an existing single dwelling with reduced front and side setbacks.

Thank you for the Development Application referred to this office 3 November 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**
 - a) Council notes a variation to the Northern Territory Planning Scheme provisions in relation to Table A of Clause 7.3 – Minimum Building Setbacks for Residential Buildings. While Council does not necessarily support this variation, in light of the existing built form within the area, it does not object.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.

.../2

- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the General Manager Infrastructure, Darwin City Council and at no cost to Council.
- Sight lines shall be provided at crossovers to public streets to the satisfaction of the General Manager Infrastructure, Darwin City Council. No fence or tree exceeding 0.6 metres in height shall be planted in front of the sight line.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager Infrastructure, Darwin City Council.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Cindy Robson', with a long horizontal flourish extending to the right.

CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Mr Sam Hedger

Development Consent Authority

Northern Territory

GPO BOX 1680
DARWIN NT 0801

Telephone No: (08) 8999 6046
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0801

Sir or Madam
Darwin City Council
GPO Box 84
DARWIN NT 0801

Dear Sir or Madam,

Proposed Development Application

The attached application has been received for assessment by the Development Consent Authority:

Parcel Description	Lot 06635 Town of Nightcliff
Road/Street	11 TAMBLING TCE
Town Plan Zone	SD (Single Dwelling)
Tenure Type	ESTATE IN FEE SIMPLE
Land Owners	Mu,Com Fai Searle,Jennifer Jane
Applicant	Mr sam hedger
Contact Number	08 8251 5277
Purpose	Carport addition to an existing single dwelling with reduced front and side setbacks

The proposal can be viewed online for a two week period from **Friday, 4th November 2011** until **Friday, 18th November 2011** at:

<https://www.ntlis.nt.gov.au/planning/lta.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Friday, 18th November 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:

https://www.ilis.nt.gov.au/ilis/l2?pageld=planning.application&ilis_entity_id=65769676

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

If you wish to secure a third party right of appeal, when it exists, you must specify that the submission is being made under section 49 and ensure that the submission is lodged with the consent authority by 4PM CST **Friday, 18th November 2011** which is the closing date for public exhibition.

STATEMENT OF EFFECT FOR LOT 6635 (11) TAMBLING TCE WANGURI

PROJECT OVERVIEW:

I WOULD LIKE TO APPLY FOR A REDUCED FRONT SETBACK FROM 4500MM TO 2800MM AND A REDUCED SIDE SETBACK FROM 1500MM TO 1200MM.

THE REASON FOR THE CARPORT IS TO OFFER SOME PROTECTION FOR THEIR CARS AND ALSO TO PROVIDE A DRY SHELTER FOR ACCESS TO AND FROM THEIR VEHICLES IN THE WET SEASON

THE REASON FOR THE LOCATION OF THE CARPORT IS THAT IT IS LOCATED OVER THEIR ONLY DRIVEWAY AND NEEDS TO BE LARGE ENOUGH FOR TWO CARS. ALSO HAVING IT HERE WILL ALLOW ACCESS TO THE BACK YARD WHERE THEY HAVE THEIR BOAT STORED

CARPARKING:

N/A

LANDSCAPING:

PROPERTY HAS CONCRETE PLACED ON THE GROUND TO THE FENCE LINE ALREADY BUT THE NEIGHBOUR HAS A FEW SMALL PLANTS ON THEIR SIDE.

SETBACKS:

FRONT SETBACK FROM 4500 TO 2800

SIDE SETBACK FROM 1500 TO 1200

46(3)(B) INTERIM DEVELOPMENT CONTROLS :

N/A

46(3)(C) ENVIROMENTAL REPORTS:

N/A

46(3)(D) DEVELOPMENT MERITS:

THE NEW CARPROT WILL HAVE A MINIMAL EFFECT ON THE STREET APPEARANCE AS THE MATERIALS USED ARE A COLORBOND STEEL AND IN A COLOUR THAT WILL MATCH THE EXISTING PROPERTY. ALSO BIENFG A FLAT ROOF THE ONLY REAL VISIABLE THING WILL BE THE EDGE BEAM AND A COLORBOND GUTTER THAT WILL MATCH IN WITH THE HOUSE GUTTER AND FASCIA.

THE CUSTOMER HAS LIVED IN THE HOUSE FOR A FEW YEARS AND HAS A GREAT RELATIONSHIP WITH THE NEIGHBOURS AND THEY HAVE NO OBJECTIONS

46(3)(E) LAND CHARACTERISTICS:

THE SITE CURRENTLY HAS A GROUND LEVEL 3 BEDROOM HOUSE ON IT AND FACES ON TO TAMBLING TCE

46(3)(F) PUBLIC FACILITIES:

N/A

46(3)(G) PUBLIC UTILITIES:

N/A

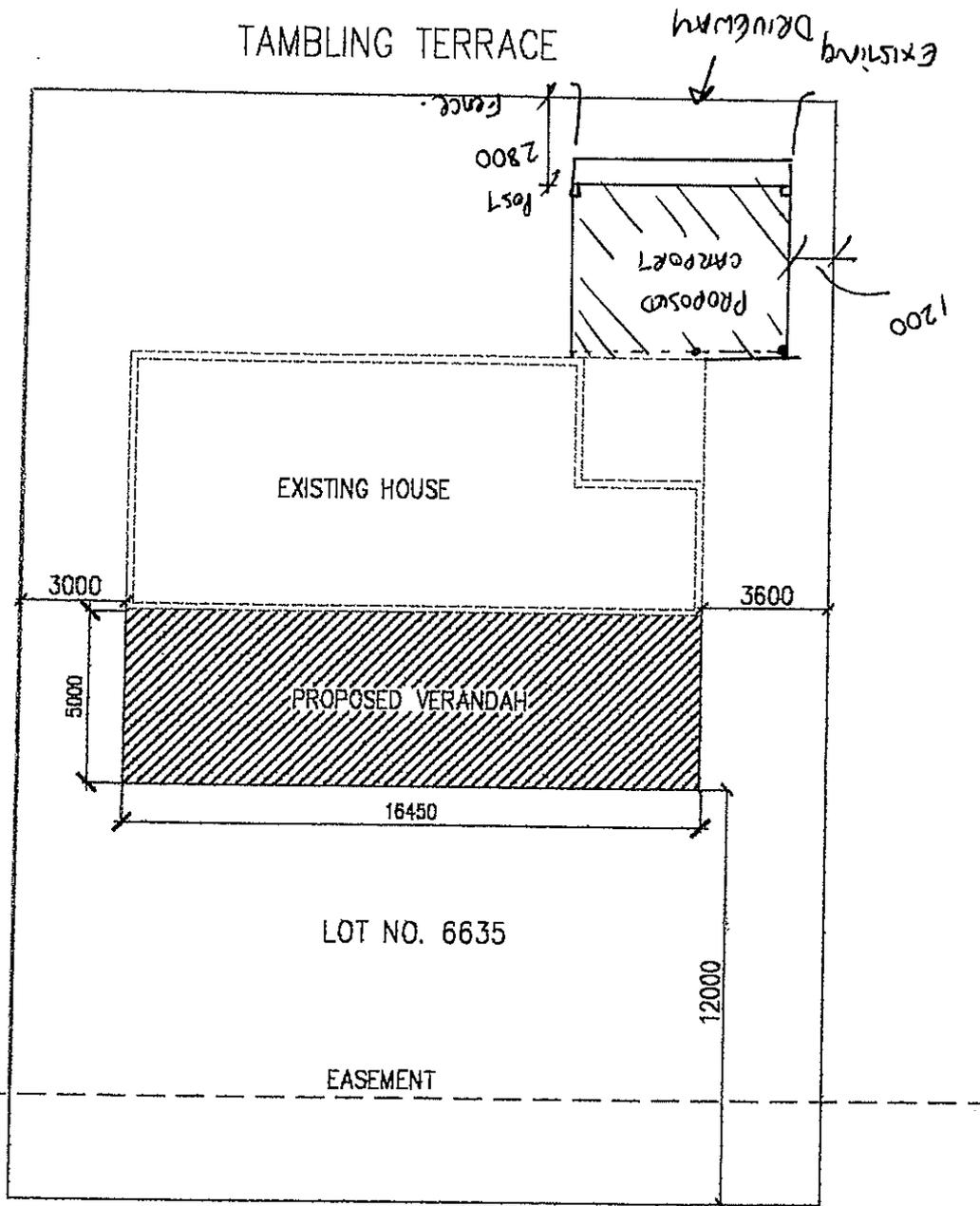
46(3)(H) IMPACT OF DEVELOPMENT:

THE CONSTRUCTION OF THE CARPORT WILL HAVE NO IMPACT ON THE ADJOINING PROPERTY OR OWNERS. ALL WATER RUN OFF WILL BE COLLECTED AND DICHARGED VIA GUTTERS AND DOWNPIPES ONTO THE FRONT LAWN AND EXCESS WILL RUN DOWN THE DRIVE ONTO THE ROAD AS PER COUNCIL SPECS.

46(3)(I) PUBLIC INTEREST:

THE DEVELOPMENT WILL BE SUBJECT TO ADVERTISEMENT AND OPEN TO PUBLIC COMMENT THROUGH THE PLANNING PROCESS.

WE LOOK FORWARD TO A FAVOURABLE RESPONSE AND ARE AVAILABLE TO ANY QUESTIONS IN REGARDS TO THE APPLICATION



SITE PLAN
SCALE : NTS

BUILD
Approve
Dated
Registered

Please quote: 2126251 BS:fh
Your reference: PA2011/0762

18 November 2011

Doug Lesh
Manager Urban Planning
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

Parcel Description: Lot 7733 (18) Duke Street Town of Darwin
Proposed Development: 2 storey single dwelling exceeding 8.5m in height.

Thank you for the Development Application referred to this office 3 November 2011 concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **Council does not support the granting of a Development Permit for the following reasons:**
 - a). Council does not support the proposed height variation for this development. It is noted that the site and surrounding subdivision slopes at a gradient sufficient to impact on the overall design of the dwellings, however it is considered that the maximum height limit required under the NT Planning Scheme should be complied with, to reduce the overall impact of bulk and scale on surrounding properties.
- ii). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **The crossover and driveway are to meet Council requirements.** The applicant's plans fail to demonstrate the location of street trees in relation to the driveways proposed location. Driveways are to be positioned away from existing street trees.

.../2

- b). **Council requests the Authority requires a schematic plan demonstrating that stormwater run-off is capable of being discharged across the lot surface to the main drainage system or to an approved alternate connection.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged to Council's drainage network.
- 1). Council stormwater discharge guidelines do not allow concentrated discharge of stormwater from a Single Dwelling lot to adjoining properties or the road reserve. All stormwater is to be piped or dispersed via sheet flow to the road reserve.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

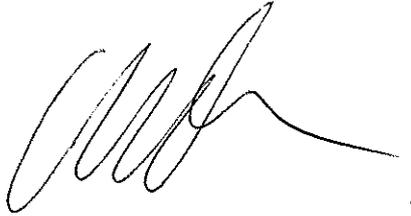
- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.
- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the General Manager Infrastructure, Darwin City Council and at no cost to Council.
- Kerb crossovers and driveways to the site shall be provided and disused crossovers removed, public footpath and cycleways shall be provided, stormwater shall be collected and discharged into Council's drainage network, and reinstatement works carried out, all to the requirements and satisfaction of the General Manager Infrastructure, Darwin City Council and at no cost to Council.
- Sight lines shall be provided at crossovers to public streets to the satisfaction of the General Manager Infrastructure, Darwin City Council. No fence or tree exceeding 0.6 metres in height shall be planted in front of the sight line.
- Any gate over an access to a public road shall be placed on the subject site at least 4.5m from the face of the kerb line of the adjoining public road.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager Infrastructure, Darwin City Council.
- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.

.../3

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Cindy Robson', with a long horizontal flourish extending to the right.

CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Mr Terry Nixon

Development Consent Authority

Northern Territory

GPO BOX 1680
DARWIN NT 0801

Telephone No: (08) 8999 6046
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0762

Sir or Madam
Darwin City Council
GPO Box 84
DARWIN NT 0801

Dear Sir or Madam,

Proposed Development Application

The attached application has been received for assessment by the Development Consent Authority:

Parcel Description	Lot 07733 Town of Darwin
Road/Street	18 DUKE ST
Town Plan Zone	SD20 (Specific Use)
Tenure Type	ESTATE IN FEE SIMPLE
Land Owners	Brears,Joan Bridget Brears,John
Applicant	Mr Terry Nixon
Contact Number	0419 854 514
Purpose	2 storey single dwelling exceeding 8.5m in height

The proposal can be viewed online for a two week period from **Friday, 4th November 2011** until **Friday, 18th November 2011** at:

<https://www.ntlis.nt.gov.au/planning/lta.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Friday, 18th November 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:

https://www.ilis.nt.gov.au/ilis/l2?pagelD=planning.application&ilis_entity_id=65585885

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

If you wish to secure a third party right of appeal, when it exists, you must specify that the submission is being made under section 49 and ensure that the submission is lodged with the consent authority by 4PM CST **Friday, 18th November 2011** which is the closing date for public exhibition.

2 December 2011

Doug Lesh
Manager Urban Planning
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

Parcel Description: Lot 8033 (25) Parap Road Town of Darwin
Proposed Development: Change of use from office to a medical clinic
(Units 6 & 7)

Thank you for the Development Application referred to this office 11 November 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**

a) **Parking**

Under the Northern Territory Planning Scheme provisions for parking, medical consulting rooms are calculated at a rate of 4 car parking bays per consulting room. Notwithstanding the applicant's plans which indicates only one consulting room, 3 office spaces are allocated, which Council considers will generate the need for parking spaces in a similar manner to the consulting room. As such, Council requests the Authority require a monetary contribution is paid to Council, in accordance with its Carparking Contribution Plan in lieu of any on-site car parking shortfall as a result of this development.

b) **Waste Management**

Council requests the Authority require a Waste Management Plan demonstrating adequate waste disposal, storage and removal for a medical practice in accordance with Council's Waste Management Policy 054. The applicant's plans fail to demonstrate adequate waste management. A copy of Council's Waste Management Policy 054 may be viewed on Council's website or by contacting Council's Infrastructure department.

.../2

- ii). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments in relation to the Planning Act, the NT Planning Scheme and Land Use Objectives:-

- a). Council requests the Authority require a monetary contribution is paid to Council in accordance with its Carparking Contribution Plan in lieu of the on-site carparking shortfall as a result of this development.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager Infrastructure, Darwin City Council.
- Any proposed signage for the site shall be subject to a separate assessment in accordance with Darwin City Council Policy Number 42 – Outdoor Advertising Signs Code.
- The total number of required disabled car parking bays shall be met on site.
- Pursuant to clause 6.5.2 of the Northern Territory Planning Scheme and s.70 (5) of the Planning Act a monetary contribution shall be paid to Darwin City Council for any determined parking shortfall.

Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Dr Ravi Mahajani

Development Consent Authority

Northern Territory

GPO BOX 1680
DARWIN NT 0801

Telephone No: (08) 8999 6046
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0827

Sir or Madam
Darwin City Council
GPO Box 84
DARWIN NT 0801

Dear Sir or Madam,

Proposed Development Application

The attached application has been received for assessment by the Development Consent Authority:

Parcel Description	Lot 08033 Town of Darwin
Road/Street	25 PARAP RD
Town Plan Zone	C (Commercial)
Tenure Type	ESTATE IN FEE SIMPLE
Land Owners	The Proprietors - Unit Plan No. U2011/003
Applicant	Dr ravi mahajani
Contact Number	0422 806 560
Purpose	Change of use from office to a medical clinic (Units 6&7)

The proposal can be viewed online for a two week period from **Friday, 18th November 2011** until **Friday, 2nd December 2011** at:

<https://www.ntlis.nt.gov.au/planning/lta.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Friday, 2nd December 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:

https://www.ilis.nt.gov.au/ilis/l2?pagelid=planning.application&ilis_entity_id=65885630

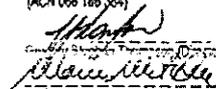
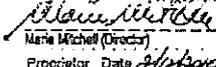
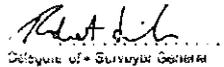
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Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

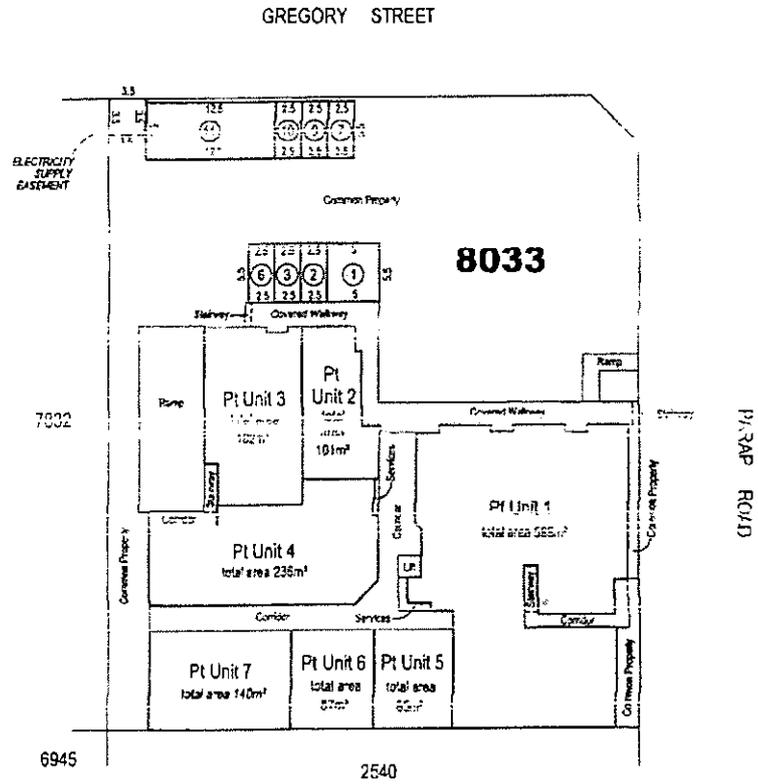
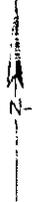
If you wish to secure a third party right of appeal, when it exists, you must specify that the submission is being made under section 49 and ensure that the submission is lodged with the consent authority by 4PM CST **Friday, 2nd December 2011** which is the closing date for public exhibition.

NORTHERN TERRITORY OF AUSTRALIA

Executed for and on behalf of Mitchell & Thompson Pty Ltd (ACH 068 188 084)  Proprietor Date <i>2/10/10</i>	UNIT PLAN No. U2011/003 SHEET 2 OF 5 This Sheet Replaces • Lot/Parties/Section No • Town/Manifold of DARWIN
 Marie Mitchell (Director) Proprietor Date <i>2/10/10</i>	 Kevin Dodd Licensed Surveyor Date <i>25/11/10</i>
 Robert Gil Delegate of Surveyor General Date <i>14/1/11</i>	

GROUND FLOOR PLAN

NOTE
 Corridors, Covered Walkway, Lift, Ramps, Service and Stairways are Common Property
 (1) Denotes Carparking and are Part Unit Numbering
 Electricity Supply Easement affects 6A Common Property



DELETE IF INAPPLICABLE

UPS

NORTHERN TERRITORY OF AUSTRALIA

* SURVEYING CERTIFICATE

I, **Kevin Dodd** a surveyor registered under the *Unleased Surveyors Act* hereby certify that:

(1) every wall, the inner surface of any part of which corresponds substantially with a line showing the floor relating to a proposed subdivision of a boundary of a proposed unit;

(2) every floor and ceiling, the upper or under surface of any part which forms a boundary of a proposed unit; and,

(3) every wall, floor, ceiling or structural cubic space by reference to which any boundary of a proposed unit is to be ascertained, erected;

(4) the wall, floor, ceiling or structural cubic space has been described or constructed (as the case may be) accordingly;

(5) every unit illustrated by the floor plan and location plan is wholly within the perimeter of a parcel;

(6) the survey information recorded in the accompanying location plan is accurate and;

(7) for any unit, limited in its vertical dimensions as referred to in section 12(1)(c) of the Unit Titles Act unit is limited as described on the diagram.

Signature: *Kevin Dodd* Date: 25/1/10

This Unit Plan **U2011/003** was registered on **18/01/2011** at **06:15**.

Kevin Dodd
Deputy Registrar-General

* Approved under the Unit Titles Act as the units plan for the subdivision of the above-mentioned parcel.
Dated this **14** day of **Jan** 20**11**.

Kevin Dodd
Surveyor General
(Deputy)

UNIT PLAN No. **U2011/003** SHEET **1 OF 5**

Plan of **UNITS 1 TO 11** of

* Subdivision
* Consolidation
* Boundary Alteration

* Lot/Portion/Section No **8033**

* Town/Hundred of **DARWIN**

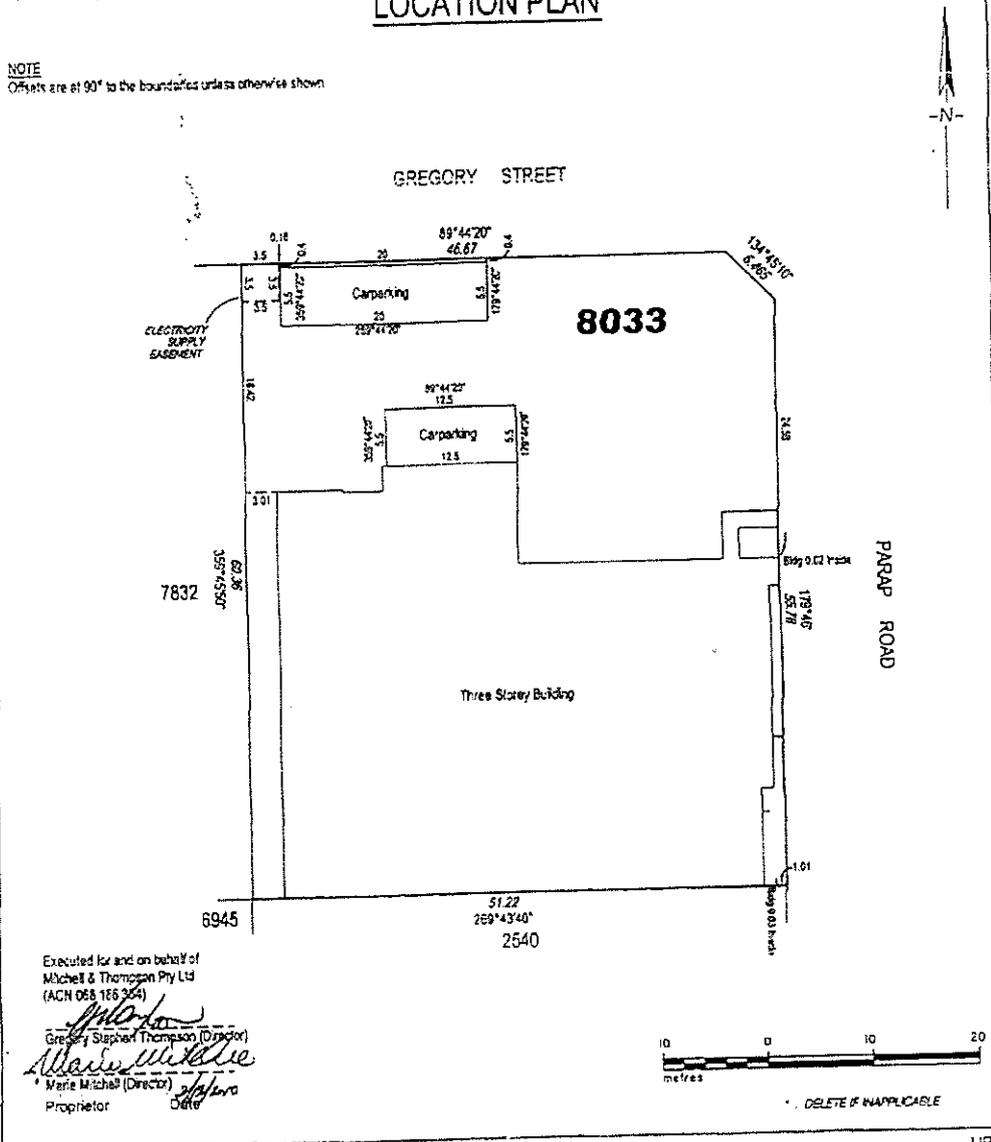
This Sheet Represents
Affected Title(s) Volume **751** Folio **545**

LOCATION PLAN

NOTE
Offsets are at 90° to the boundaries unless otherwise shown



Unit Plan 2011/003



Executed for and on behalf of
Mitchell & Thompson Pty Ltd
(ACN 088 188 364)

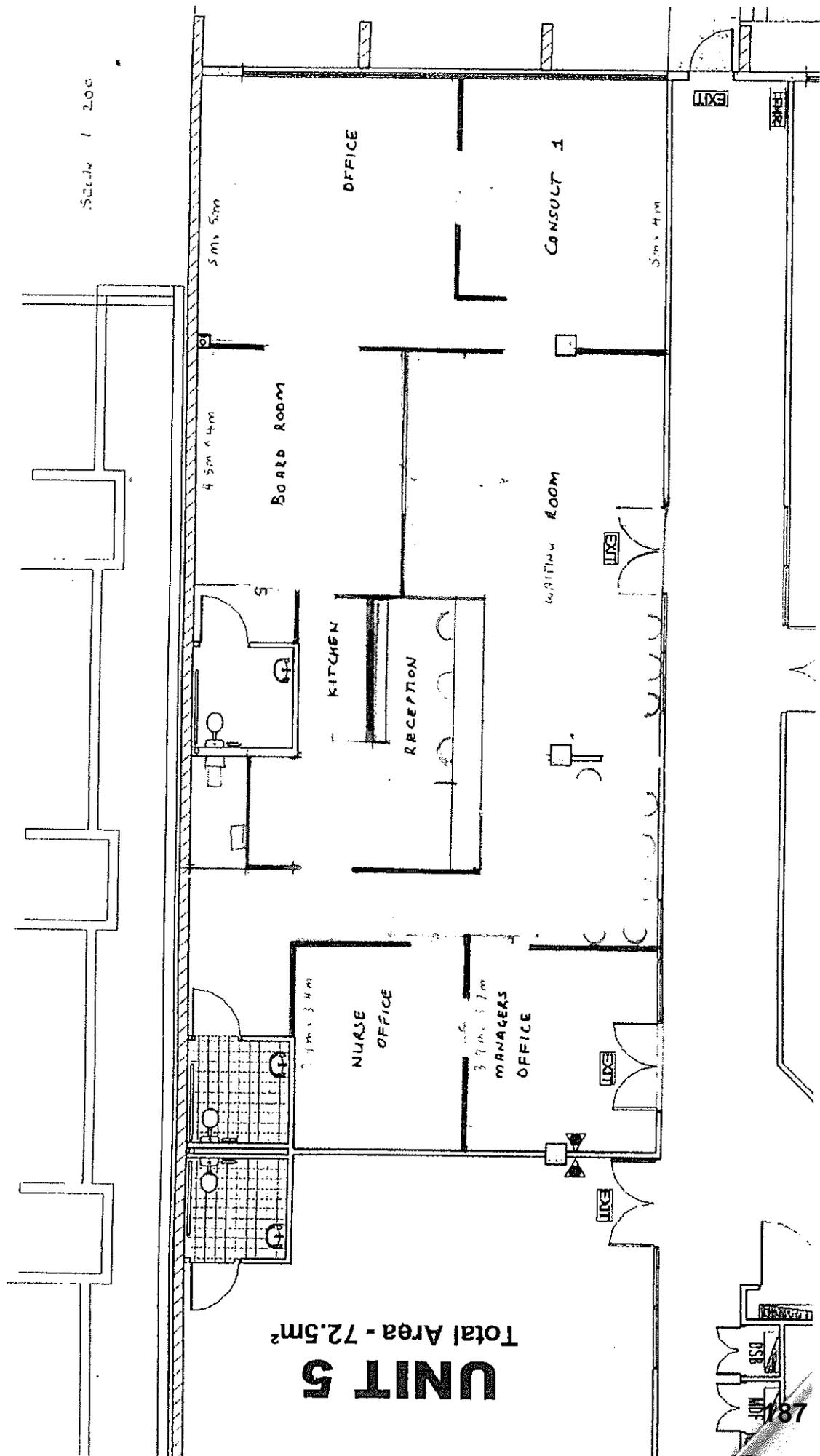
Gregory Stephen Thompson
Gregory Stephen Thompson (Director)
Marie Mitchell
Marie Mitchell (Director)
Proprietor Date



* DELETE IF INAPPLICABLE

UP4

RESIDENT LAYOUT UNITS 6, 7, 7



187
MDF
DSR

Please quote: 2137474 JS:fh
Your reference: PA2011/0837

2 December 2011

Doug Lesh
Manager Urban Planning
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

Parcel Description: Lot 9129 (1) Cartwright Court Town of Nightcliff -
Proposed Development: Verandah addition to an existing multiple dwelling
(Unit 12) with a reduced side setback

Thank you for the Development Application referred to this office 18 November 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**

a). **Setbacks**

Council notes a number of variations to the Northern Territory Planning Scheme provisions in relation to Table A of Clause 7.3 – Minimum Building Setbacks for Residential Buildings and Associated Open Structures. While Council does not necessarily support these variations, considering that the proposal is generally consistent with the Northern Territory Planning Scheme provisions, it does not object.

i). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

.../2

- a). **Council requests the Authority requires a schematic plan demonstrating all stormwater to be collected on the site and discharged underground to Council's stormwater drainage system.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged underground to Council's drainage network or other appropriate location.
- 1). The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system or other location as determined by Council.

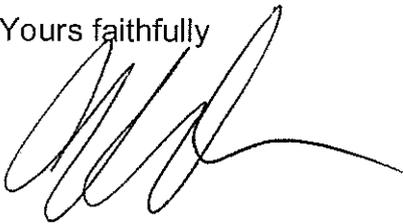
Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager Infrastructure, Darwin City Council.
- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Mrs Kylie Cordingley

Development Consent Authority

Northern Territory

GPO BOX 1680
DARWIN NT 0801

Telephone No: (08) 8999 6046
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0837

Sir or Madam
Darwin City Council
GPO Box 84
DARWIN NT 0801

Dear Sir or Madam,

Proposed Development Application

The attached application has been received for assessment by the Development Consent Authority:

Parcel Description	Lot 09129 Town of Nightcliff
Road/Street	1 CARTWRIGHT CT
Town Plan Zone	MD (Multiple Dwelling)
Tenure Type	ESTATE IN FEE SIMPLE
Land Owners	The Proprietors Units Plan 93/049
Applicant	Mrs Kylie Cordingley
Contact Number	08 8947 3080
Purpose	Verandah addition to an existing multiple dwelling (Unit 12) with a reduced side setback

The proposal can be viewed online for a two week period from **Friday, 18th November 2011** until **Friday, 2nd December 2011** at:

<https://www.ntlis.nt.gov.au/planning/ta.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Friday, 2nd December 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:

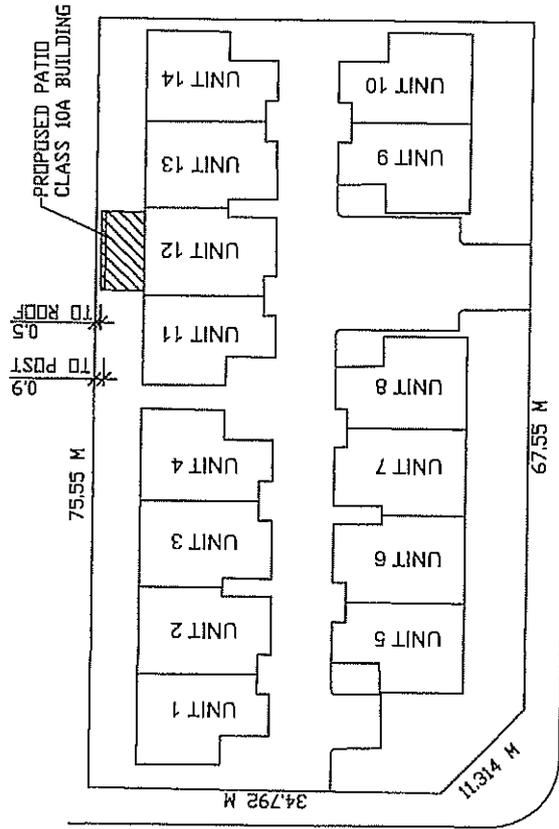
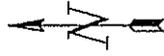
https://www.ilis.nt.gov.au/ilis/12?pagelD=planning.application&ilis_entity_id=65931421

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

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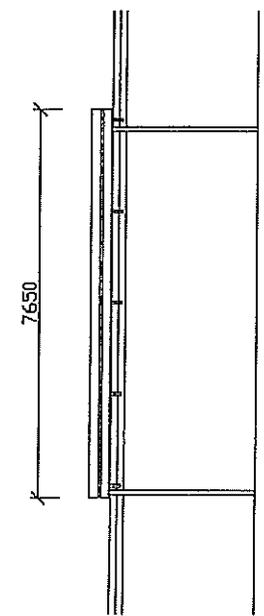
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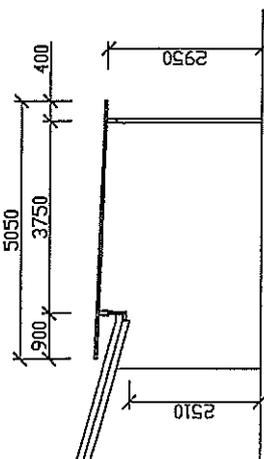
REYNOLDS COURT

CARTWRIGHT COURT

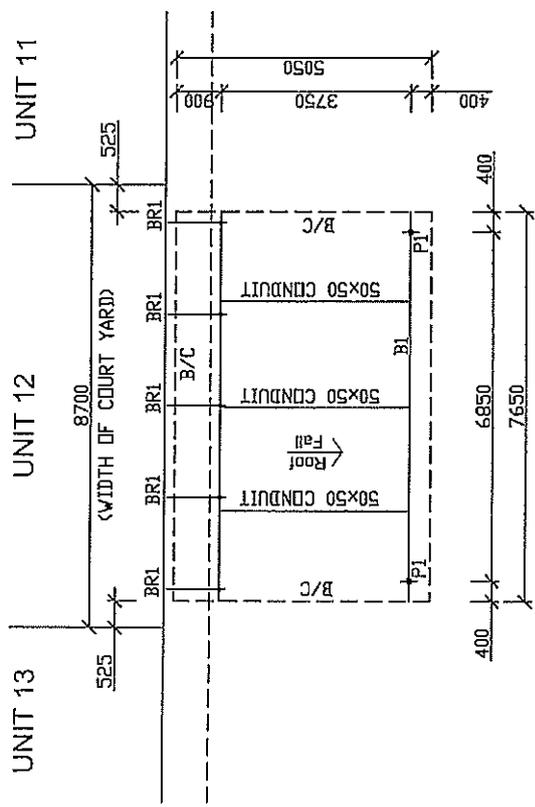
 REG. NO. 46360CR © COPYRIGHT 2011 Patio World	Patio World Head Office: 39 Cannon St. Cairns, Qld. 4870 Ph (07) 40321166 SCALE @ A3: 1:100 (unless otherwise shown)		PROPOSED PATIO FOR MICK CUMMINGS 12/1 CARTWRIGHT COURT COCONUT GROVE NT 0810		191 REV.
	CONSULTANT: DC DRAWN BY: CR SHEET: 1 OF 3	DESIGN WIND SPEED: 70 m/s Vr - V500 to AS1170.2 LOT No. 9129 DATE: 04-11-2011	LOC: 550 REV. DATE: D442	JOB NO.: D442	



FRONT ELEVATION
1:100



SIDE ELEVATION
1:100



ROOF PLAN
1:100

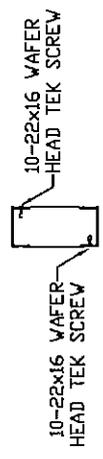
- APOLLO ROOF - 38.6 SQ.M. COVER
17 SHEETS @ 5050 MM
- BR1 170x75 APOLLO BEAM
REFER APOLLO MANUAL PG.16
- P1 90x75x200 AL. POST
POST LOAD: 13.6KN
CONCRETE FOOTING: Ø450x800 MM
- BR2 A1345 BUILD-OVER-ROOF BRACKET
FIXED TO EVERY SECOND TRUSS

ELECTRICAL:
THREE 50x50 CONDUITS

GENERAL NOTE:
SILICONE/SIKAFLEX OR OTHER SEALANTS,
WHERE APPLICABLE SURFACES SHOULD BE
PREPARED TO MANUFACTURER'S SPEC.

ALL SUPPORT BEAMS WITH SPANS OF 6 METRES
OR GREATER SHALL BE PROPPED UP IN THE
CENTRE OF BEAM SPAN TO CREATE A MINIMUM
OF A 10MM CAMBER

APOLLO BEAMS TO BE STITCHED @ 900 CRS
WITH 10-22x16 WAFER HEAD TEK SCREWS.



SHEETING, BEAMS AND FIXINGS IN ACCORDANCE
WITH AS4040.2 & LOW-HIGH-LOW (LHL) REGIME
TESTED MARCH 2008 - REPORT TS689.

TERMITE RISK MANAGEMENT:
WHERE TERMITE SUSCEPTIBLE BUILDING ELEMENTS ARE
BEING USED OR WHERE EXISTING TERMITE BARRIERS
ARE BREACHED NEW TERMITE BARRIER SYSTEM MUST BE
INSTALLED IN ACCORDANCE WITH AS3660.

WARNING:
DO NOT WALK DIRECTLY ON ROOFING SHEETS. USE A
TEMPORARY WALKWAY FOR MAINTENANCE ACCESS. USE
A 250x38 MM PLANK BETWEEN ANY TWO ROOF PANEL
SUPPORT MEMBERS. DO NOT LOCATE PLANK MORE THAN
1 METRE FROM A SUPPORT MEMBER.

IMPORTANT:
THESE PLANS SHOW INTENDED DESIGN ONLY AND ARE BY NO MEANS AN INSTRUCTION MANUAL. CONSTRUCTION
MUST BE CARRIED OUT BY PERSONS WITH KNOWLEDGE OF CURRENT BUILDING REGULATIONS/PRACTICES AND
RELEVANT ENGINEERING MANUALS REFERRED TO ON THESE PLANS.
ALL MEASUREMENTS AND SPECIFICATIONS MUST BE CHECKED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
ANY EXISTING STRUCTURES PROVIDING SUPPORT ARE TO BE ASSESSED AS ADEQUATE OR
SUPPLEMENTED AS REQUIRED FOR ADDITIONAL LOADS APPLIED. STABILITY OF BUILDING
DURING CONSTRUCTION INCLUDING ADDITIONAL PROPPING, BRACING AND EXCAVATION
IS THE RESPONSIBILITY OF THE PERSON(S) CARRYING OUT CONSTRUCTION.

PATIO WORLD NT

REG. NO. 46360CR

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Patio World Head Office: 39 Cannon St, Cairns, Qld 4870 Ph (07) 49321166	
SCALE @ AS:	1:100 (unless otherwise shown)
CONSULTANT:	DC
DRAWN BY:	CR
SHEET:	2 OF 3

PROPOSED PATIO FOR MICK CUMMINGS 12/1 CARTWRIGHT COURT COCONUT GROVE NT 0810	
DESIGN WIND SPEED:	70 m/s Vr - V500 to AS1170.2
LOT No.	9129
DATE:	04-11-2011
JOB NO.:	D442
LOC:	560
REV. DATE:	

Please quote: 2137475 JS:fh
Your reference: PA2011/0833

2 December 2011

Doug Lesh
Manager Urban Planning
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

Parcel Description: Lot 9129 (1) Cartwright Court Town of Nightcliff -
Proposed Development: Verandah addition to an existing multiple dwelling
(Unit 13) with a reduced side setback

Thank you for the Development Application referred to this office 18 November 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**

a). **Setbacks**

Council notes a number of variations to the Northern Territory Planning Scheme provisions in relation to Table A of Clause 7.3 – Minimum Building Setbacks for Residential Buildings and Associated Open Structures. While Council does not necessarily support these variations, considering that the proposal is generally consistent with the Northern Territory Planning Scheme provisions, it does not object.

i). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

.../2

- a). **Council requests the Authority requires a schematic plan demonstrating all stormwater to be collected on the site and discharged underground to Council's stormwater drainage system.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged underground to Council's drainage network or other appropriate location.
- 1). The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system or other location as determined by Council.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager Infrastructure, Darwin City Council.
- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Mrs Kylie Cordingley

Development Consent Authority

Northern Territory

GPO BOX 1680
DARWIN NT 0801

Telephone No: (08) 8999 6046
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0833

Sir or Madam
Darwin City Council
GPO Box 84
DARWIN NT 0801

Dear Sir or Madam,

Proposed Development Application

The attached application has been received for assessment by the Development Consent Authority:

Parcel Description	Lot 09129 Town of Nightcliff
Road/Street	1 CARTWRIGHT CT
Town Plan Zone	MD (Multiple Dwelling)
Tenure Type	ESTATE IN FEE SIMPLE
Land Owners	The Proprietors Units Plan 93/049
Applicant	Mrs Kylie Cordingley
Contact Number	08 8947 3040
Purpose	Verandah addition to an existing multiple dwelling (Unit 13) with a reduced side setback

The proposal can be viewed online for a two week period from **Friday, 18th November 2011** until **Friday, 2nd December 2011** at:

<https://www.ntlis.nt.gov.au/planning/lta.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Friday, 2nd December 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:

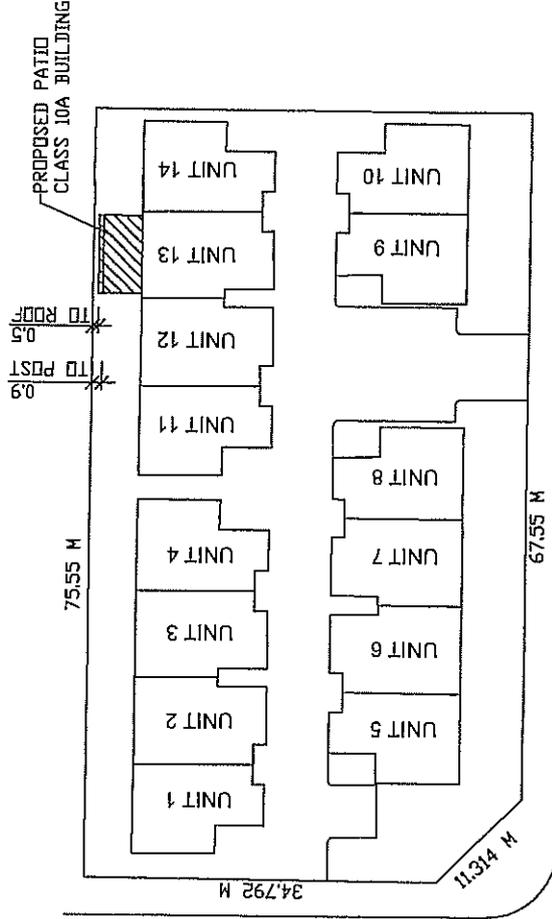
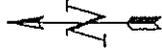
https://www.ilis.nt.gov.au/ilis/l2?pageld=planning.application&ilis_entity_id=65918847

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

If you wish to secure a third party right of appeal, when it exists, you must specify that the submission is being made under section 49 and ensure that the submission is lodged with the consent authority by 4PM CST **Friday, 2nd December 2011** which is the closing date for public exhibition.



REYNOLDS COURT

CARTWRIGHT COURT

Patio World Head Office:
39 Cannon St,
Cairns, Qld 4870
Ph (07) 40321166
SCALE @ A3:
(unless otherwise shown) 1:100



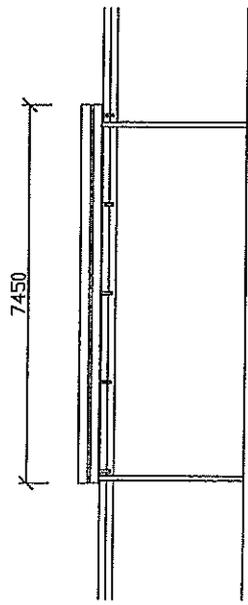
REG. NO. 46360CR
© COPYRIGHT 2011 Patio World

PROPOSED PATIO FOR
MICK CUMMINGS
13/1 CARTWRIGHT COURT
COCONUT GROVE NT 0810

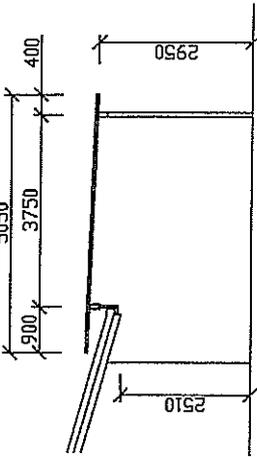
CONSULTANT: DC DESIGN WIND SPEED: 70 m/s Vr - V500 to AS1170.2

DRAWN BY: CR LOT No. 9129 DATE: 04-11-2011 JOB NO.: D441

SHEET: 1 OF 3 LOC: 550 REV. DATE:



FRONT ELEVATION
1:100



SIDE ELEVATION
1:100

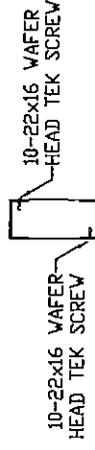
- APOLLO ROOF - 37.6 SQ.M. COVER
17 SHEETS @ 5050 MM
- BR1 170x75 APOLLO BEAM
REFER APOLLO MANUAL PG.16
- PI1 90x75x2.01 AL. POST
POST LOAD: 13.2KN
CONCRETE FOOTING: Ø450x800 MM
- BR1 A1345 BUILD-OVER-ROOF BRACKET
FIXED TO EVERY SECOND TRUSS

ELECTRICAL:
THREE 50x50 CONDUITS

GENERAL NOTE:
SILICONE/SIKAFLEX OR OTHER SEALANTS,
WHERE APPLICABLE SURFACES SHOULD BE
PREPARED TO MANUFACTURER'S SPEC.

ALL SUPPORT BEAMS WITH SPANS OF 6 METRES
OR GREATER SHALL BE PROPPED UP IN THE
CENTRE OF BEAM SPAN TO CREATE A MINIMUM
OF A 10MM CAMBER

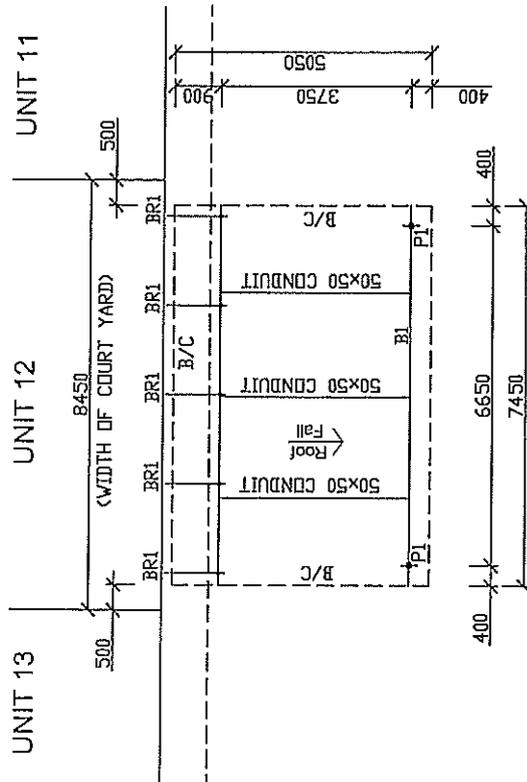
APOLLO BEAMS TO BE STITCHED @ 900 CRS
WITH 10-22x16 WAFER HEAD TEK SCREWS.



SHEETING, BEAMS AND FIXINGS IN ACCORDANCE
WITH AS4040:2 & LOW-HIGH-LOW (LHL) REGIME
TESTED MARCH 2008 - REPORT TS689.

TERMITE RISK MANAGEMENT:
WHERE TERMITE SUSCEPTIBLE BUILDING ELEMENTS ARE
BEING USED OR WHERE EXISTING TERMITE BARRIERS ARE
BREACHED NEW TERMITE BARRIER SYSTEM MUST BE
INSTALLED IN ACCORDANCE WITH AS3660.

WARNING:
DO NOT WALK DIRECTLY ON ROOFING SHEETS. USE A
TEMPORARY WALKWAY FOR MAINTENANCE ACCESS. USE
A 250x38 MM PLANK BETWEEN ANY TWO ROOF PANEL
SUPPORT MEMBERS, DO NOT LOCATE PLANK MORE THAN
1 METRE FROM A SUPPORT MEMBER.



ROOF PLAN
1:100

IMPORTANT:
THESE PLANS SHOW INTENDED DESIGN ONLY AND ARE BY NO MEANS AN INSTRUCTION MANUAL. CONSTRUCTION
MUST BE CARRIED OUT BY PERSONS WITH KNOWLEDGE OF CURRENT BUILDING REGULATIONS/ PRACTICES AND
RELEVANT ENGINEERING MANUALS REFERRED TO ON THESE PLANS.

ALL MEASUREMENTS AND SPECIFICATIONS MUST BE CHECKED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

ANY EXISTING STRUCTURES PROVIDING SUPPORT ARE TO BE ASSESSED AS ADEQUATE OR
SUPPLEMENTED AS REQUIRED FOR ADDITIONAL LOADS APPLIED. STABILITY OF BUILDING
DURING CONSTRUCTION INCLUDING ADDITIONAL PROPPING, BRACING AND EXCAVATION
IS THE RESPONSIBILITY OF THE PERSON(S) CARRYING OUT CONSTRUCTION.

Patjo World Head Office:
39 Cannon St,
Cairns, Qld 4870
Ph (07) 40321166
SCALE @ A3:
(unless otherwise shown) 1:100

PROPOSED PATIO FOR
MICK CUMMINGS
13/1 CARTWRIGHT COURT
COCONUT GROVE NT 0810

CONSULTANT: DC DESIGN WIND SPEED: 70 m/s Vr - V500 to AS1170.2

DRAWN BY: CR LOT No. 9129 DATE: 04-11-2011 JOB NO.:

SHEET: 2 OF 3 LOC: 550 REV. DATE: D441



REG. NO. 46360CR
© COPYRIGHT 2011 Patjo World

Please quote: 2131135 BS:fh
Your reference: PA2011/0815

25 November 2011

Doug Lesh
Manager Urban Planning
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

Parcel Description: Lot 9276 (13) Harris Street Town of Nightcliff
Proposed Development: Carport, shed and verandah additions to an existing multiple dwelling (Unit 1)

Thank you for the Development Application referred to this office 10 November 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **Council supports in principle the granting of a Development Permit and offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **Council requests the Authority requires a schematic plan demonstrating that stormwater run-off is capable of being discharged across the lot surface to the main drainage system or to an approved alternate connection.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged to Council's drainage network.
 - 1). Council stormwater discharge guidelines do not allow concentrated discharge of stormwater from a Single Dwelling lot to adjoining properties or the road reserve. All stormwater is to be piped or dispersed via sheet flow to the road reserve.

.../2

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager Infrastructure, Darwin City Council.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Cindy Robson', with a long horizontal flourish extending to the right.

CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Mr Cosmus Nicholas Pastrokos

Development Consent Authority

Northern Territory

GPO BOX 1680
DARWIN NT 0801

Telephone No: (08) 8999 6046
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0815

Sir or Madam
Darwin City Council
GPO Box 84
DARWIN NT 0801

Dear Sir or Madam,

Proposed Development Application

The attached application has been received for assessment by the Development Consent Authority:

Parcel Description	Lot 09276 Town of Nightcliff
Road/Street	13 HARRIS ST
Town Plan Zone	MD (Multiple Dwelling)
Tenure Type	ESTATE IN FEE SIMPLE
Land Owners	The Proprietors Units Plan 93/040
Applicant	Mr Cosmos Nicholas Pastrokos
Contact Number	08 8985 1019
Purpose	Carport, shed and verandah additions to an existing multiple dwelling (Unit 1)

The proposal can be viewed online for a two week period from **Friday, 11th November 2011** until **Friday, 25th November 2011** at:

<https://www.ntlis.nt.gov.au/planning/lta.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Friday, 25th November 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:

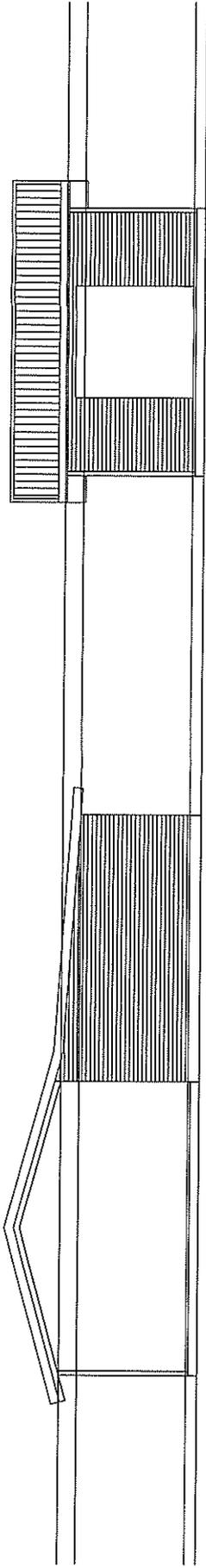
https://www.ilis.nt.gov.au/ilis/l2?pagelid=planning.application&ilis_entity_id=65817560

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

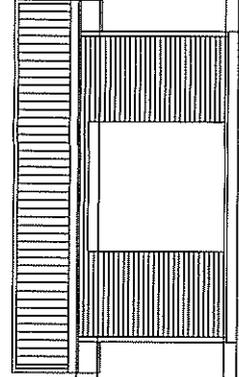
Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

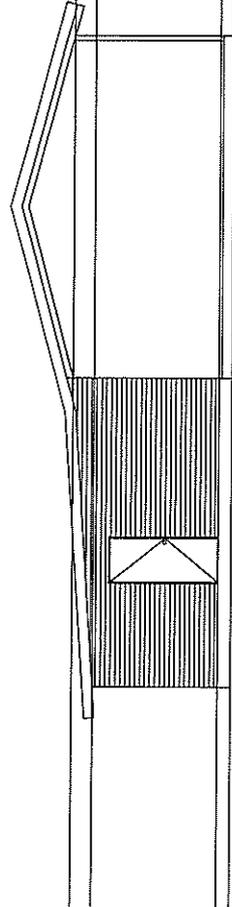
If you wish to secure a third party right of appeal, when it exists, you must specify that the submission is being made under section 49 and ensure that the submission is lodged with the consent authority by 4PM CST **Friday, 25th November 2011** which is the closing date for public exhibition.



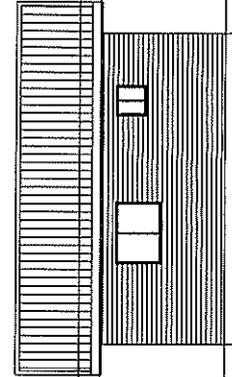
ELEVATION 3



ELEVATION 4



ELEVATION 1



ELEVATION 2

no.	description	amendments	date



MICHAEL ALAKIOTIS
ARCHITECTURAL DRAFTER
mob. 0404 602 427
5 fernside st. melb

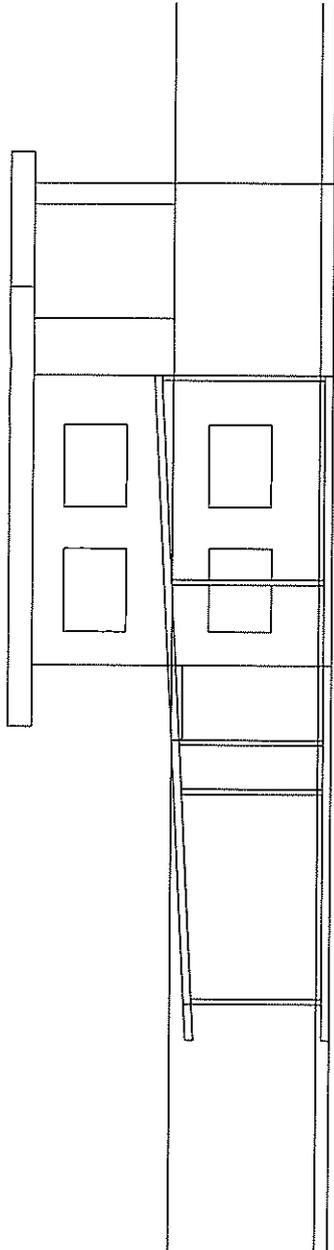
CARPENTERS
ELEVATIONS

ADDITIONS TO RESID
LOT 9276/UNIT 1
HARRIS STREET MELB
for MR. C. PASTOR

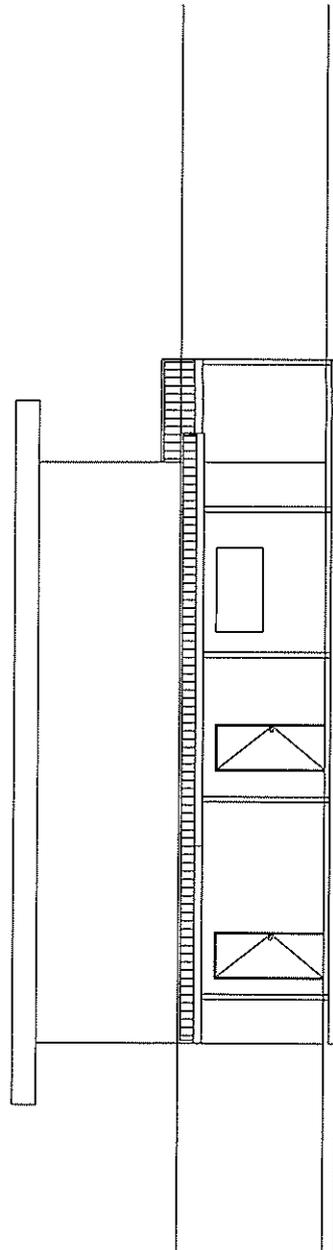
Date: SEP'11
Scale: 1:100

Job No. 203
Eng. No. 077

Builder to verify all dimensions on site prior to construction



ELEVATION 2



ELEVATION 1

no.	Description	amendments	date



MICHAEL ALAKIOTIS
 ARCHITECTURAL DRAFTER
 mob. 0465 602 427
 5 Terrence st. mel

ELEVATIONS

ADDENDUM TO RESID
 LOT 8276/UNIT 1
 HARRIS STREET MELB
 for MR. C PAST

204

Date: SEP'11
 Scale: 1:100
 Job No. 1107
 Dwg No. E2
 Please to verify all dimensions on site prior to construction

Please quote: 2119926 JS:fh
Your reference: PA2011/0755

11 November 2011

Doug Lesh
Manager Urban Planning
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

Parcel Description: Lot 10490 (11) Vanderlin Drive Town of Nightcliff
Proposed Development: Change of use of one tenancy (on level 1) from shop to medical clinic.

Thank you for the Development Application referred to this office 25 October 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**

a). **Parking**

It is unclear from the submitted plans whether the subject site has allocated parking within the complex. Under the Northern Territory Planning Scheme provisions for parking, medical consulting rooms are calculated at a rate of 4 car parking bays per consulting room.

Council requests the Authority require a monetary contribution is paid to Council in accordance with its Carparking Contribution Plan in lieu of any on-site car parking shortfall as a result of this development.

b). **Waste Management**

Council requests the Authority require a Waste Management Plan demonstrating adequate waste disposal, storage and removal for a

.../2

medical practice in accordance with Council's Waste Management Policy 054. The applicant's plans fail to demonstrate adequate waste management.

A copy of Council's Waste Management Policy 054 may be viewed on Council's website or by contacting Council's Infrastructure department.

ii). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments in relation to the Planning Act, the NT Planning Scheme and Land Use Objectives:-

- a). Council requests the Authority require a monetary contribution is paid to Council in accordance with its Carparking Contribution Plan in lieu of the on-site carparking shortfall as a result of this development.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager Infrastructure, Darwin City Council.
- Any proposed signage for the site shall be subject to a separate assessment in accordance with Darwin City Council Policy Number 42 – Outdoor Advertising Signs Code.
- The total number of required disabled car parking bays shall be met on site.
- Pursuant to clause 6.5.2 of the Northern Territory Planning Scheme and s.70 (5) of the Planning Act a monetary contribution shall be paid to Darwin City Council for any determined parking shortfall.
- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

.../3

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Cindy Robson', written in a cursive style.

CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Mr Darron Lyons

Development Consent Authority

Northern Territory

GPO BOX 1680
DARWIN NT 0801

Telephone No: (08) 8999 6046
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0755

Sir or Madam
Darwin City Council
GPO Box 84
DARWIN NT 0801

Dear Sir or Madam,

Proposed Development Application

The attached application has been received for assessment by the Development Consent Authority:

Parcel Description	Lot 10490 Town of Nightcliff
Road/Street	11 VANDERLIN DR
Town Plan Zone	C (Commercial)
Tenure Type	ESTATE IN FEE SIMPLE
Land Owners	Elias Investments Pty Ltd (ACN 009 604 791)
Applicant	Mr DARRON LYONS
Contact Number	08 89843066
Purpose	Change of use of one tenancy (on level 1) from shop to medical clinic

The proposal can be viewed online for a two week period from **Friday, 28th October 2011** until **Friday, 11th November 2011** at:

<https://www.ntlis.nt.gov.au/planning/ta.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Friday, 11th November 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:

https://www.ilis.nt.gov.au/ilis/l2?pagelD=planning.application&ilis_entity_id=65563544

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

If you wish to secure a third party right of appeal, when it exists, you must specify that the submission is being made under section 49 and ensure that the submission is lodged with the consent authority by 4PM CST **Friday, 11th November 2011** which is the closing date for public exhibition.

Project: PROPOSED INTERNAL FITOUT	Client: SKIN CARE NT PTY LTD
LOCALITY / SITE PLAN & CARPARKING	LOT 8623 (11) VANDERLIN
Scale: As Shown	Checked: _____
Drawn: DLCT	Sheet: 2 OF 22
Job No. TRS 11-55 - 2	Date: 14/10/11
Amend: -	

Project: PROPOSED INTERNAL FITOUT
 Client: SKIN CARE NT PTY LTD
 LOT 8623 (11) VANDERLIN

PO BOX 653, NIGHTCLIFF
 DARWIN, NT 0814
 ABN 2863923080
 darwin.yong@hrcdesign.net.au
 www.hrcdesign.net.au
 Mob: 041868788

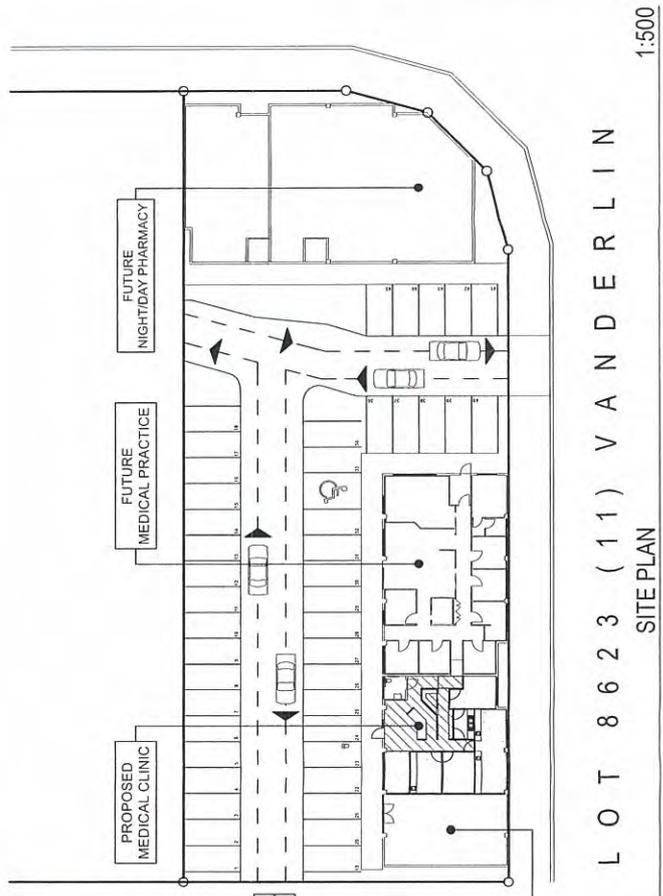
THE RED SHED
 INNOVATIVE DESIGN SOLUTIONS

DO NOT SCALE OFF THIS DRAWING check all dimensions prior to commencing any work

Client's signature: _____
 The Red Shed
 Please note in using all computerisations to
 create drawings the accuracy of the drawings
 shall remain entirely the responsibility
 of the client.



LOCALITY PLAN & EXISTING PARKING 1:7000



LOT 8623 (11) VANDERLIN
 SITE PLAN 1:500

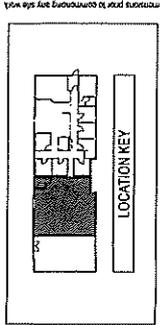
level 2 ex. office area
 124.63 m2
 CARPARK REQUIRES - 3 PER EVERY CONSULTING ROOM
 AREA 124.63m2
 3 x 2 = 6 CARPARKS

CARPARKS 1:1000

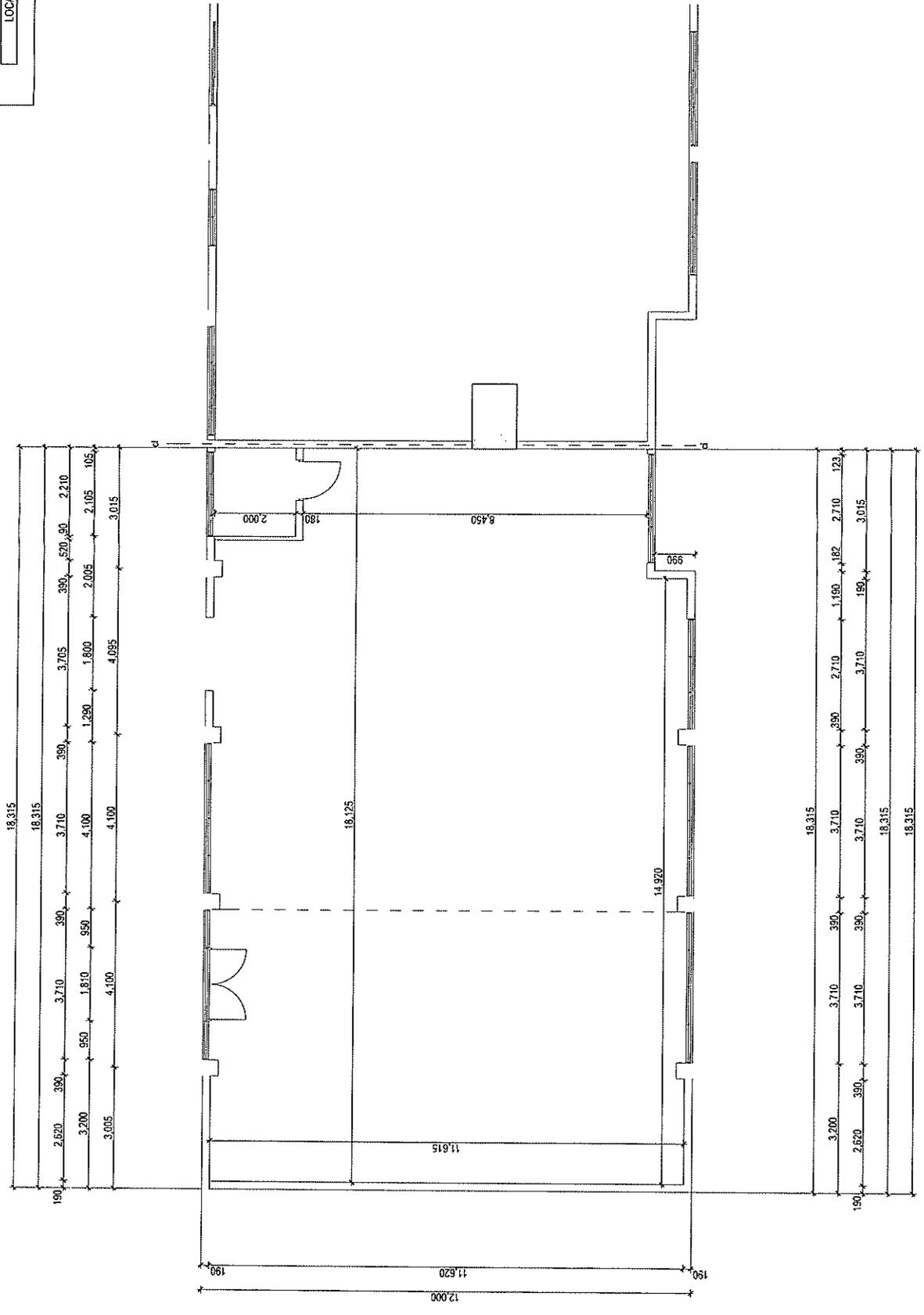
TOTAL CARPARKS: 45
 TOTAL UNIVERSALS: 1

FUTURE TENDENCY TO BE FITTED

Client/Owner has reviewed and approved drawing
 Please refer to any of the dimensions to
 the Red Shed
 © 2011 RED 2 SHED
 ALL RIGHTS RESERVED
 01 91 58 68 78
 61 54 83 53



DO NOT SCALE OFF THIS DRAWING. Check all dimensions prior to commencing any site work.



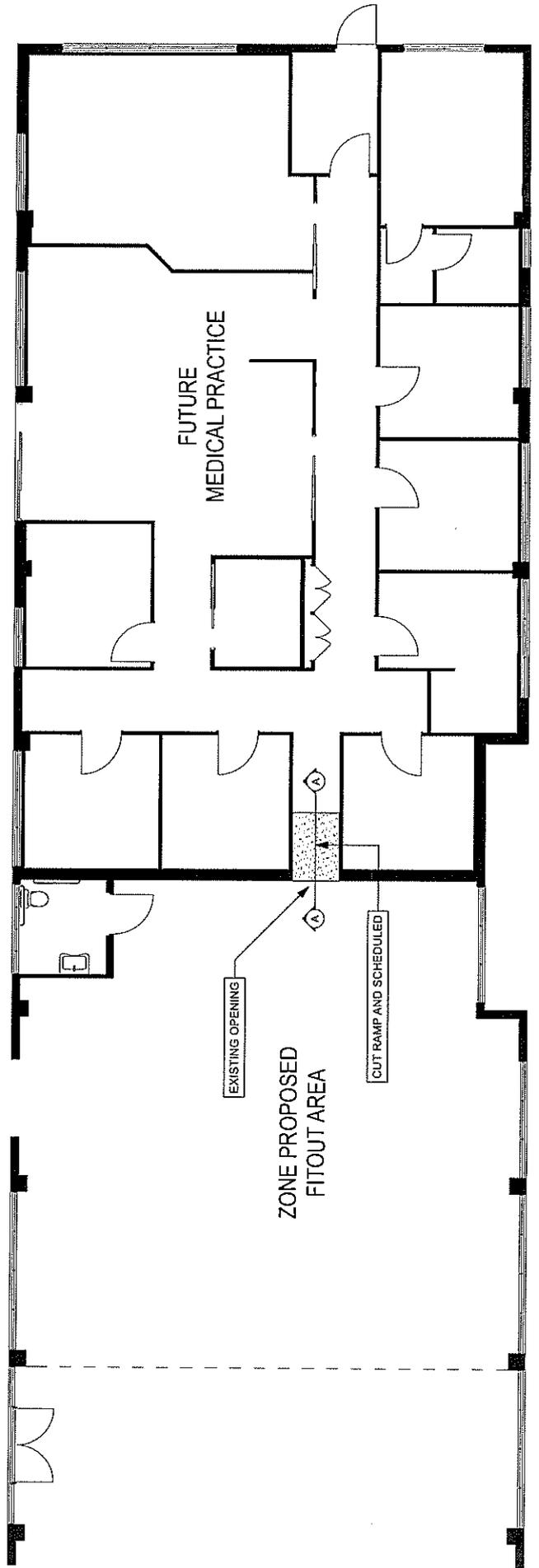
EXISTING FLOOR PLAN

1:100

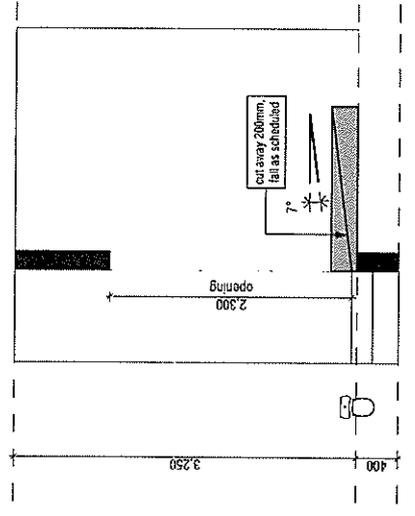
Checklist has reviewed and approved drawings. Please refer to any changes/alterations to The Red Shed.
 Author's Signature: _____
 Date: _____

1:100

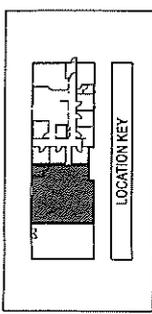
EXISTING DEMOLISH FLOOR PLAN



SECTION A-A 1:50



- DEMOLITION NOTES**
- All walls which are to be removed, are to be confirmed as non load bearing prior demolition. If load bearing roof supports are found, inspection to be carried out by a certified structural Engineer.
 - All exposed reinforcement of existing to be cut back 20min from face and capped with epoxy or equivalent approved protection.
 - Structures to existing blockwork to be carried out neatly such that they do not extend past corners of proposed opening.
 - Demolish existing layouts (wall etc) to enable installation of the new layout. Provide any framing, linings and trim to fully 'make good' the new refurbishments.
 Ensure wet area linings are to BCA standards.



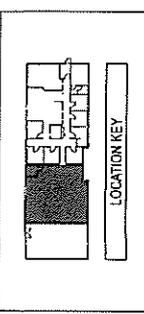
DO NOT SCALE OFF THIS DRAWING. Check all dimensions prior to commencing any work.



Checked:	
Sheet:	5 OF 22
Date:	14/10/11
Drawn:	D.L.C.T
Scale:	As Shown

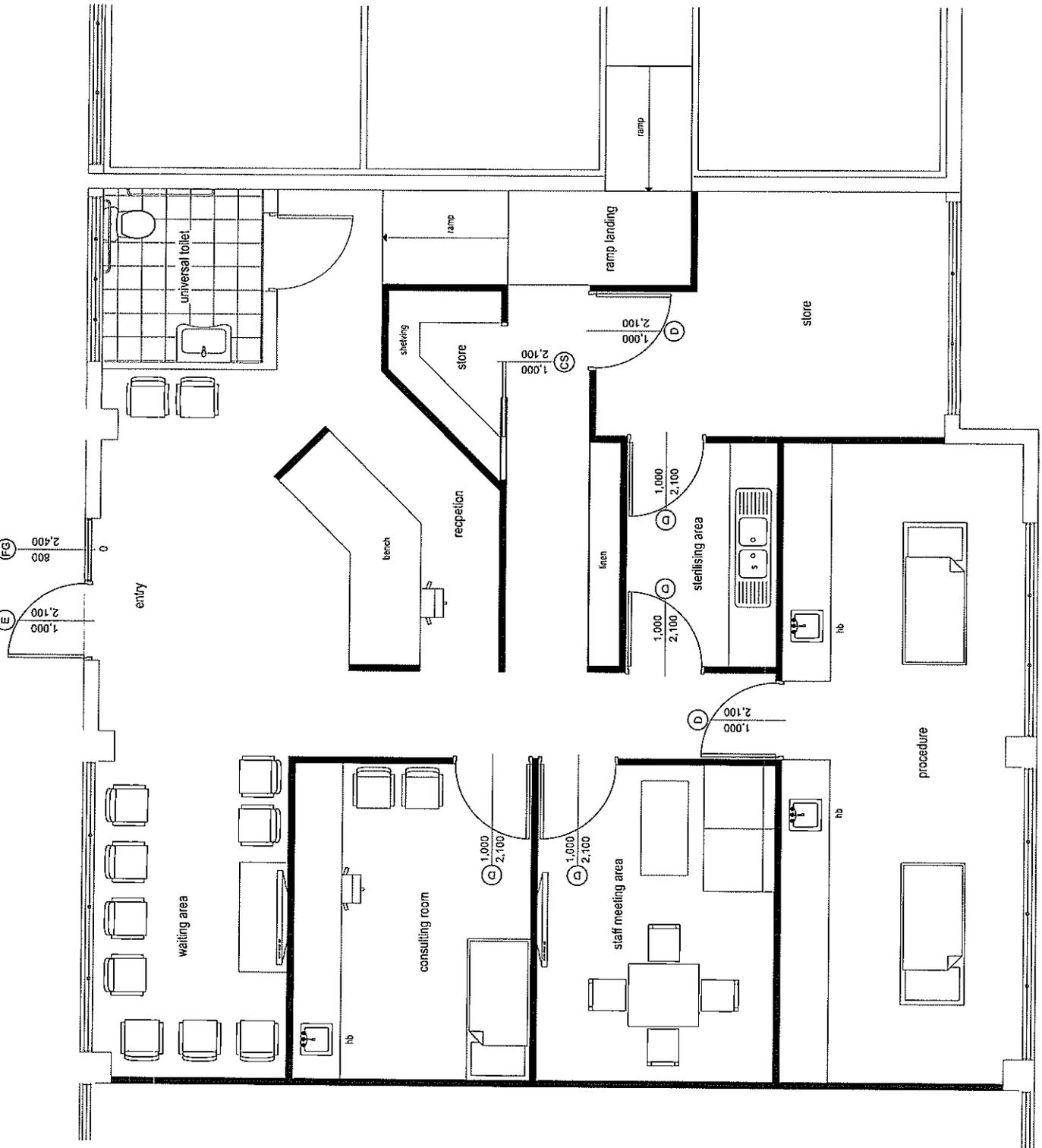
Checklist has reviewed and approved drawing. This sheet is valid as designed/indicated to. Please refer to relevant specifications to confirm compliance with the drawing. AS 1684-2005

DO NOT SCALE OFF THIS DRAWING. Check all dimensions prior to commencing any site work.



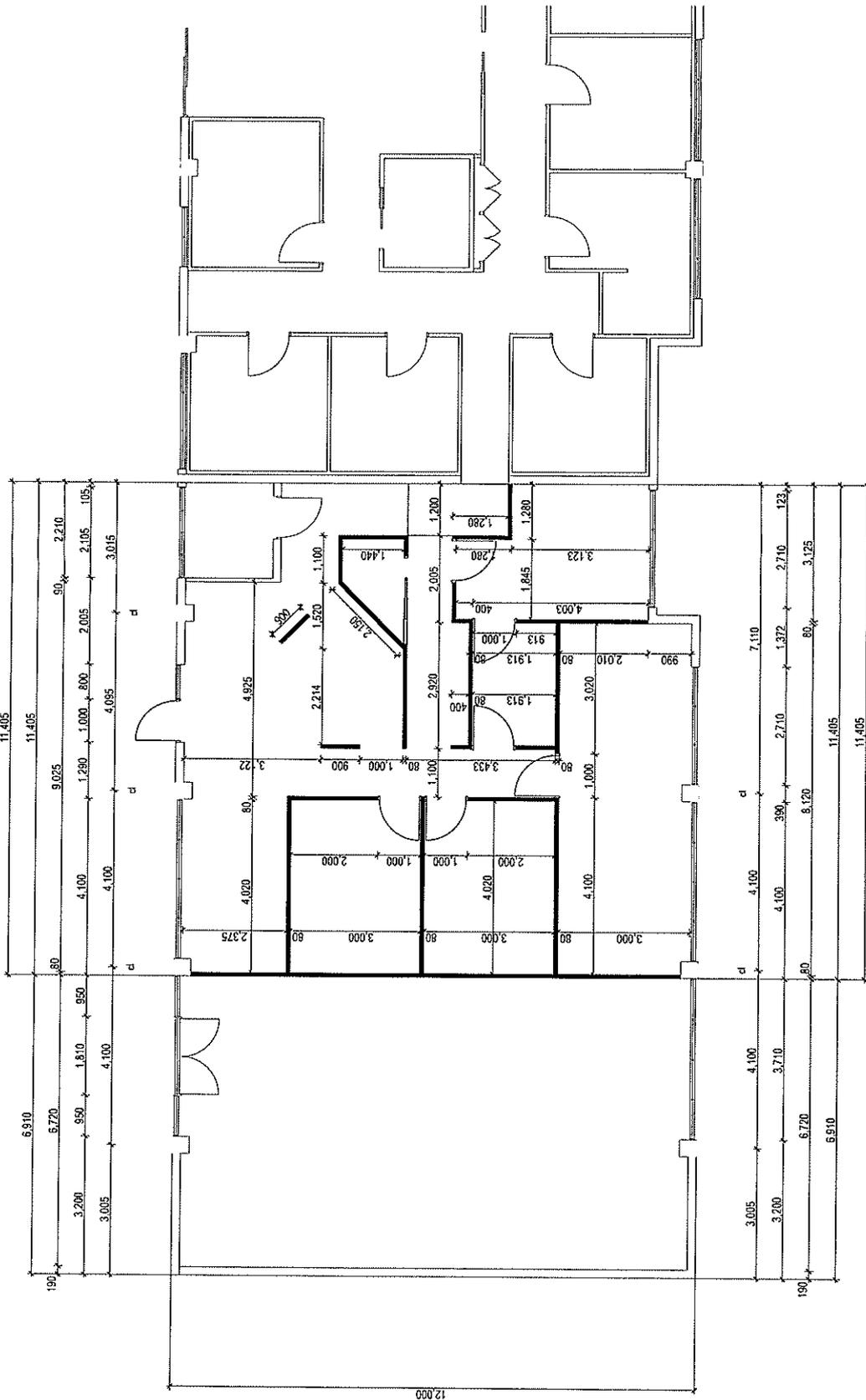
1:50

FLOOR PLAN



CONTRACTOR TO NOTE

DIMENSIONS ARE NOMINAL AND GENERALLY ASSUME A WALL THICKNESS OF 100mm INCLUSIVE OF PLASTERBOARD.
 ALLOW FOR FINISHED WALL SURFACES WHEN SETTING OUT WALLS & FIXTURES
 VERIFY ALL DIMENSIONS ON SITE PRIOR TO ORDERING & FABRICATION OF MATERIALS. DO NOT SCALE DRAWINGS
 UNLESS OTHERWISE NOTED.



SETOUT PLAN

1:100

Job No	TRRS 11-55 - 7
Scale	As Shown
Drawn	DLCT
Date	14/10/11
Sheet	7 OF 22

Checked: _____
 Drawing
 Drawing
 Drawing

Project: PROPOSED INTERNAL FITOUT
 1ST FLOOR
 LOT 8623 (11) VANDERLIN
 SKIN CARE NT PTY LTD

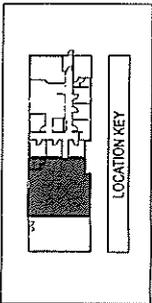


PO BOX 653, NIGHTCLIFF
 DARWIN, NT 0814
 PH 0893233050
 FAX 0893233050
 WWW.SHEDDESIGN.COM.AU

INNOVATIVE DESIGN SOLUTIONS
THE SHED
 DESIGN SOLUTIONS

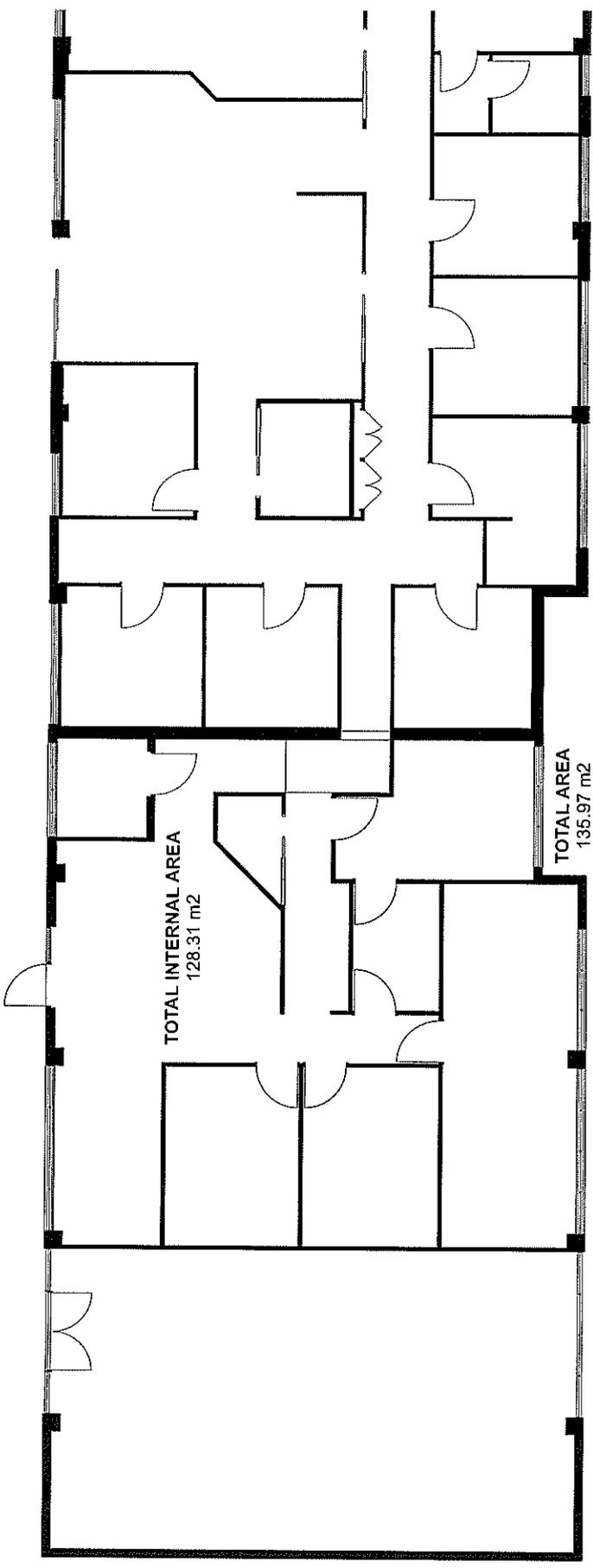
Client's name and address
 This plan is to be used for construction only
 Please refer to the specifications for
 construction details
 The Shed
 PO BOX 653, NIGHTCLIFF
 DARWIN, NT 0814
 PH 0893233050
 FAX 0893233050
 WWW.SHEDDESIGN.COM.AU

DO NOT SCALE OFF THIS DRAWING. Check all dimensions prior to commencing any work.

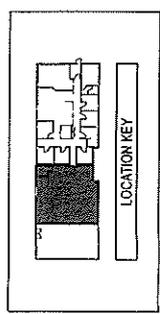


Checklist has reviewed and approved drawings
 Please notify in writing all changes/alterations to
 the Red Shed
 Red Shed Systems

1:100
 THE RED & SHED
 100% COMPLETE
 14/10/11



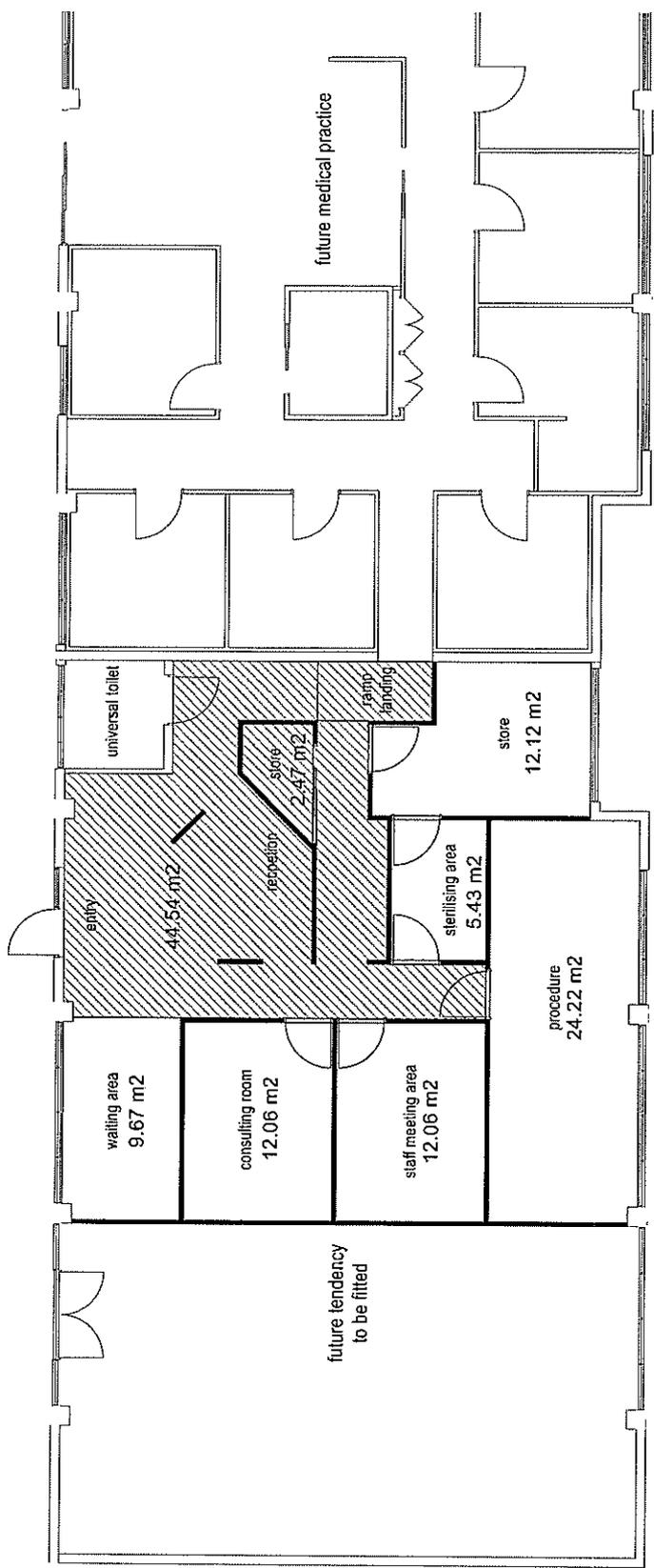
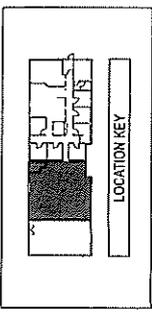
ZONES EXISTING



DO NOT SCALE OFF THIS DRAWING. Check all dimensions prior to commencing any site work.

Client's marks
 The Red Shed
 Drawings are being prepared in accordance with the Australian Standards AS/NZS 1100:2007
 14/10/11 11:00 AM
 0418686768

DO NOT SCALE OFF THIS DRAWING. Check all dimensions prior to commencing any site work.

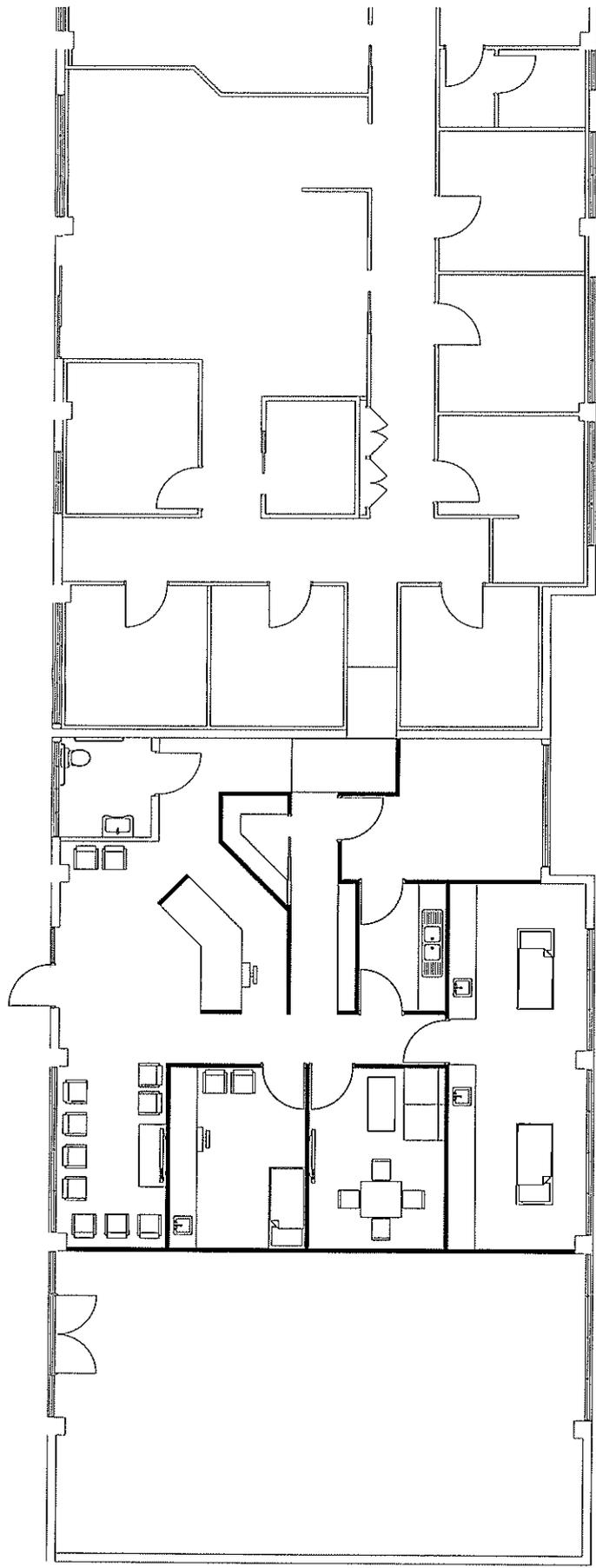


1:100

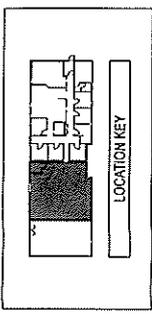
ZONES NEW

Checklist has reviewed and approved drawings
 From which no further amendments are to be made
 The Red Shed
 Date/Client's signature

REDD SHED'S POLICY IS TO
 PRODUCE DRAWINGS TO
 THE FOLLOWING STANDARDS
 AS 1582:2000



1:100
 BLANK LAYOUT



DO NOT SCALE OFF THIS DRAWING and all dimensions prior to commencing any site work

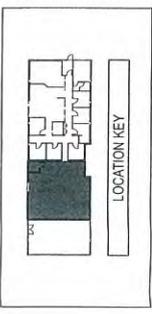
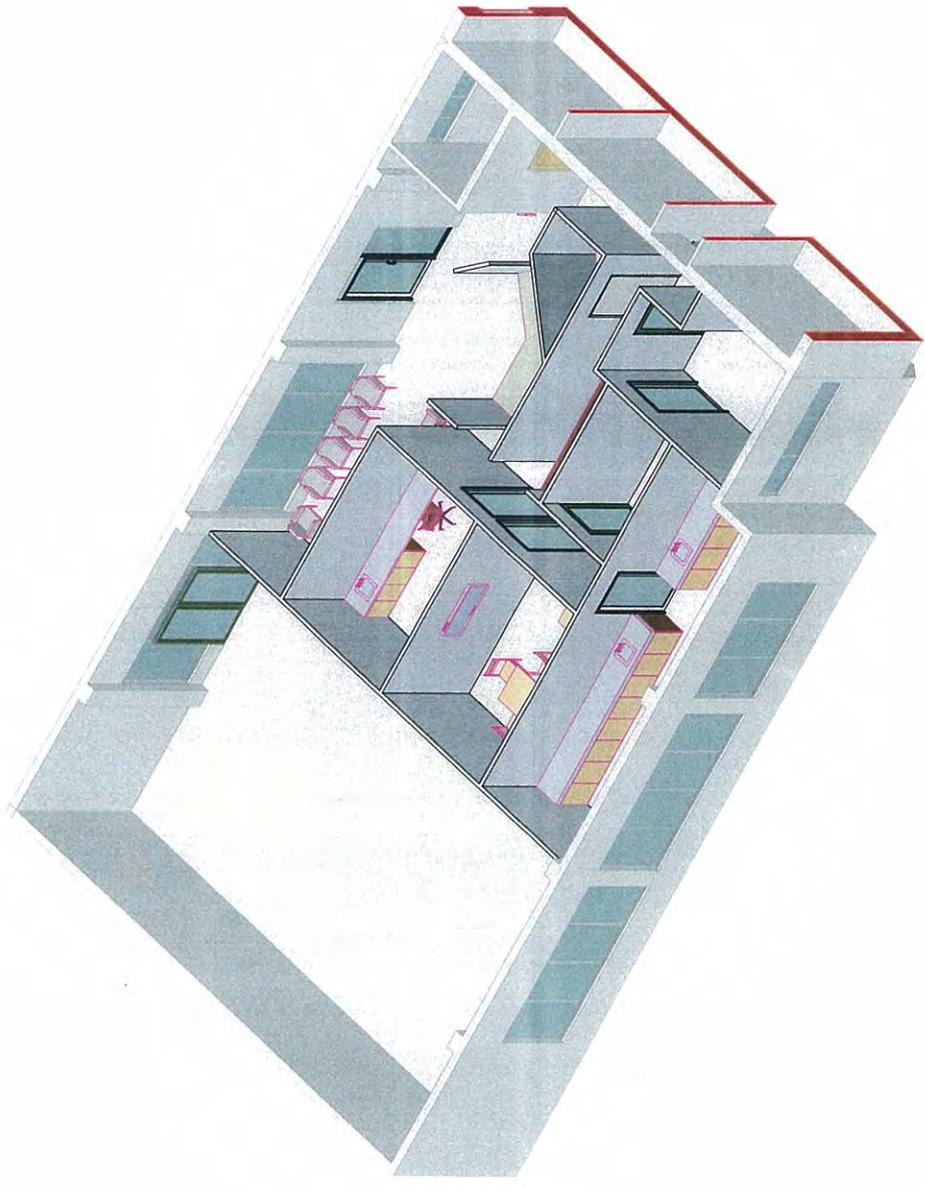


Checked:	-
Date:	14/10/11
Drawn:	DL.CT
Scale:	As Shown
Sheet:	11 OF 22

Checklist has reviewed and approved drawings.
 Please refer to relevant specifications to
 The Red Shed.
 Builder's signature:

THE DESIGN CONSULTANT'S SIGNATURE
 OR SEAL MUST BE PROVIDED
 AS PER 803

DO NOT SCALE OFF THIS DRAWING. Check all dimensions prior to commencing any site work.



OPEN SECTION

PAGE

TP12/*

Town Planning Committee Meeting – Tuesday, 6 December 2011

12 GENERAL BUSINESS