

OPEN SECTION

PAGE

TP2/1

CITY OF DARWIN

TOWN PLANNING COMMITTEE

TUESDAY 7 FEBRUARY 2012

MEMBERS: Member H I Galton (Chairman); The Right Worshipful, Lord Mayor, Mr G R Sawyer; Member J D Bailey; Member R T Dee; Member R K Elix; Member R M Knox; Member G A Lambert; Member R Lesley; Member F P Marrone; Member A R Mitchell; Member K M Moir; Member J L Sangster; Member H D Sjoberg.

OFFICERS: Chief Executive Officer, Mr B Dowd; General Manager Infrastructure, Mr L Cercarelli; Manager Design, Planning & Projects, Mr D Lelekis; Executive Manager, Mr M Blackburn; Strategic Town Planner, Miss C Robson; Executive Officer, Miss A Smit.

Enquiries and/or Apologies: Arweena Smit
E-mail: a.smit@darwin.nt.gov.au - PH: 89300 685

Committee's Responsibilities

The Council assigns the following functions to the Committee for the purpose of consideration and decisions as follows:

- * All Development Applications referred from the Development Consent Authority
- * All Town Planning related matters referred from the NT Government
- * Town Planning Strategy, Policies and Procedures
- * Development Application and Town Planning Matters referred to Council from Developers, Community Groups and Individuals
- * Signage Applications, Policies and Procedures
- * Liquor Licence Applications

***** I N D E X *****

PAGE

1	MEETING DECLARED OPEN	3
2	APOLOGIES AND LEAVE OF ABSENCE	3
3	ELECTED MEMBERS CONFLICT OF INTEREST DECLARATION	3

OPEN SECTION

PAGE

TP2/2

4	CONFIDENTIAL ITEMS	3
5	WITHDRAWAL OF ITEMS FOR DISCUSSION	4
6	CONFIRMATION OF MINUTES PERTAINING TO THE PREVIOUS TOWN PLANNING COMMITTEE MEETING	
	▪ Tuesday, 6 December 2011	4
7	BUSINESS ARISING FROM THE MINUTES PERTAINING TO THE PREVIOUS TOWN PLANNING COMMITTEE MEETING	
7.1	Business Arising	5
8	DEVELOPMENT APPLICATIONS	5
9	GENERAL TOWN PLANNING REPORTS	5
10	OFFICERS REPORTS	
10.1	Place Names Committee for the Northern Territory, to rename Nemarluk Court to Marpu Court in the Suburb of Ludmilla	6
10.2	Exceptional Development Application for Portion 1263 (540) Tiger Brennan Drive, Hundred of Bagot. - Proposal:- Proposed Heliport - PA2011/0804.....	21
10.3	Exceptional Development Application for Lot 6682 (37) Kalymnos Drive Town of Sanderson - Proposal:- Shade Structure Addition - PA2011/0774.....	33
11	INFORMATION ITEMS	
11.1	Various Letters sent to Development Assessment Services under Delegated Authority	45
12	GENERAL BUSINESS.....	50

OPEN SECTION

PAGE

TP2/4

Town Planning Committee Meeting – Tuesday, 7 February 2012

1 MEETING DECLARED OPEN

2 APOLOGIES AND LEAVE OF ABSENCE

2.1 Apologies

2.2 Leave of Absence Granted

Nil.

3 ELECTED MEMBERS CONFLICT OF INTEREST DECLARATION

4 CONFIDENTIAL ITEMS

Nil.

OPEN SECTION

PAGE

TP2/4

Town Planning Committee Meeting – Tuesday, 7 February 2012

5 WITHDRAWAL OF ITEMS FOR DISCUSSION

5.1 Items Withdrawn by Staff

COMMITTEE'S DECISION

THAT the Committee resolve under delegated authority that the following items withdrawn by staff as Items of Significance, be considered:

DECISION NO.20\() (07/02/12)

5.2 Items Withdrawn by Members

COMMITTEE'S DECISION

THAT the Committee resolve under delegated authority that Information Items and Officers Reports to the Town Planning Committee Meeting held Tuesday, 7 February 2012, be received be received and all recommendations contained therein be adopted by general consent with the exception of Item Number

DECISION NO.20\() (07/02/12)

6 CONFIRMATION OF MINUTES PERTAINING TO THE PREVIOUS TOWN PLANNING COMMITTEE MEETING

COMMITTEE'S DECISION

THAT the Committee resolve that the minutes of the previous Town Planning Committee Meeting held on Tuesday, 6 December 2011, tabled by the Chairman, be confirmed.

DECISION NO.20\() (07/02/12)

OPEN SECTION

PAGE

TP2/4

Town Planning Committee Meeting – Tuesday, 7 February 2012

7 BUSINESS ARISING FROM THE MINUTES PERTAINING TO THE PREVIOUS TOWN PLANNING COMMITTEE MEETING

7.1 Business Arising

8 DEVELOPMENT APPLICATIONS

Nil

9 GENERAL TOWN PLANNING REPORTS

Nil

TOWN PLANNING COMMITTEE /OPEN**AGENDA ITEM:10.1**

SUBJECT: PLACE NAMES COMMITTEE FOR THE NORTHERN TERRITORY,
TO RENAME NEMARLUK COURT TO MARPU COURT IN THE
SUBURB OF LUDMILLA

REPORT NO: 12TS0003 BS:fh **COMMON No.** 2151784 **Date:** 07/02/2012

Presenter: **Drosso Lelekis**

Approved: **Luccio Cercarelli**

PURPOSE

The purpose of this report is to respond to the Place Names Committee for the Northern Territory, inviting the City of Darwin to comment on their proposal to rename Namarluk Court to Marpu Court in the suburb of Ludmilla, Darwin (**Attachment A**).

LINK TO STRATEGIC PLAN

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

Goal: 1. Achieve effective partnerships and engage in collaborative relationships.

Outcome: 1.1 Improve relations with all levels of Government.

KEY ISSUES:

- Namarluk Court is located within the suburb of Ludmilla, Darwin and runs off Namarluk Drive (refer **Attachment B**). The Place Names Committee proposes to carry out the Community Consultation process, with the Northern Territory Lands Group completing the process for any street name change. Further details are contained within the discussion section of this report.

RECOMMENDATIONS:

THAT the Committee resolve under delegated authority:-

- THAT Report Number 12TS0003 BS:fh entitled Proposal to Rename Namarluk Court, Ludmilla, to Marpu Court, Ludmilla by the Place Names Committee for the Northern Territory, be received and noted.
- THAT the response to the Place Names Committee for the Northern Territory's request for comment on the proposed renaming of Namarluk Court to Marpu Court in the suburb of Ludmilla, Darwin, included as **Attachment D** to report number 12TS0003 BS:fh be endorsed.

PAGE: 2
 REPORT NUMBER: 12TS0003 BS:fh
 SUBJECT: PROPOSAL TO RENAME NEMARLUK COURT, LUDMILLA TO MARPU COURT, LUDMILLA BY THE PLACE NAMES COMMITTEE FOR THE NORTHERN TERRITORY.

BACKGROUND

Not Applicable.

DISCUSSION

Marpu Court:

The Court is named after one of Nemarluk's wives, and considered his favourite.

As part of the Place Names Committee for the Northern Territory's consultation process, Council has been invited to comment on the proposed name change. The name change has been requested by residents living in both Nemarluk Drive and Nemarluk Court. **Attachment A** contains further information on why the name change has been requested and the history of this issue is detailed in the Consultation section of this report.

There are other dual street names within the Darwin Municipality, which were approved prior to the implementation of the City of Darwin's Land Use Planning – General Policy No:041 (refer to extract in **Attachment C**), which promotes the non-duplication of street names in the Darwin Municipality, to avoid confusion. These are as follows:

- Alawa Crescent & Alawa Lane (Alawa Shops);
- Allen Street (Fannie Bay) & Allen Avenue (Larrakeyah Army Barracks);
- Bagot Road & Bagot Court (Coconut Grove);
- Bayview Street (Fannie Bay) & Bayview Boulevard (Bayview) ;
- Burnett Road (Darwin Hospital) & Burnett Place (Cullen Bay);
- Caloola Street & Caloola Crescent (RAAF Base);
- Chapman Road & Chapman Court (Rapid Creek);
- Dashwood Crescent & Dashwood Place (CBD);
- Gothenburg Crescent & Gothenburg Court (Stuart Park);
- Jones Place (Parap) & Jones Court (Coonawarra Defence);
- Levi Street & Levi Place (Millner);
- Litchfield Street (CBD) & Litchfield Court (Coconut Grove);
- Malabar Street & Malabar Court (Larrakeyah);
- Margaret Street & Margaret Court (Stuart Park);
- Meigs Crescent & Meigs Court (Stuart Park);
- Melville Street (The Gardens) & Melville Road (Coonawarra Defence);
- Moil Crescent & Moil Place (Moil Shops);
- Mullen Gardens & Mullen Place (Alawa);
- Murray Street (Larrakeyah) & Murray Avenue (Larrakeyah Army Barracks);
- Nakara Place & Nakara Terrace (Nakara);
- Packard Street & Packard Place (Larrakeyah);
- Parap Road & Parap Place (Parap);
- Robertson Street (Larrakeyah Army Barracks) & Robertson Crescent (Coonawarra Defence);

PAGE: 3
 REPORT NUMBER: 12TS0003 BS:fh
 SUBJECT: PROPOSAL TO RENAME NEMARLUK COURT, LUDMILLA TO MARPU COURT, LUDMILLA BY THE PLACE NAMES COMMITTEE FOR THE NORTHERN TERRITORY.

- Tiwi Gardens & Tiwi Place (Tiwi);
- Wagaman Terrace & Wagaman Place (Wagaman);
- Wanguri Terrace & Wanguri Place (Wanguri) and
- Wulagi Crescent & Wulagi Place (Wulagi).

CONSULTATION PROCESS

The Place Names Committee for the Northern Territory is responsible for public consultation in relation to this proposal and their file history relating to the renaming of Namarluk Court is as follows:

- *Requests for the renaming of Namarluk Court have been ongoing. In 1998 a resident on Namarluk Drive requested the change and in 2002, a signed petition, requesting a name change, from residents of 6 addresses on Namarluk Court was received. At this time both a name change and renumbering of the Court was considered. Consensus was not reached;*
- *In 2004 a resident on Namarluk Drive requested a name change of the Court;*
- *In 2007, another resident on Namarluk Drive requested the name change of the Court. Again, consensus was not reached;*
- *In late 2010, a resident on Namarluk Drive requested the name change or renumbering of the Court. In May 2011, letters were sent to the owners of properties on Namarluk Court and affected properties on Namarluk Drive, inviting comment on the proposal to change the name of Namarluk Court. Australia Post was also written to, on behalf of the residents, requesting that more care be taken in the delivery of mail; and*
- *In December 2011 a second letter was sent to the owners of properties on Namarluk Court and affected properties on Namarluk Drive, inviting comment on the proposal to change the name of Namarluk Court. Letters were also sent to Australia Post and residents of properties on Namarluk Court.*

Reasons given for the name change request include:

- *Incorrect mail and pizza delivery;*
- *Incorrect attendance by Police;*
- *Incorrect delivery of goods and services (e.g.: taxi, trades people, couriers); and*
- *Power and telephone being disconnected at wrong address.*

Note: 8 properties are affected on Namarluk Court (5 properties on Namarluk Drive). To date, from the 2011 consultation, we have received 4 comments – 3 of which are requesting the change (2 residents of the Drive, 1 of the Court) and 1 on the Court requesting no change.

PAGE: 4
 REPORT NUMBER: 12TS0003 BS:fh
 SUBJECT: PROPOSAL TO RENAME NEMARLUK COURT, LUDMILLA TO MARPU COURT, LUDMILLA BY THE PLACE NAMES COMMITTEE FOR THE NORTHERN TERRITORY.

POLICY IMPLICATIONS

Support for changing the street name is in accordance with Council's Land Use Planning – General Policy No: 041, which states that:

- *Names should not duplicate or nearly duplicate either in sound or spelling an existing name in the area, to avoid postal confusion.*
- *Names should not be duplicated by using a different generic term for the road e.g. a court off a street of the same name.*

Process Going Forward:

This proposal, if supported by all stakeholders, would be forwarded to the Minister for Lands and Planning for signing off the name change. The new name would then be published in the Northern Territory Gazette, if approved by the Minister.

The Northern Territory Land Group would then inform all persons, businesses concerned of the name change. This includes and may not be limited to; the affected residents, Council, Statistics Bureau, Valuer General, Telstra, Power Water, Post Office, Land Information System including their Mapping System.

Consultation Process:

The following Northern Territory Government Departments were consulted while writing this report:

- Place Names Committee for the Northern Territory
- Northern Territory Land Records

BUDGET AND RESOURCE IMPLICATIONS

Council will be required to replace the street name sign, this can be accommodated within Council's operation budget.

RISK/LEGAL/LEGISLATIVE IMPLICATIONS

The street name change is compliant with Council's existing Policy No.041 and no major risk is likely for Council.

ENVIROMENTAL IMPLICATIONS

Not Applicable

PAGE: 5
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 SUBJECT: PROPOSAL TO RENAME NEMARLUK COURT, LUDMILLA TO MARPU COURT, LUDMILLA BY THE PLACE NAMES COMMITTEE FOR THE NORTHERN TERRITORY.

COUNCIL OFFICER - DECLARATION OF INTEREST

We the presenter and approving Officers declare that there is no Conflict of Interest in relation to this matter.

DROSSO LELEKIS
MANAGER DESIGN,
PLANNING & PROJECTS

LUCCIO CERCARELLI
GENERAL MANAGER
INFRASTRUCTURE

Any queries on this report can be directed to Cindy Robson on 8930 0528 or email c.robson@darwin.nt.gov.au

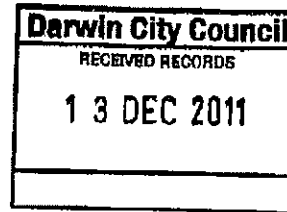
ATTACHMENTS

- Attachment A:** Incoming letter from Place Names Committee for the Northern Territory – Proposal to rename Namarluk Court, Ludmilla.
- Attachment B:** Map showing the area.
- Attachment C:** Council's Land Use Planning – General Policy No: 041.
- Attachment B:** Outgoing letter to Place Names Committee for the Northern Territory – Proposal to rename Namarluk Court, Ludmilla.

Place Names Committee for the Northern Territory

Telephone (08) 8995 5333
Facsimile: (08) 8995 5365
E-mail: placenames.dpi@nt.gov.au
Web: www.placenames.nt.gov.au

3rd Floor NAB House
71 Smith Street
GPO Box 1680
Darwin NT 0801



2011-0057

Mr Brendan Dowd
Chief Executive Officer
City of Darwin
GPO Box 84
DARWIN NT 0801

Dear Mr Dowd

Proposal to rename Nemarluk Court, Ludmilla

The Place Names Committee (the Committee) has received a request to consider renaming Nemarluk Court due to the duplication of the street name with Nemarluk Drive. Nemarluk Court runs off Nemarluk Drive in Ludmilla. It has been indicated that service providers and Australia Post are getting the addresses mixed up.

Current guidelines for the naming of places state that road names should not be duplicated within a subdivision by using a different generic term for the road, e.g. court, off a street of the same name. Nemarluk Drive and Nemarluk Court were named in 1966 and 1968 respectively, prior to these guidelines being in place.

The issue of duplication has previously been addressed by the Committee and renumbering or renaming of Nemarluk Court was considered, however, consensus was not reached. A change in numbering will still result in a change of address for Nemarluk Court properties, so current opinions within the Department of Lands and Planning would be to consider renaming Nemarluk Court, as this will cause less confusion than renumbering.

At its recent meeting, the Committee had opportunity to again consider the renaming of Nemarluk Court and proposed the road be renamed:

Marpu Court named after one of Nemarluk's wives, and considered his favourite.

Nemarluk Court (and Nemarluk Drive) was named after Nemarluk, who was a great man by Aboriginal standards, although a convicted murderer. On 10 April 1934, he was convicted of the murder of a Japanese man on a lugger off Port Keats. The killing occurred in 1931 and, following his apprehension and whilst awaiting trial, he escaped from goal and was not re-arrested until 1933 (following a man-hunt which captured the attention of the whole of Australia). The sentence of death following conviction was subsequently commuted to life imprisonment. In his submission seeking commutation, the Chief Protector of Aboriginals stated that it had been ascertained that there were five women of Nemarluk's tribe living on the lugger at the time of the assault on the Japanese. Nemarluk's health deteriorated in Fannie Bay Gaol to the point that an application for a total remission of sentence was actively under consideration when he died in Gaol in August 1940, having served six years of his sentence.

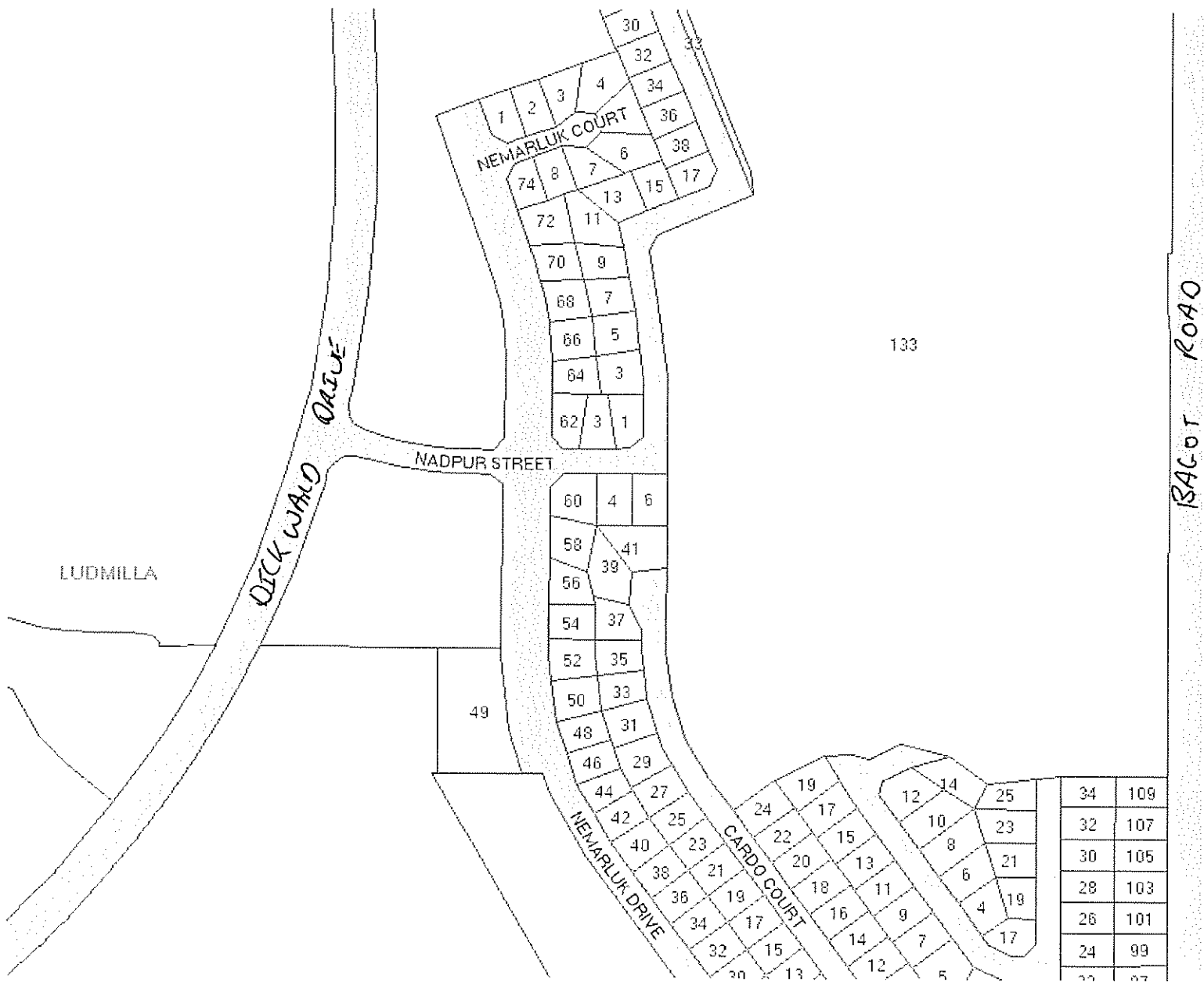
As Namarluk Court is located within your Council area, the Committee would like to invite your comment on the proposed change of name of Namarluk Court to Marpu Court.

It should be noted that place names are not finalised until an Instrument has been signed by the Minister and the names included in the Place Names Register at <http://www.ntlis.nt.gov.au/placenames/>.

Yours sincerely



Cassandra Arnott
Secretary
12 December 2011



Heritage

Where, after consultation with the relevant specialist, Council is of the opinion a place is inhabited by an endangered species, or is of high scientific, educational, social, cultural, aesthetic, historic, recreational or tourist importance, Council will normally oppose development at that place, unless and until it can be shown that the qualities mentioned will be maintained or improved; and where it cannot be shown that these qualities will be maintained or improved then Council will request justification of the project from the developer and may request social and environmental impact studies where appropriate.

Liquor Licences

Locations licensed for the sale of liquor for consumption away from the premises shall be a separate entity and not be directly accessible from areas licensed to sell liquor for consumption on such premises.

THAT Darwin City Council, pursuant to section 144(1) of the Local Government Act, hereby delegates to the Chief Executive Officer or his delegate for the time being the power to:

- Determine grounds for objections to Liquor Licence Applications and advise the in writing of Council's objection as and when required in order to meet statutory deadlines under the Northern Territory Liquor Act.
- Submit comments on Liquor License Applications to the Licensing Commission when required to meet external deadlines.

Lot 7003 -Old Leanyer Dump Site - Transfer Of Title.

Council will pursue the acquisition of Lot 7003 which includes the old Leanyer Dump site.

Place Names

The community may submit names to Council for consideration. Proposals for place names should be accompanied by supporting reasons that can be authenticated.

When a recently deceased person's name is suggested, permission from a member of the family to use the name will need to be submitted to Council.

A public place is defined in the *Place Names Act* as:

- a) *A Natural feature (whether or not covered by water)*
- b) *A county, hundred, town, suburb or locality within a town or site for a town, a reserve within the meaning of section 7 of the Social Welfare Act or a street, road, locality or other place to which the public has access whether or not the street, road, locality or place is within a county, hundred, town or site for a town; or*
- c) *A public cemetery within the meaning of the Cemeteries Act.*

Council will consider place names which reflect existing themes associated with the history and character of Darwin as listed by the Place Names Committee.

Where no established theme exists, or where new names are sought to replace existing names, Council will consider names associated with the history and character of Darwin and the Northern Territory, including, but not limited to, the themes outlined below.

- Administrators of the Northern Territory
- Elected members from all levels of government who have served the Northern Territory
- Darwin's multicultural community, including her Sister City associations
- Prominent Territorians - people who have demonstrated outstanding merit OR people who have made an outstanding contribution to Darwin and the Northern Territory particularly in the areas of service, community, industry, leadership and personal bravery or who have achieved outstanding success in their chosen field of endeavour.
- Defence – reflecting Darwin's role in the defence of Australia
- Names of Aboriginal origin – such names will be required to have their origin in the area and their use supported by the Larrakia people.

Council will require any Estate Names advertised on public land to include the originating suburb name (eg. City Valley, Woolner). The inclusion of the originating suburb name is to ensure the identity of the suburb is not lost by the marketing name of the estate. Developers are encouraged to consult with Council about Estate Names prior to applying to the NT Place Names Committee.

Council generally prefers names to be of deceased persons. In exceptional circumstances, Council will support a name which honours a living person where that person's contribution to the Darwin community has been of outstanding benefit.

Council will allow the naming of areas within parks and reserves only where there is a recognisable and distinctive feature or a distinctive area of cultural or historical significance.

Council will consider the use of dual names (both given name/s and family name) in the naming of parks and features.

Council will only consider the use of dual names for streets and roads where it considers exceptional circumstances apply.

Names should not duplicate or nearly duplicate either in sound or spelling an existing name in the area, to avoid postal confusion.

Names should not be duplicated by using a different generic term for the road eg a court off a street of the same name.

Council will only support applications that comply with the principles of this policy. The Council will only consider names which otherwise do not fit into this policy if:

- The non-complying name in no way undermines the themes of the area of the policy; and
- There is strong reason why the non-complying name should be used in place of a name that complies with the principles of this policy

Sub Divisions - Entry Statements

Entry Statements are seen by Council developers as a necessary focus and identification of the particular subdivision areas' history and heritage, natural flora and fauna and/or built environment, and a necessary part of the infrastructure attached to and associated with subdivision development.

Darwin City Council Entry Statements to be constructed on Council controlled land under special circumstances.

Approval for any such works is based on the following:

- the merit of the proposal;
- an agreement being entered into between a body corporate and Council to maintain the structure/landscaping/lighting thereby eliminating any future maintenance costs to Council; and
- payment by the developer of a once off fee to Council equal to the cost of removal and reinstatement of the area.

The Policy also permits Entry Statements within standard subdivisions that do not have bodies corporate. In the case of Strata type subdivisions, the responsibility for ongoing care and maintenance will remain with the body corporate.

Policy Criteria and Requirements

The following criteria and requirements apply and are common to both 'Standard' and 'Strata' type subdivisions:

Responsibility for determining minimum sizes of developments before they can have an Entry Statement, suburb and/or precinct name, etc is delegated to the General Manager Infrastructure.

Subject to Service Authority approval the Council will permit Entry Statements based on the merit of the proposal; adequate and appropriate attention to detail is required of developers to provide, develop, complement and maintain projects in a way that reflects the unique Darwin flora and lifestyle, history and heritage. Appropriate materials - reinforced concrete, masonry and minimum maintenance metal structures are generally acceptable, timber is not.



Website: www.darwin.nt.gov.au

Please quote: 2151784 BS:fh
Your reference: 2011-0057

9 February 2012

Cassandra Arnott - Secretary
Place Names Committee for the Northern Territory
GPO Box 1680
DARWIN NT 0801

Dear Cassandra,

Proposal: Proposal for Renaming Nemarluk Court to Marpu Court, Ludmilla

Thank you for your correspondence dated 12 December 2011, concerning the above and requesting comment from the City of Darwin on the above mentioned road renaming proposal.

The City of Darwin provides the following response in relation to the Place Names Committee for the Northern Territory's proposal to change the road name of Nemarluk Court to Marpu Court, in the suburb of Ludmilla, Darwin:

Your attention is drawn to the City of Darwin's Land Use Planning-General Policy No: 041, which states that:

- *(Road) Names should not duplicate or nearly duplicate either in sound or spelling an existing (road) name in the area, to avoid postal confusion.*
- *(Road) Names should not be duplicated by using a different generic term for the road e.g. a court off a street of the same name.*

A copy of the relevant extract of City of Darwin's Land Use Planning-General Policy No: 041 is included with this correspondence for your reference.

Should you have any further queries, please contact Brian Sellers, Planning Officer, City of Darwin on 8930 0683.

Yours faithfully

DROSSO LELEKIS
MANAGER DESIGN, PLANNING & PROJECTS

Attachment: Extract of City of Darwin's Land Use Planning-General Policy No: 041

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When a recently deceased person's name is suggested, permission from a member of the family to use the name will need to be submitted to Council.

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Council will require any Estate Names advertised on public land to include the originating suburb name (eg. City Valley, Woolner). The inclusion of the originating suburb name is to ensure the identity of the suburb is not lost by the marketing name of the estate. Developers are encouraged to consult with Council about Estate Names prior to applying to the NT Place Names Committee.

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Subject to Service Authority approval the Council will permit Entry Statements based on the merit of the proposal; adequate and appropriate attention to detail is required of developers to provide, develop, complement and maintain projects in a way that reflects the unique Darwin flora and lifestyle, history and heritage. Appropriate materials - reinforced concrete, masonry and minimum maintenance metal structures are generally acceptable, timber is not.

TOWN PLANNING COMMITTEE MEETING /OPEN**AGENDA ITEM: 10.2**

SUBJECT: EXCEPTIONAL DEVELOPMENT APPLICATION FOR PORTION 1263 (540) TIGER BRENNAN DRIVE, HUNDRED OF BAGOT. - PROPOSAL:- PROPOSED HELIPORT - PA2011/0804

REPORT NO. 12TS0017 WS:fh

COMMON NO. 2167352

DATE: 07/02/2012

Presenter: Drosso Lelekis

Approved: Luccio Cercarelli

PURPOSE

The purpose of this report is to refer to Council for comment, pursuant to Section 48 of the Planning Act, the following Development Application for Portion 1263 (540) Tiger Brennan Drive, Hundred of Bagot (**Attachment A**). The following report addresses relevant Council issues and recommends that Council endorse comments provided to the Development Consent Authority by staff.

LINK TO STRATEGIC PLAN

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

- Goal:** 1. Achieve effective partnerships and engage in collaborative relationships.
- Outcome:** 1.1 Improve relations with all levels of Government.
- Key Strategies:** 1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin.

KEY ISSUES:

- The site is located outside of City of Darwin boundary, however some issues may affect areas within the City of Darwin, such as:
 - Potential noise over suburbs of Bayview and Winnellie
- Areas of concern outside of Council jurisdiction:
 - Dust arising from helicopter landings
 - Helicopter refuelling locations
 - Provision of facilities for heliport customers
 - On-site waste management

RECOMMENDATIONS:

THAT the Committee resolve under delegated authority:-

- A. THAT Report Number 12TS0017 WS:fh entitled Exceptional Development Application for Portion 1263 (540) Tiger Brennan Drive, Hundred of Bagot for a Proposed Heliport - PA2011/0804, be received and noted.
- B. THAT Council endorse the letter to the Development Consent Authority in **Attachment C** to Report Number 12TS0017 WS:fh be endorsed.

PAGE: 2
 REPORT NUMBER: 12TS0017 WS:fh
 SUBJECT: EXCEPTIONAL DEVELOPMENT APPLICATION FOR PORTION 1263
 (540) TIGER BRENNAN DRIVE, HUNDRED OF BAGOT. - PROPOSAL:-
 PROPOSED HELIPORT - PA2011/0804

BACKGROUND

The subject site is within Charles Darwin National Park and outside of the boundaries of the Council.

DISCUSSION

Site Description:

The site is located within Charles Darwin National Park, accessed from Tiger Brennan Drive. The site is within Zone CN (Conservation). The proposal is for a heliport, which is a prohibited use in the Conservation Zone. Consequently, the use requires an Exceptional Development Permit (EDP) to be approved.

The site for the heliport within the National Park is located approximately 60m from the existing designated car parking area. The heliport is proposed to be located on a previously disturbed portion of the site.

Proposal:

The proposal is put forward by the Tourism and Visitor Services Branch of the Parks and Wildlife Service, which is a division of the Northern Territory Government's Department of Natural Resources, Environment, The Arts and Sport.

The proposal is for a heliport, described as a fenced landing area of 0.174ha in area. The proposal includes a walking path to connect the heliport area to the existing public parking area and the connection of an irrigation main to the heliport area. **(Attachment B).**

The application states that, a demountable structure may be added at a later date, to serve as an on-site booking and reception facility. No fuel is to be stored on-site.

The proposal is for the helipad to operate for scenic flights and transfers, with up to 20 flights per day. While the application states that the typical wind direction will result in minimal noise pollution, no studies on the subject have been provided. The application states that flight paths are designed to not fly over existing residential and public recreational areas and have been approved by the Darwin Airport Tower.

No additional car parking spaces are proposed for the site. No additional amenities, such as ablution blocks, are proposed for the site. The application indicates an intention to use the existing facilities utilised by visitors to the National Park. No studies have been conducted on the current use of the existing facilities or on the suitability of the existing facilities to cater for additional users.

Assessment:

In assessing this application, the areas of impact and concern have been highlighted and commented on as follows:

PAGE: 3
 REPORT NUMBER: 12TS0017 WS:fh
 SUBJECT: EXCEPTIONAL DEVELOPMENT APPLICATION FOR PORTION 1263
 (540) TIGER BRENNAN DRIVE, HUNDRED OF BAGOT. - PROPOSAL:-
 PROPOSED HELIPORT - PA2011/0804

a). Noise

It is considered that the primary impact associated with a helicopter landing site is the noise produced by a helicopter during approach and departure from the landing pad.

Noise has been considered in terms of volume produced, as opposed to the sound that is generated.

The application does not include details to assess how loud a helicopter is likely to be when landing at the subject site. The application provides no information on the potential noise impacts of a heliport on the surrounding areas, particularly as it may affect the residential suburb of Bayview and the industrial area of Winnellie, as well as the relaxing and scenic nature of the Charles Darwin National Park area. The presence of Tiger Brennan Drive and the level of traffic noise that the arterial road carries may already be impacting upon the amenity of the industrial area of Winnellie. The effect of the addition of the noise from the helicopter flights is unclear. Additionally, the effect of the noise on the amenity of the park itself is unclear.

Discussions with industry experts and a review of research papers has highlighted a number of environmental factors that change how the noise is received depending on such elements as atmospheric conditions (wind and air pressure), terrain, existing noise sources, structures and obstacles. The manner in which a helicopter is flown, the type of helicopter and the weight being transported by a helicopter, all influence the amount of noise that is produced. All of these factors combined will determine what the likely impact will be to the locality.

In addition, blade slap refers to the pulsing sound produced by helicopters, commonly experienced during descent and turns while accelerating.

Vortices (mini cyclones) are produced by helicopter rotors as the blade moves through the air. As the blade rotates, the vortices are pushed along the blade until they reach the end. At this point, they will begin to fall and dissipate.

During descent, each rotor blade will cut lower than the blade that precedes it. As it does this, the blade will collide with the falling vortex. The speed of the blade, coupled with the speed of air in the vortex will produce a sonic boom. It is the repeating of this action that produces the pulsing sound of a helicopter. While helicopter design has reduced the impact of blade slap, it is unavoidable and can only be managed by the pilot.

It has been identified that the blade slap is an aspect of a helicopter that may cause the most nuisance to users of other nearby areas. It is likely that the pulsing sound is no louder than any other aspect of the helicopter. As the pulsing is not a consistent noise, it is more noticeable and perceived

PAGE: 4
 REPORT NUMBER: 12TS0017 WS:fh
 SUBJECT: EXCEPTIONAL DEVELOPMENT APPLICATION FOR PORTION 1263
 (540) TIGER BRENNAN DRIVE, HUNDRED OF BAGOT. - PROPOSAL:-
 PROPOSED HELIPORT - PA2011/0804

to be louder. While a decibel meter is able to determine how loud a noise is, it is unable to determine how much of a nuisance the sound will be to a locality, therefore making maximum noise levels an irrelevant assessment objective.

It may be that the blade slap is more of a nuisance than the noise of a helicopter, addressing the blade slap would be the solution to the issue. The noise study should include the effects of blade slap.

In order to address the issue of blade slap, it is requested that the applicant take all due care to minimise the affect of blade slap during operations.

City of Darwin officers contacted the Civil Aviation Safety Authority (CASA) to determine if they had requirements for acceptable noise levels for helicopters flying over residential and industrial areas. CASA advised that they have no official regulations governing noise levels for helicopters.

The Federal Department for Infrastructure was also contacted and they advised that they only regulate flights over Commonwealth land. They added that flights over Charles Darwin National Park would likely be regulated by the Northern Territory Government Department of Natural Resources, Environment, the Arts and Sport (NRETAS).

The City of Darwin requests that any approved development be in accordance with the regulations of the responsible authority regarding acceptable noise levels over the suburb of Bayview and the nearby industrial area of Winnellie.

b). Approach Path

No detailed information on approach paths has been provided. It is unclear how the approach paths may impact upon the residential suburb of Bayview, as well as the industrial areas of Winnellie. It is also questioned how the flight paths will not fly over public recreation areas if the heliport is located within the National Park recreation area.

Advice gathered during previous heliport proposal investigations is that two approach paths at 180 degrees of separation is ideally required to allow for an alternative landing approach path during windy conditions. Council is not suitably qualified to assess the safety implications of a single approach path.

Council recommends suitable measures be put into place by the relevant authorities to protect the amenity of the suburb of Bayview and the nearby industrial areas of Winnellie.

PAGE: 5
 REPORT NUMBER: 12TS0017 WS:fh
 SUBJECT: EXCEPTIONAL DEVELOPMENT APPLICATION FOR PORTION 1263
 (540) TIGER BRENNAN DRIVE, HUNDRED OF BAGOT. - PROPOSAL:-
 PROPOSED HELIPORT - PA2011/0804

c). Dust

The applicant has not specified any measures to reduce the dust generated by both the helicopter and vehicular traffic. While the site is outside of City of Darwin boundaries, it is noted that suitable measures should be put into place to control dust generated by the proposed use, to the satisfaction of the relevant authorities.

d). Fuel Storage

The applicant has indicated that no fuel will be stored on the site. The applicant has not addressed how helicopters using the site anticipate refuelling. While the site is outside of City of Darwin boundaries, it is noted suitable means of off-site refuelling should be addressed by the relevant authorities.

e). On-site Facilities and Amenities

It is considered that at a minimum, a shaded and sheltered waiting area may be required for users of the heliport, particularly for tourists, the target market. The suitability of utilising the existing car parking and ablution facilities currently provided for the users of Charles Darwin National Park has also not been explored. While the site is outside of City of Darwin boundaries, it is noted the issue of provisions of appropriate facilities to service users of the site should be suitably addressed by the relevant authorities.

f). Waste Management

No details have been provided on waste management for the site. While the site is outside of City of Darwin boundaries, it is noted that this area should be addressed by the relevant authorities.

CONSULTATION PROCESS

N/A

POLICY IMPLICATIONS

N/A

BUDGET AND RESOURCE IMPLICATIONS

N/A

RISK/LEGAL/LEGISLATIVE IMPLICATIONS

N/A

PAGE: 6
REPORT NUMBER: 12TS0017 WS:fh
SUBJECT: EXCEPTIONAL DEVELOPMENT APPLICATION FOR PORTION 1263
(540) TIGER BRENNAN DRIVE, HUNDRED OF BAGOT. - PROPOSAL:-
PROPOSED HELIPORT - PA2011/0804

ENVIRONMENTAL IMPLICATIONS

N/A

PAGE: 7
 REPORT NUMBER: 12TS0017 WS:fh
 SUBJECT: EXCEPTIONAL DEVELOPMENT APPLICATION FOR PORTION 1263
 (540) TIGER BRENNAN DRIVE, HUNDRED OF BAGOT. - PROPOSAL:-
 PROPOSED HELIPORT - PA2011/0804

COUNCIL OFFICER - DECLARATION OF INTEREST

We the Presenter and Approving Officers declare that we do not have a Conflict of Interest in relation to this matter.

DROSSO LELEKIS
MANAGER DESIGN,
PLANNING & PROJECTS

LUCCIO CERCARELLI
GENERAL MANAGER
INFRASTRUCTURE

Any queries on this report can be directed to Cindy Robson on 8930 0528 or email c.robson@darwin.nt.gov.au

ATTACHMENTS

- Attachment A:** Incoming letter from Department of Lands and Planning – Proposed Exceptional Development Application.
- Attachment B:** Map showing the area
- Attachment C:** Outgoing letter to Development Consent Authority - Portion 1263 (540) Tiger Brennan Drive – Proposed Heliport

Northern
Territory
GovernmentDEPARTMENT OF
LANDS AND PLANNING

www.dlp.nt.gov.au

Our Ref: PA2011/0804

Darwin City Council
GPO Box 84
DARWIN NT 0801
dcc@darwin.nt.gov.auDevelopment Assessment Services
8th Floor, Cavenagh House
38 Cavenagh Street, Darwin
Postal GPO Box 1680 NT 0801
Tel (08) 8999 6807
Fax (08) 8999 6055
Email das.dpi@nt.gov.au

Dear Sir or Madam,

Proposed Exceptional Development Application

The attached development application has been received for assessment by the consent authority, the Minister for Lands and Planning:

Parcel Description	Portion 01263 Hundred of Bagot
Road/Street	540 TIGER BRENNAN DR
Town Plan Zone	CN (Conservation)
Tenure Type	ESTATE IN FEE SIMPLE
Land Owners	Northern Territory of Australia
Applicant	Department of Natural Resources, Environment, the Arts and Sport
Contact Number	8999 4518
Purpose	Proposed Heliport

The proposal **cannot** be viewed online as it is an Exceptional Development Permit.

Could you please examine the proposal and comment on any aspects pertaining to your area of concern by **Friday, 10th February 2012**. Please note that comments received after the closing date may not be able to be considered by the Minister for Lands and Planning.

If you have access to ILIS please enter your submission online at:
https://www.ilis.nt.gov.au/ilis/l2?pagelid=planning.application&ilis_entity_id=65771320

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period. Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

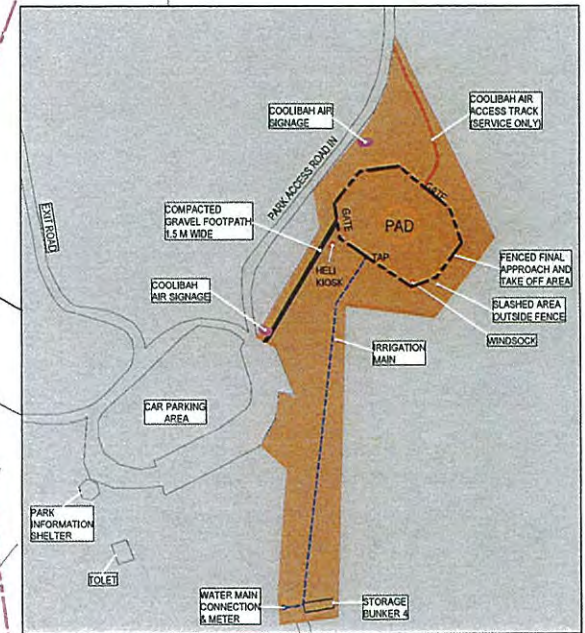
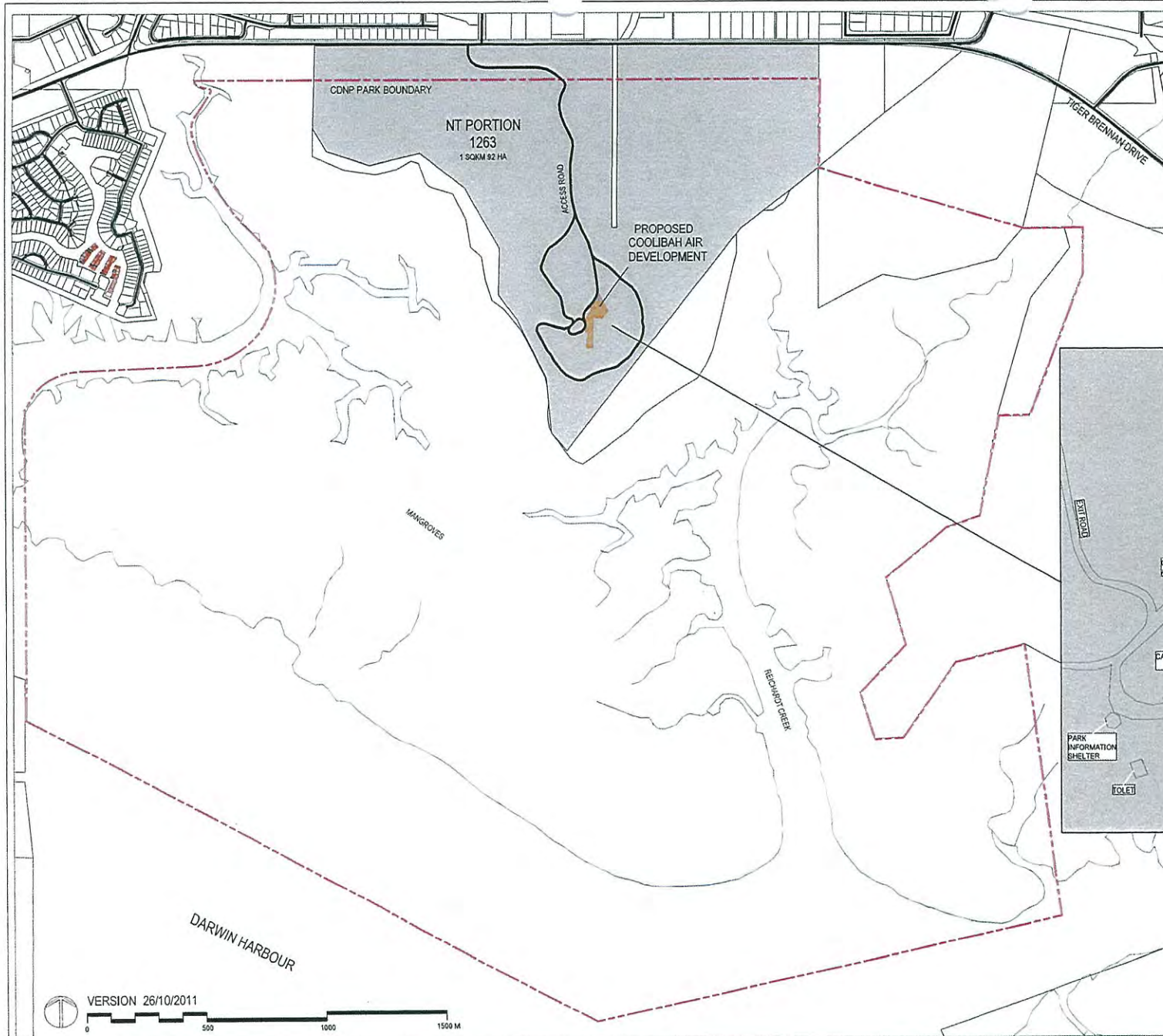
If you wish to secure a third party right of appeal, when it exists, you must specify that the submission is being made under section 49 and ensure that the submission is lodged with the consent authority by 4PM **Friday, 10th February 2012** which is the closing date for public exhibition.

Should you require further information on this proposal please contact me on 8999 6807.

Yours faithfully

for Steven Conn
Development Assessment Services
13 January 2012

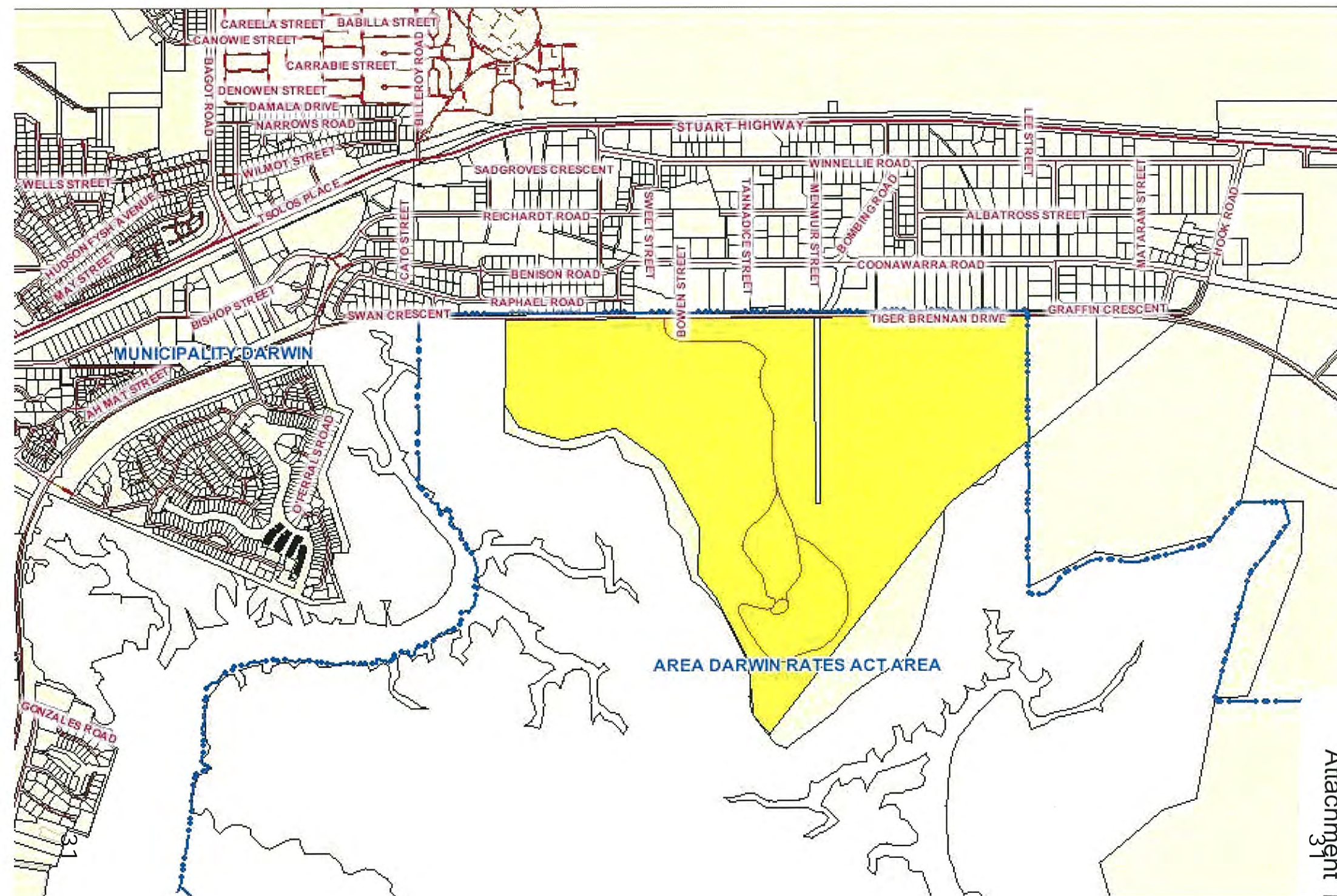
COOLIBAH AIR EDP APPLICATION ATTACHMENT B



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VERSION 26/10/2011
0 500 1000 1500 M





Please quote: 2167 352 WS:fh
Your reference: PA2011/0804

10 February 2012

Steve Conn
Development Assessment Services
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Steve

REVISED

Parcel Description: Portion 1263 (540) Tiger Brennan Drive, Hundred of Bagot

Proposed Development: Proposed Heliport

Thank you for the application for an Exceptional Development Permit referred to this office 13 January 2012, concerning the above.

The following issues are raised for consideration by the Authority:

- i). **Council supports in principle the granting of a Development Permit and brings the following issues to the attention of the Authority:**
 - a). The application does not include details to assess how loud a helicopter is likely to be when landing at the subject site. The application provides no information on the potential noise impacts of a heliport to the surrounding areas, particularly as it may affect the residential suburb of Bayview and the industrial area of Winnellie, as well as the relaxing and scenic nature of the Charles Darwin National Park area. The presence of Tiger Brennan Drive and the level of traffic noise that arterial road carries may already be impacting upon the amenity of the industrial area of Winnellie. The effect of the addition of the noise from the helicopter flights is unclear. Additionally, the effect of the noise on the amenity of the park itself is unclear. The City of Darwin requests that any approved development be in accordance with the regulations of the responsible authority regarding acceptable noise levels over the suburb of Bayview and the nearby industrial area of Winnellie.
 - b). No detailed information on approach paths has been provided. It is unclear how the approach paths may impact upon the residential suburb of Bayview, as well as the industrial areas of Winnellie. It is also questioned how the flight paths will not overfly public recreation

.../2

-2-

areas if the heliport is located within the National Park recreation area. Advice gathered during previous heliport proposal investigations is that, two approach paths at 180 degrees of separation is ideally required to allow for an alternative landing approach path during windy conditions. Council recommends suitable measures be put into place by the relevant authorities to protect the amenity of the suburb of Bayview and the nearby industrial areas of Winnellie.

- c). The applicant has not specified any measures to reduce the dust generated by both the helicopter and vehicular traffic. While the site is outside of City of Darwin boundaries, it is noted that suitable measures should be put into place to control dust generated by the proposed use, to the satisfaction of the relevant authorities.
- d). The applicant has indicated that no fuel will be stored on the site. The applicant has not addressed how helicopters using the site anticipate refuelling. While the site is outside of City of Darwin boundaries, it is noted suitable means of off-site refuelling should be addressed by the relevant authorities.
- e). It is considered that at a minimum, a shaded and sheltered waiting area may be required for users of the heliport, particularly for tourists, the target market. The suitability of utilising the existing car parking and ablution facilities currently provided for the users of Charles Darwin National Park has also not been explored. While the site is outside of City of Darwin boundaries, it is noted the issue of provisions of appropriate facilities to service users of the site should be suitably addressed by the relevant authorities.
- f). No details have been provided on waste management for the site. While the site is outside of City of Darwin boundaries, it is noted that this area should be addressed by the relevant authorities.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please contact Cindy Robson on 8930 0528.

Yours faithfully

DROSSO LELEKIS
MANAGER DESIGN, PLANNING & PROJECTS

cc: Department of Natural Resources, Environment, the Arts and Sport.

TOWN PLANNING COMMITTEE MEETING / OPEN**AGENDA ITEM: 10.3**

SUBJECT: EXCEPTIONAL DEVELOPMENT APPLICATION FOR LOT 6682 (37) KALYMNOS DRIVE TOWN OF SANDERSON - PROPOSAL:- SHADE STRUCTURE ADDITION - PA2011/0774

REPORT NO. 12TS0018 WS:fh**COMMON NO.** 2166580**DATE:** 07/02/2012**Presenter:** Drosso Lelekis**Approved:** Luccio Cercarelli**PURPOSE**

The purpose of this report is to refer to Council for comment, pursuant to Section 48 of the Planning Act, the following Exceptional Development Application for Lot 6682 (37) Kalymnos Drive Town of Sanderson (**Attachment A**). The following report addresses relevant Council issues and recommends that Council endorse comments provided to the Development Consent Authority by staff.

LINK TO STRATEGIC PLAN

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

- Goal:** 1. Achieve effective partnerships and engage in collaborative relationships.
- Outcome:** 1.1 Improve relations with all levels of Government.
- Key Strategies:** 1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin.

KEY ISSUES:

- The shade structure does not meet setback and landscaping requirements, and therefore an Exceptional Development Permit is required for the development.
- The shade structure is existing.

The structure does not meet the requirement of a 5m setback from the boundary and landscaping to a depth of 3m. In this instance, the reduction is considered acceptable, as the proposal is for a roofed shade structure only, with no sides and only supporting columns. The structure will also benefit the users of the shopping centre by providing shade and shelter from the elements that is much needed in the Darwin climate.

RECOMMENDATIONS:

THAT the Committee resolve under delegated authority:-

- THAT Report Number 12TS0018 WS:fh entitled Exceptional Development Application for Lot 6682 (37) Kalymnos Drive Town of Sanderson for a Shade Structure Addition - Pa2011/0774, be received and noted.
- THAT Council endorse the letter to the Reporting Body in **Attachment B** to Report Number 12TS0018 WS:fh be endorsed.

PAGE: 2
 REPORT NUMBER: 12TS0018 WS:fh
 SUBJECT: EXCEPTIONAL DEVELOPMENT APPLICATION FOR LOT 6682 (37)
 KALYMNOS DRIVE TOWN OF SANDERSON - PROPOSAL:- SHADE
 STRUCTURE ADDITION - PA2011/0774

BACKGROUND

A permit for the redevelopment of the Karama Shopping Centre was granted in 2005. Construction was undertaken in 2008 and during that time, an additional shade structure over a portion of the car parking area was added to the design. This structure does not meet the setback requirements of the NT Planning Scheme. The site has also not provided the landscaping required by the NT Planning Scheme for the commercial site adjacent to residential development. An Exceptional Development Permit is requested for the shade structure addition.

DISCUSSION

Applicant: Joondanna Investments Pty Ltd

Site Description:

The subject site is the site of the Karama Shopping Centre. The site has recently been redeveloped and new shade structures have been added over portions of the car parking area. The subject site is zoned Commercial. The site adjoins property in Zone MD to the north west. Across Koolinda Crescent to the north east, the area is also within Zone MD (Multiple Dwelling Residential). Across Kalymnos Drive to the south east, the area is within Zone MR (Medium Density Residential). Across Karama Crescent to the south west, where the shade structure addition is located, the area is within Zone SD (Single Dwelling Residential). Across from the shade structure addition, there is only one residence that faces the shopping centre. All other residences face other side streets.

Proposal:

The proposal is for a shade structure addition that covers a portion of the car parking area, to provide protection for customers and their vehicles from the sun and rain. The shade structure is proposed to be 0.65m from the boundary. Proposed landscaping consists of grassing the area between the property boundary and the edge of the car park, providing approximately 1.2m of landscaping. No information on the effects of stormwater drainage due to the additional shade structure is provided.

Assessment:

NT Planning Scheme Clause 8.3 specifies Setbacks from Commercial Uses Adjacent to Land in Zones SD, MD, MR or HR. The purpose of the clause is to protect the visual and acoustic amenity of residential buildings where they are adjacent to non-residential uses. The required setback is not less than 5m. The setback is to be landscaped to provide a visual screen to the adjacent land Zoned SD, MD, MR or HR for a minimum depth of 3m. The development is also to provide a solid screen fence of a minimum height of 1.8m at the boundary with land in Zones SD, MD, MR or HR.

The proposal does not meet the setback and landscaping requirements of the NT Planning Scheme; therefore, an Exceptional Development Permit is required to approve the development.

PAGE: 3
 REPORT NUMBER: 12TS0018 WS:fh
 SUBJECT: EXCEPTIONAL DEVELOPMENT APPLICATION FOR LOT 6682 (37)
 KALYMNOS DRIVE TOWN OF SANDERSON - PROPOSAL:- SHADE
 STRUCTURE ADDITION - PA2011/0774

While the proposed structure does not meet the setback requirement of 5m from the boundary, in this instance, the reduction is considered acceptable, as the proposal is for a roofed shade structure only, with no sides and only supporting columns. The structure will also benefit the users of the shopping centre by providing shade and shelter from the elements that is much needed in the Darwin climate.

The proposed structure also does not meet the landscaping requirements of a visual screen and landscaping to a depth of 3m. The proposal does provide low level landscaping of approximately 1.2m in depth. It is considered that the low level landscaping provided is more appropriate to screen a car parking area than dense screening vegetation, in order to provide safety measures and surveillance to the parking area. It is also considered that dense landscaping immediately bordering a car parking area could actually create a hazard when combined with the potential for fire danger from car exhausts, if the vehicle reverses too far into the landscaping.

The applicant should provide stormwater drainage plans to the satisfaction of Council.

CONSULTATION PROCESS

N/A

POLICY IMPLICATIONS

N/A

BUDGET AND RESOURCE IMPLICATIONS

N/A

RISK/LEGAL/LEGISLATIVE IMPLICATIONS

N/A

ENVIRONMENTAL IMPLICATIONS

N/A

COUNCIL OFFICER - DECLARATION OF INTEREST

We the Presenter and Approving Officers declare that we do not have a Conflict of Interest in relation to this matter.

DROSSO LELEKIS
MANAGER DESIGN,
PLANNING & PROJECTS

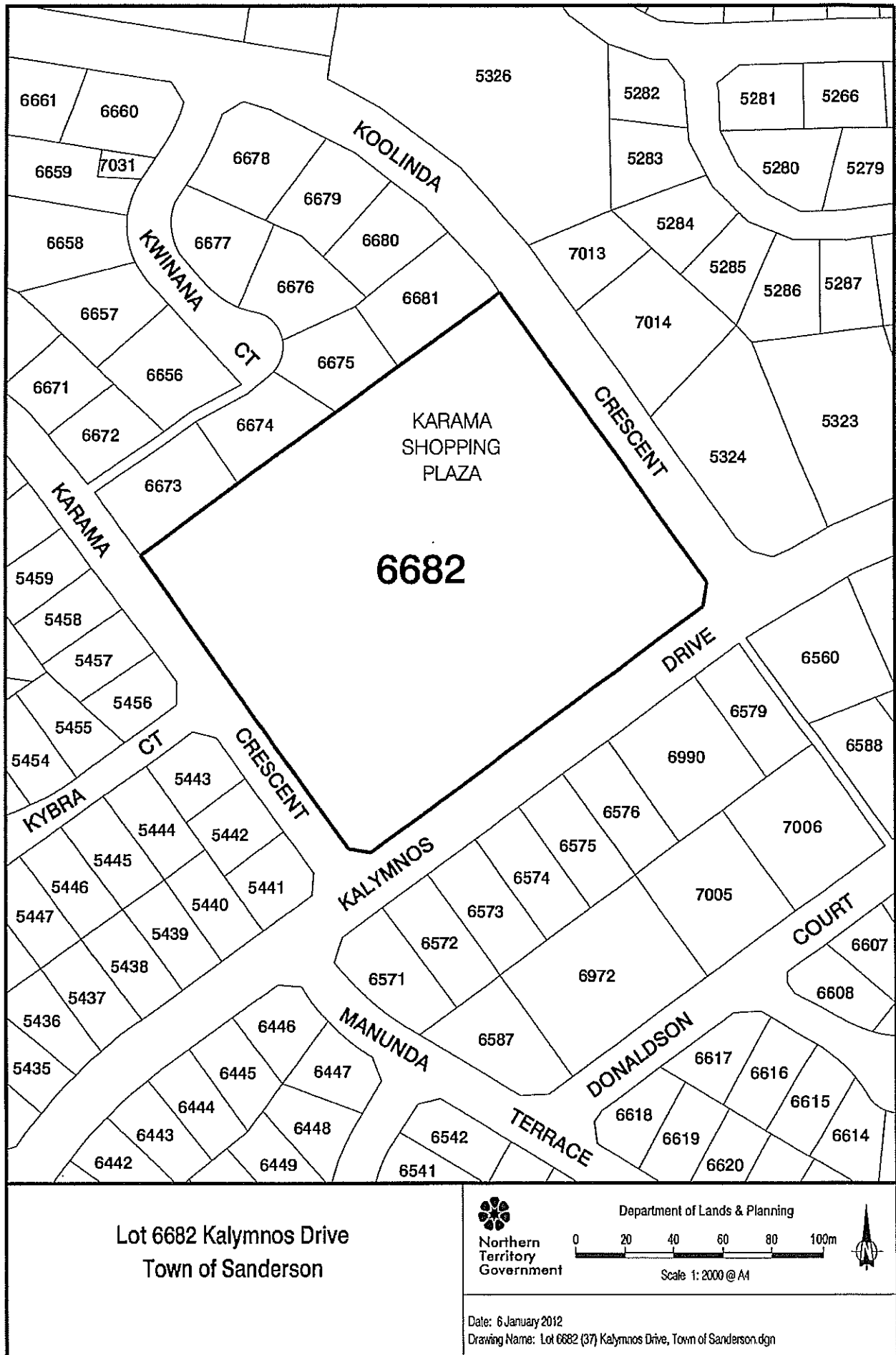
LUCCIO CERCARELLI
GENERAL MANAGER
INFRASTRUCTURE

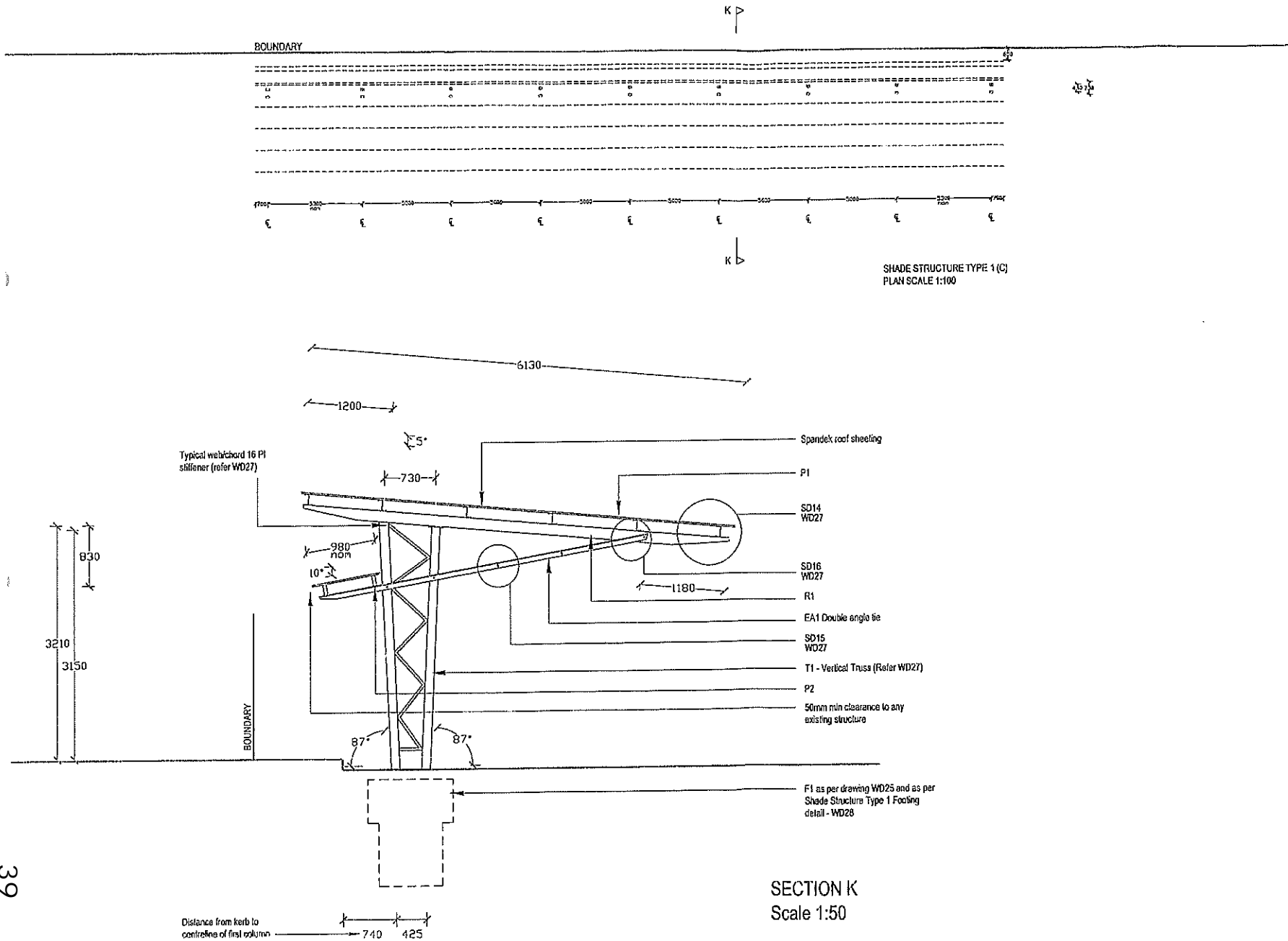
Any queries on this report can be directed to Cindy Robson on 8930 0528 or email c.robson@darwin.nt.gov.au

PAGE: 4
REPORT NUMBER: 12TS0018 WS:fh
SUBJECT: EXCEPTIONAL DEVELOPMENT APPLICATION FOR LOT 6682 (37)
KALYMNOS DRIVE TOWN OF SANDERSON - PROPOSAL:- SHADE
STRUCTURE ADDITION - PA2011/0774

ATTACHMENTS

Attachment A: Lot 6682 (37) Kalymnos Drive Town of Sanderson
Attachment B: Outgoing Letter, Lot 6682 (37) Kalymnos Drive Town of Sanderson. Shade structure addition.





- GENERAL NOTES**
1. Verify all dimensions on site prior to building or fabricating materials
 2. Do not scale off drawings for building construction purposes
 3. Any dimensional discrepancies are to be concurred with the project supervisor before proceeding.
 4. All electrical work to be certified by a NT registered electrician
 5. All steel work to be hot dipped galvanised finish
 6. Allow for steelwork shop drawings

SHADE STRUCTURES
Karama Shopping Centre
for JOONDANNA
INVESTMENTS

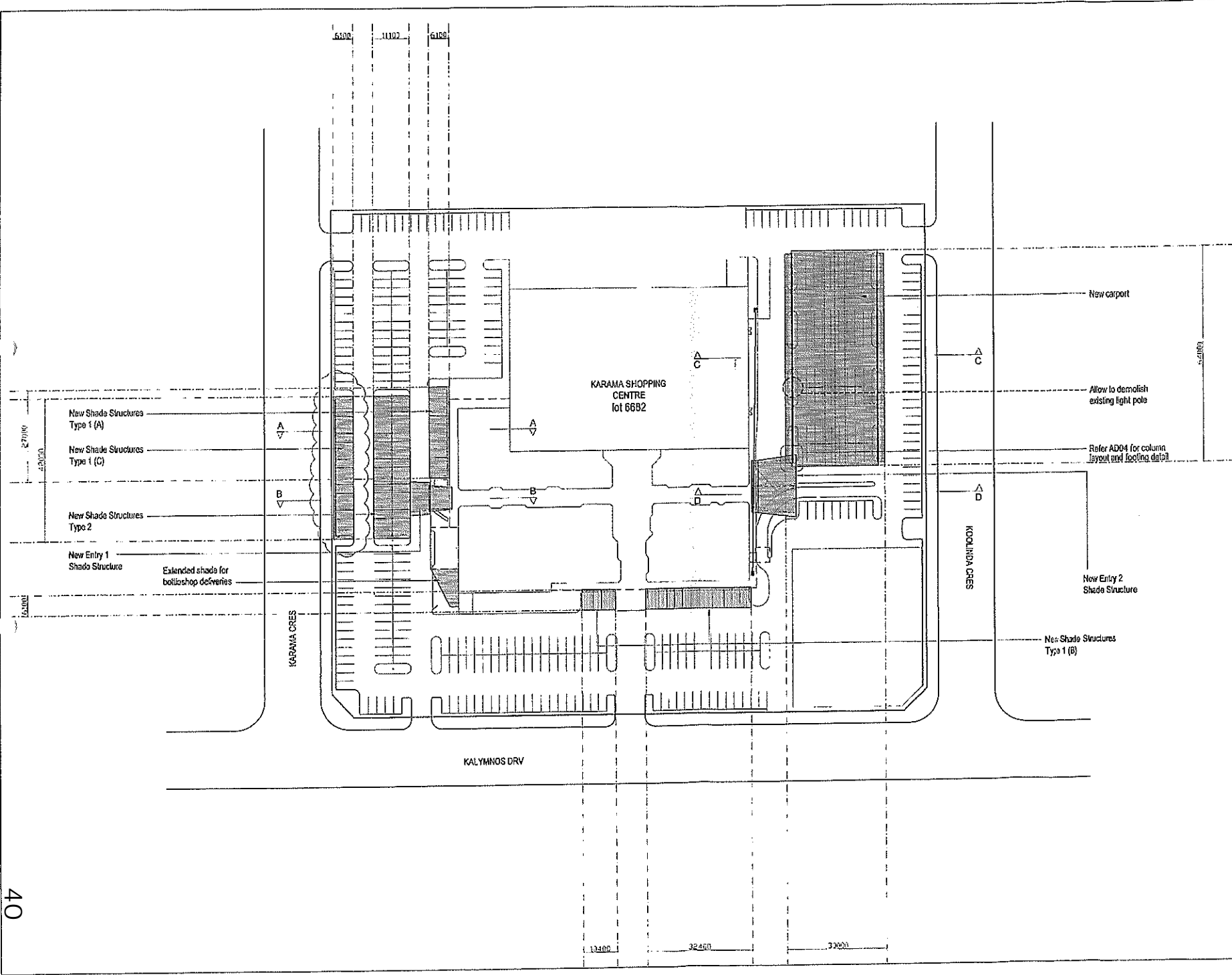
Job No: 510
File No:
Date: 18.01.07



SHADE STRUCTURE TYPE 1 (C)

Issue No	Scale
Dwg No	Issue No
Ad432	

TROPPO ARCHITECTS NT
PO box 483 Darwin NT 0801
Ph: 08915555 F: 08912005





TROPPO ARCHITECTS NT PO box 485 Darwin NT 0801 Ph: 0897550571 0902426			
SHADE STRUCTURES Karama Shopping Centre for JOONDANNA INVESTMENTS		SITE PLAN	
Job No: 510	File No:	Dwg No	Scale
		WD01	1:1000
GENERAL NOTES 1. Verify all dimensions on site prior to building or fabricating materials 2. Do not scale off drawings for building construction purposes 3. Any dimensional discrepancies are to be concurred with the project supervisor before proceeding. 4. All electrical work to be certified by a NT registered electrician 5. All steel work to be hot dipped galvanised finish 6. Allow for steelwork shop drawings			
Date: 16-09-05			



Koolinda Cres



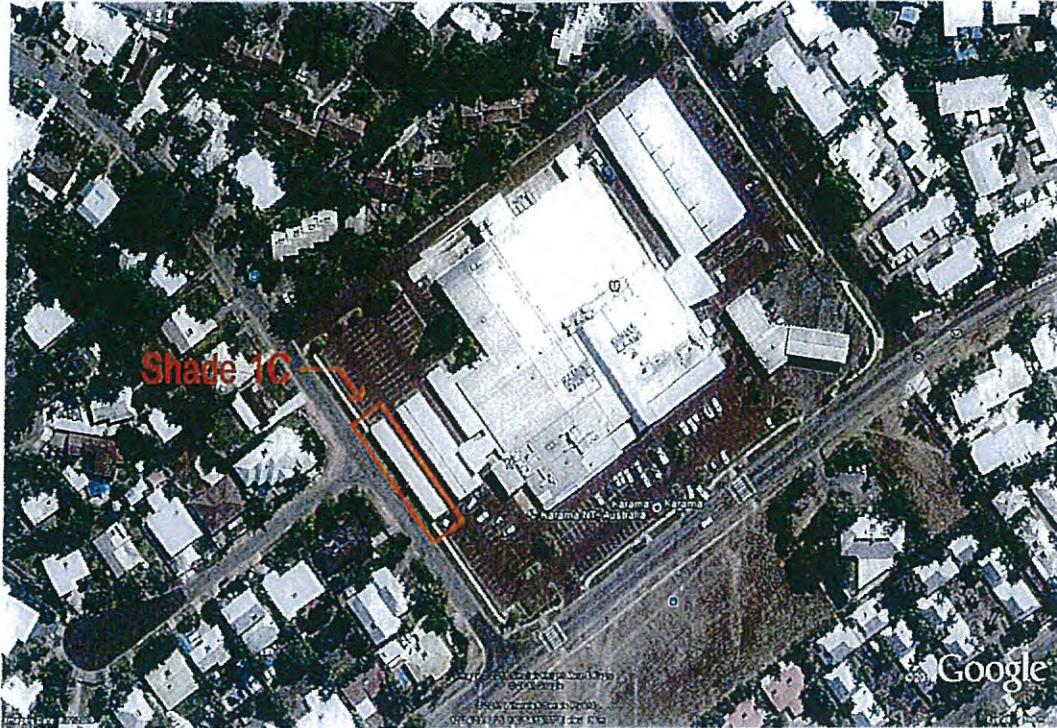


IMAGE 01 – Satellite image

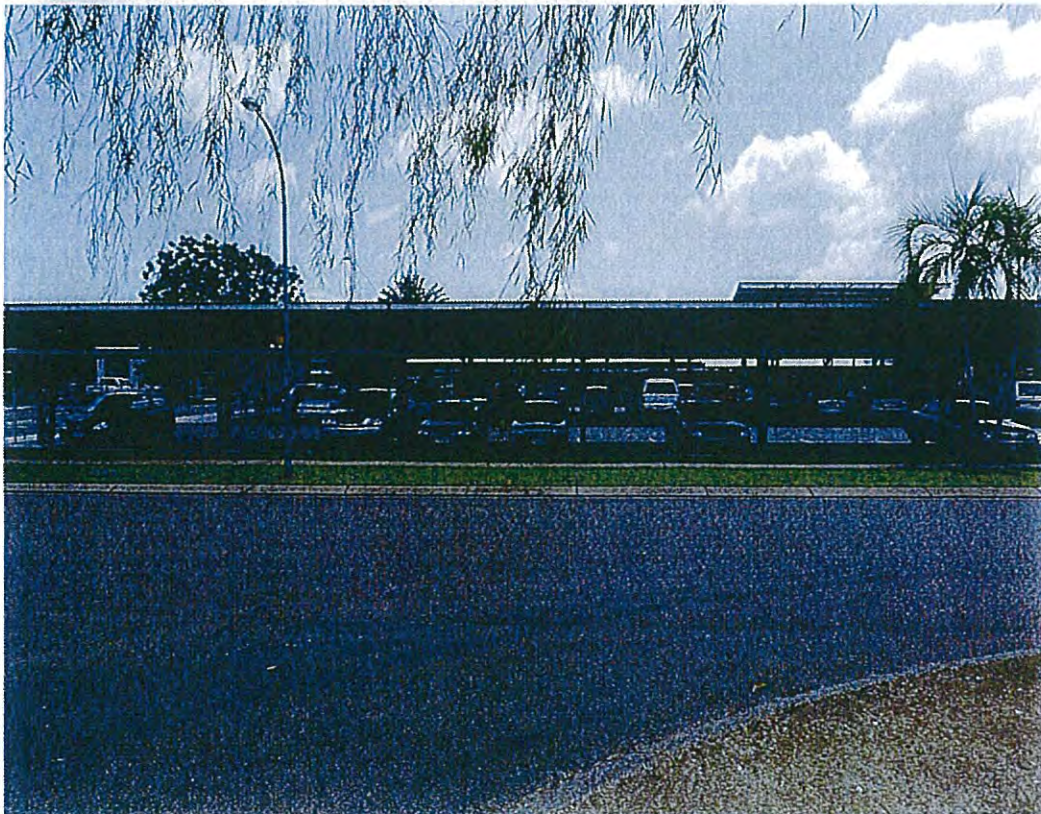


IMAGE 02 – View towards shade from Kybra Crt

Please quote: 2166580 WS:fh
Your reference: PA2011/0774

10 February 2012

Peter Sdraulig - Senior Planner
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Peter

Parcel Description: Lot 6682 (37) Kalymnos Drive Town of Sanderson.
Proposed Development: Shade structure addition.

Thank you for the Exceptional Development Application referred to this office 11 January 2012, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

i). Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:

- a) Council would not normally support reductions for required setbacks and landscaping. However, it is recognized that for the development proposed, safety and security measures may be enhanced by reducing the amount of dense landscaping required in this location. Also, the shade structure is open to all sides and provides only a roof over existing car parking, which will provide shade and shelter benefits to the users of the site while the open nature of the structure will not reduce the amenity of neighbouring properties, in accordance with the clauses of the NT Planning Scheme.

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- b). **Council requests the Authority requires a schematic plan demonstrating all stormwater to be collected on the site and discharged underground to Council's stormwater drainage system.** The applicant's plans do not demonstrate how on-site stormwater will be collected and discharged underground to Council's drainage network.

.../2

- 1). The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected to Council's system.
- 2). Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into Council's stormwater drainage system. It is also necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

Development

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.
- Car parking spaces and internal driveways shall meet the requirements of the relevant Australian Standard and be linemarked and sealed with an impervious material.
- The total number of required disabled car parking bays shall be met on site.
- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.
- Any proposed signage for the site shall be subject to a separate assessment in accordance with Darwin City Council Policy Number 42 – Outdoor Advertising Signs Code.

In considering this application, the Reporting Body is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please contact Cindy Robson on 8930 0528.

Yours faithfully

DROSSO LELEKIS
MANAGER DESIGN, PLANNING & PROJECTS

cc: Joondanna Investments Pty Ltd

OPEN SECTION

PAGE

TP2/4

Town Planning Committee Meeting – Tuesday, 7 February 2012**11 INFORMATION ITEMS****11.1 Various Letters sent to Development Assessment Services under Delegated Authority**
Common No. 1962248**COMMITTEE'S DECISION**

THAT the Committee resolve under delegated authority that the following letters sent to Development Assessment Services, be received and noted:-

- i) Lot 8849 (23) Brinkin Terrace Town of Nightcliff. Proposed Development: Garage addition to an existing single dwelling with a reduced side setback – Common Number 2174236WS:fh dated 27 January 2012.

DECISION NO.20\() (07/02/12)

Please quote: 2174236 WS:fh
Your reference: PA2011/0926

27 January 2012

Doug Lesh
Manager Urban Planning
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

Parcel Description: Lot 8849 (23) Brinkin Terrace Town of Nightcliff.
Proposed Development: Garage addition to an existing single dwelling with a reduced side setback.

Thank you for the Development Application referred to this office 25 January 2012, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

- i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**
- a). Council does not normally support reductions in setbacks; however, due to the constraints provided by the location of existing development on the subject lot, the limited area for which the reduced setback is proposed, and the limited impact of the setback reduction on the neighbouring property, the reduced setback can be considered acceptable in this instance.

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- ii). **Council requests the Authority requires a schematic plan demonstrating that stormwater run-off is capable of being discharged across the lot surface to the main drainage system or to an approved alternate connection.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged to Council's drainage network.
- a). Council stormwater discharge guidelines do not allow concentrated discharge of stormwater from a Single Dwelling lot to adjoining properties or the road reserve. All stormwater is to be piped or dispersed via sheet flow to the road reserve.

.../2

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.


Development

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.
- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the General Manager Infrastructure, Darwin City Council and at no cost to Council.
- Kerb crossovers and driveways to the site shall be provided and disused crossovers removed, public footpath and cycleways shall be provided, stormwater shall be collected and discharged into Council's drainage network, and reinstatement works carried out, all to the requirements and satisfaction of the General Manager Infrastructure, Darwin City Council and at no cost to Council.
- Car parking spaces and internal driveways shall meet the requirements of the relevant Australian Standard and be linemarked and sealed with an impervious material.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

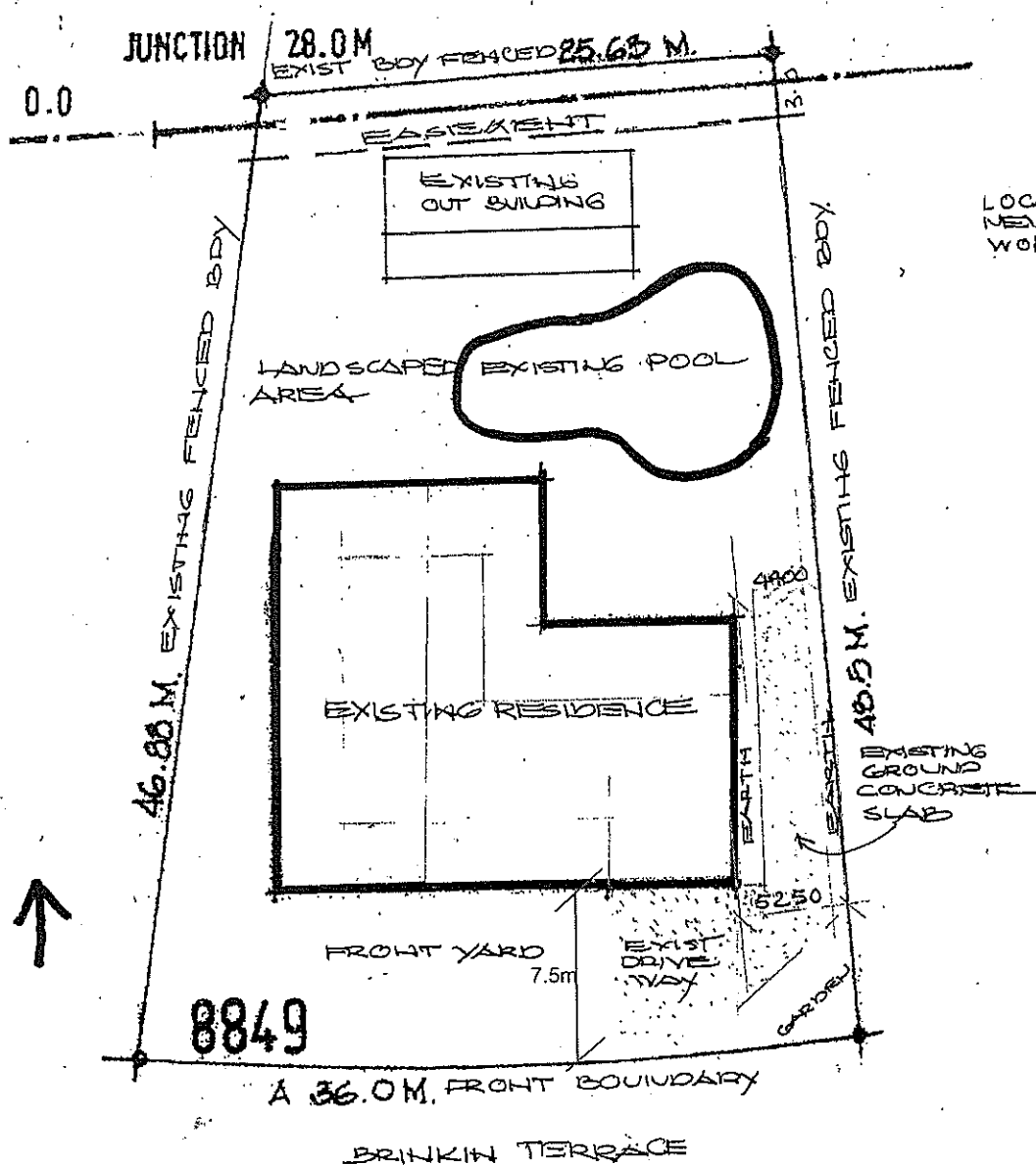
If you require any further discussion in relation to this application please contact Cindy Robson on 8930 0528.

Yours faithfully



DROSSO LELEKIS
MANAGER DESIGN, PLANNING & PROJECTS

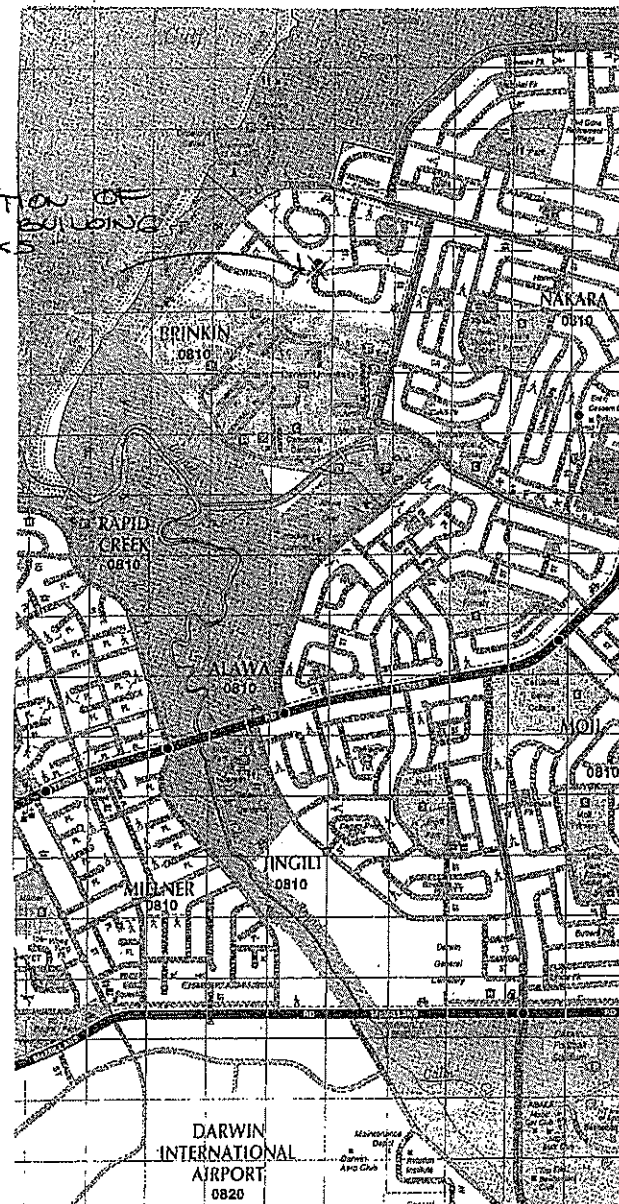
cc: Ms Annette Joseland



SITE PLAN

SCALE: NTS

LOCATION OF NEW BUILDING WORKS



LOCALITY PLAN

THE PRACTICE
PATRICK FLYNN



building designer
building consultant
interior architect
(CANADA)

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BUILDING CERTIFIER

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CLIENT

MR. PETER HAMILTON
23 BRINKIN TERRACE LOT NO. 8849
BRINKIN N.T. 0810

PROJECT ADDRESS

MR. PETER HAMILTON
23 BRINKIN TERRACE LOT NO. 8849
BRINKIN N.T. 0810

PROJECT DESCRIPTION

NEW BOAT STORE AND LOCKUP
ATTACHED TO EXISTING RESIDENCE

DRAWING DESCRIPTION
SITE PLAN
LOCALITY PLAN

NUMBER AMENDMENT DAT

DRAWN BY: PATRICK FLYNN
SCALE: AS SHOWN

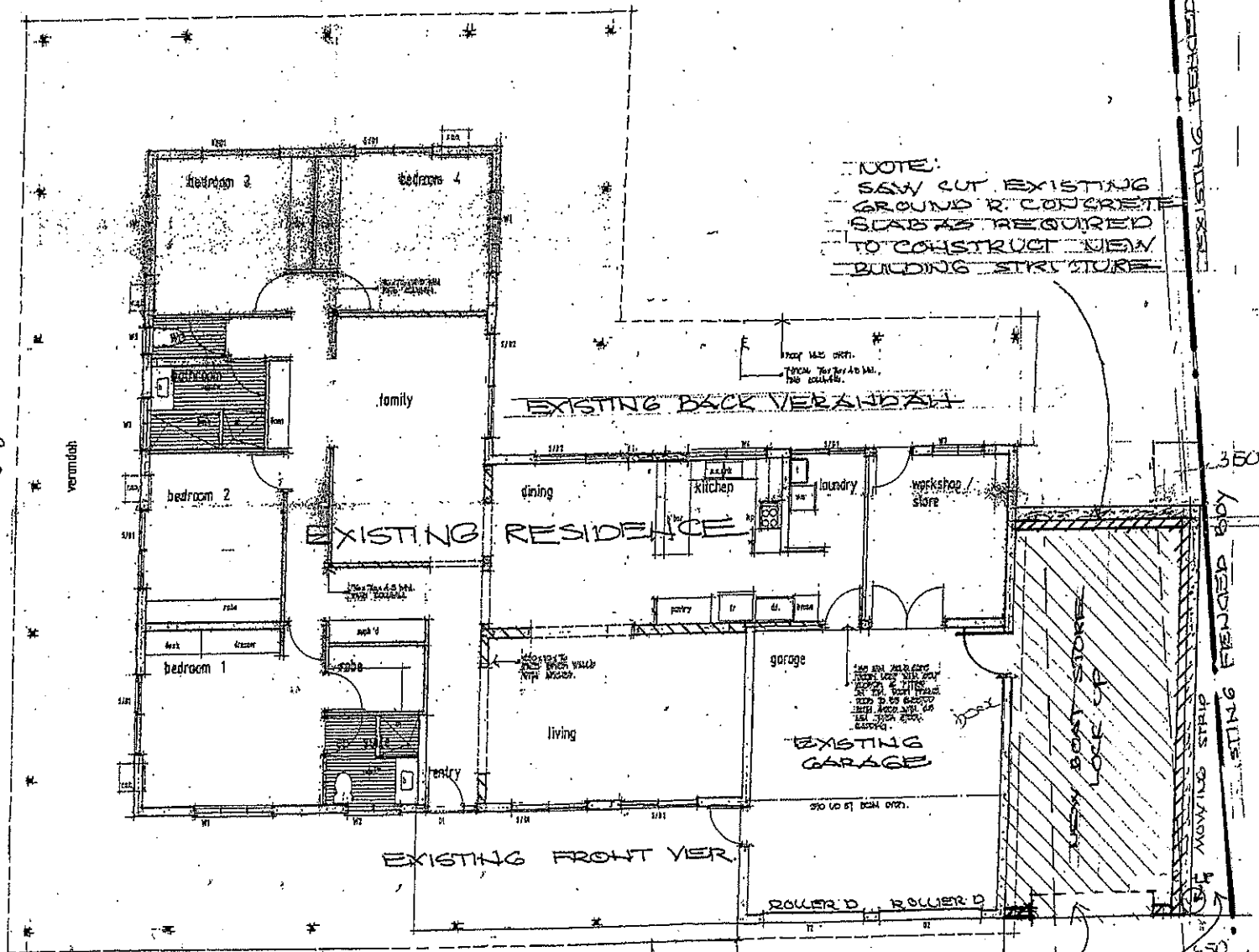
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DATE: NOVEMBER 12, 2011
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CONSTRUCTION DRAWING
FOR CONSTRUCTION
NOVEMBER 12, 2011

FENCED / LANDSCAPED
BACK YARD

FENCED /
LANDSCAPED
FRONT YARD



THE PRACTICE
PATRICK FLYNN



building designer
building consultant
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PROJECT ADDRESS

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23 BRINKIN TERRACE LOT NO. 8849
BRINKIN N.T. 0810

PROJECT DESCRIPTION

NEW BOAT STORE AND LOCKUP
ATTACHED TO EXISTING RESIDENCE

DRAWING DESCRIPTION

DEMOLITION FLOOR PLAN

NUMBER AMENDMENT DATE

DRAWN SCALE
PATRICK FLYNN AS SHOWN

DRAWING No. DATE REVISION
PF-29BUYO NOVEMBER 12, 2011

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OPEN SECTION

PAGE

TP2/4

Town Planning Committee Meeting – Tuesday, 7 February 2012

12 GENERAL BUSINESS