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DARWIN CITY COUNCIL

TOWN PLANNING COMMITTEE

WEDNESDAY 1 SEPTEMBER 2010

MEMBERS: Member H I Galton (Chairman); The Right Worshipful, Lord Mayor, Mr G R Sawyer; Member J D Bailey; Member R T Dee; Member R K Elix; Member R M Knox; Member G A Lambert; Member R Lesley; Member F P Marrone; Member A R Mitchell; Member K M Moir; Member J L Sangster; Member H D Sjoberg.

OFFICERS: Chief Executive Officer, Mr B Dowd; General Manager Infrastructure, Mr L Cercarelli; Executive Manager, Mr M Blackburn; Strategic Town Planner, Miss C Robson; Graduate Planner, Rick Burgess; Executive Officer, Miss A Smit.

Enquiries and/or Apologies: Arweena Smit
E-mail: a.smit@darwin.nt.gov.au - PH: 89300 685

Committee's Responsibilities

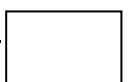
The Council assigns the following functions to the Committee for the purpose of consideration and decisions as follows:

- * All Development Applications referred from the Development Consent Authority
- * All Town Planning related matters referred from the NT Government
- * Town Planning Strategy, Policies and Procedures
- * Development Application and Town Planning Matters referred to Council from Developers, Community Groups and Individuals
- * Signage Applications, Policies and Procedures
- * Liquor Licence Applications

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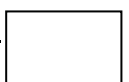


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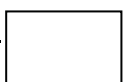
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Town Planning Committee Meeting – Wednesday, 1 September 2010**1 MEETING DECLARED OPEN****2 APOLOGIES AND LEAVE OF ABSENCE****2.1 Apologies****2.2 Leave of Absence Granted**

- A. THAT it be noted that The Right Worshipful, The Lord Mayor, Mr G R Sawyer is an apology due to a Leave of Absence being previously granted on 17 August 2010 for the period 25 August to 4 September 2010.
- B. THAT it be noted that Member G A Lambert is an apology due to a Leave of Absence being previously granted on 13 July 2010 for the period 1 - 30 September 2010.
- C. THAT it be noted that Member H D Sjoberg is an apology due to a Leave of Absence being previously granted on 17 August 2010 for the period 26 August 2010 to 1 September 2010
- D. THAT it be noted that Member F P Marrone is an apology due to a Leave of Absence being previously granted on 17 August 2010 for the period 23 August 2010 to 4 September 2010.

DECISION NO.20\() (01/09/10)

3 ELECTED MEMBERS CONFLICT OF INTEREST DECLARATION

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Town Planning Committee Meeting – Wednesday, 1 September 2010**4 CONFIDENTIAL ITEMS**

Nil

5 WITHDRAWAL OF ITEMS FOR DISCUSSION**5.1 Items Withdrawn by Staff****COMMITTEE'S DECISION**

THAT the Committee resolve under delegated authority that the following items withdrawn by staff as Items of Significance, be considered:

DECISION NO.20\() (01/09/10)

5.2 Items Withdrawn by Members**COMMITTEE'S DECISION**

THAT the Committee resolve under delegated authority that Information Items and Officers Reports to the Town Planning Committee Meeting held Wednesday, 1 September 2010, be received and all recommendations contained therein be adopted by general consent with the exception of Item Numbers:

DECISION NO.20\() (01/09/10)



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TP9/6

Town Planning Committee Meeting – Wednesday, 1 September 2010

6 CONFIRMATION OF MINUTES PERTAINING TO THE PREVIOUS TOWN PLANNING COMMITTEE MEETING**COMMITTEE'S DECISION**

THAT the Committee resolve that the minutes of the previous Town Planning Committee Meeting held on Wednesday, 4 August 2010, tabled by the Chairman, be confirmed.

DECISION NO.20\() (01/09/10)

7 BUSINESS ARISING FROM THE MINUTES PERTAINING TO THE PREVIOUS TOWN PLANNING COMMITTEE MEETING**7.1 Business Arising****8 DEVELOPMENT APPLICATIONS**

Nil

9 GENERAL TOWN PLANNING REPORTS

Nil



ENCL: YES

DARWIN CITY COUNCIL**DATE:** 02/08/10**REPORT****TO:** TOWN PLANNING COMMITTEE MEETING
OPEN B**APPROVED:** CR**FROM:** GENERAL MANAGER INFRASTRUCTURE**APPROVED:** DL**REPORT NO:** 10TS0148 CR:sv**APPROVED:** LC**COMMON NO:** 1851184**SUBJECT:** DEVELOPMENT APPLICATION: LOT 5409 AND PART LOTS 6645 & 5629, (40 & 64) WOOLNER ROAD, WOOLNER AND (216) TIGER BRENNAN DRIVE, WOOLNER, TOWN OF DARWIN PROPOSED DEVELOPMENT: REZONE FROM ZONE MD (MULTIPLE DWELLING RESIDENTIAL) TO ZONE C (COMMERCIAL) AND ZONE PM (PROPOSED MAIN ROAD)**ITEM NO:** 10.1**SYNOPSIS:**

A Development Application (**Attachment A**) for Lot 5409 and Part Lots 6645 & 5629, (40 & 64) Woolner Road, Woolner and (216) Tiger Brennan Drive, Woolner, Town Of Darwin has been referred to Council for comment pursuant to Section 48 of the Planning Act. The following report addresses relevant Council issues and recommends that Council endorse comments provided to the Development Consent Authority by staff.

GENERAL:**Applicant:** Crown**Zone:** MD (Multiple Dwelling Residential) **Area:** Not Specified**Proposal:** To Amend the Northern Territory Planning Scheme by rezoning Lot 5409 and Part Lots 6645 & 5629, (40 & 64) Woolner Road from Zone MD (Multiple Dwelling Residential) to Zone C (Commercial) and Zone PM (Proposed Main Road).**History:** No previous applications have been lodged over the subject allotments, however, there is a history in relation to the adjoining road reserves. The old Woolner Road reserve running down the western boundary of the site was closed to realign the Woolner Road and Tiger Brennan intersection.

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 REPORT NO: 10TS0148 CR:sv
 SUBJECT: DEVELOPMENT APPLICATION: LOT 5409 AND PART LOTS 6645 & 5629, (40 & 64) WOOLNER ROAD, WOOLNER AND (216) TIGER BRENNAN DRIVE, WOOLNER, TOWN OF DARWIN PROPOSED DEVELOPMENT: REZONE FROM ZONE MD (MULTIPLE DWELLING RESIDENTIAL) TO ZONE C (COMMERCIAL) AND ZONE PM (PROPOSED MAIN ROAD)

Site and Surrounds

The subject site is identified as allotment Lot 5409 and Part Lots 6645 & 5629, commonly known as 40 & 64 Woolner Road, Woolner and (216) Tiger Brennan Drive, Woolner (including the old Woolner Road reserve running down the western boundary). The site is a triangular shape, defined by the Tiger Brennan Drive and Woolner Road reserves. It is currently zoned MD (Multiple Dwelling Residential) but currently remains undeveloped. The northern portion of lot 6645 is predominantly cleared and grassed. The southern portion of the site contains remnant vegetation including mangrove and tidal species.

The surrounding area contains a variety of zones including SD (Single Dwelling Residential), PS (Public Open Space), U (Utilities), MR (Medium Density Residential), M (Main Road), PM (Proposed Main Road), CN (Conservation), MD (Multiple Dwelling Residential) and CP (Community Purpose).

The northern portion of lot 6645 is relatively level ground as a result of previous fill being placed on the site. The southern portion of the site is low lying, seasonally inundated land, which is identified as being within the primary storm surge zone.

Matters to be taken into account (pursuant to Section 51 of the NT Planning Act 1999):

Northern Territory Planning Scheme:

The desired future character for the subject site and locality has not been defined by the Northern Territory Planning Scheme other than describing the uses permitted by the current specified zoning. The MD zone specifies that the following are permitted uses:

- Business sign,
- Dependant unit,
- Group home
- Home based contracting
- Home occupation
- Multiple dwelling

The following uses have been specified to be discretionary uses within the SD zone:

- Bed and breakfast accommodation
- Community centre
- Home based childcare centre
- Medical consulting rooms
- Supporting accommodation.

All uses other than those listed as permitted or discretionary are prohibited from the SD Zone.

In comparison the proposed zoning change to C for the subject site includes the uses listed below:

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- Business sign
- Caretaker's residence
- Home occupation

The following uses have been specified to be discretionary uses within the SD zone:

- Car park
- Child care centre
- Community centre
- Hostel
- Hotel
- Leisure and recreation
- Licensed club
- Medical clinic
- Medical consulting clinics
- Motel
- Place of worship
- Plant nursery
- Promotional sign
- Restaurant
- Service station
- Shop
- Showroom sales
- Supporting accommodation
- Vehicle sales and hire
- Veterinary clinic

The development potential of the subject site zoned MD allows for one dwelling per 300m² and not constructed to a height greater than two stories or 8.5m. Should the application to rezone the land be successful, the development potential of the subject site will allow for the above listed uses.

Without strategic direction nor criteria in which to assess the rezoning of a parcel of land, the basis for a decision would take into consideration the pattern of development in the locality, the services and facilities that are provided or are capable of being provided as well as accessibility to and from the site given the likely future nature of development for the site.

It is anticipated that development of the subject site to its maximum capacity as specified in the Northern Territory Planning Scheme may place pressures or demands on Council's existing road network, servicing and infrastructure in the general locality of the site.

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Disability Discrimination Legislation:

Disability Discrimination Act issues are addressed under the Building Act requirements. Council places a statement of support for equal opportunity on all responses.

Council Issues:

Master Plan

The scheme amendment provides no detail of how the proposed commercial use will integrate with existing land uses and road networks to the south and west of the site. It is recommended that a Master Plan for the area between Woolner Road to the north, Ashley Street to the south and the remainder of the undeveloped land to the west be provided to Council prior to further comment being provided.

Preparation of a Master Plan will enable infrastructure needs and capabilities for future development in the network to be assessed by service authorities.

In particular, the development of the subject site for commercial purposes raises the opportunity for improved road connectivity in the general locality. It is recommended that at a minimum, a new road connection be made from Ashley Street, curving up to and along the old Woolner Road alignment, and integrating into the existing round-about at the north west corner of the site. A connection here will provide an alternative access to Tiger Brennan Drive (via a controlled intersection) for the existing school to the west of the site whilst also connecting the residential areas to the south and west to the proposed commercial uses at the site.

Stormwater Drainage

Parts of the site and surrounding undeveloped land are low-lying and act as a seasonal detention basin. Council requests further details demonstrating how development of the site may allow for the upstream drainage catchment to adequately discharge.

Storm surge

The site is located within the Primary and Secondary Storm Surge areas. Without significant mitigation measures being put in place, storm surge is likely to have a devastating effect.

Council is not in a position to be able to assess or propose a method to remedy the effects of storm surge. Council will not support a development within a designated storm surge zone given the potentially devastating outcome.

FINANCIAL IMPLICATIONS:

Nil.

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STRATEGIC PLAN IMPLICATIONS:

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

Goal 1: Achieve Effective Partnerships and Engage in Collaborative Relationships

Outcome

1.1 Improve relations with all levels of Government

Key Strategies

1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin

1.1.5 Influence Government and developers to develop sustainable projects which reflect Darwin's lifestyle

Outcome

1.2 Effectively engage with Community

Key Strategies

1.2.1 Increase involvement of the Business Community for developing solutions to local issues

Goal 2: Enhance Darwin's Active, Positive and Flexible Lifestyle

Outcome

2.1 Improve urban enhancement around Darwin

Key Strategies

2.1.1 Manage and maintain the municipal landscaping and infrastructure to a standard that meets community needs

2.1.4 Provide a clean and liveable municipality

Goal 3: Assist Individuals and the Community Stay Connected with the Darwin Region

Outcome

3.1 Promote the use of public spaces

Key Strategies

3.1.1 Enhance public spaces and encourage greater use by the community

Outcome

3.2 Enhance transport

Key Strategies

3.2.1 Review transport and parking needs systems

3.2.4 Provide parking facilities and management systems which meet the needs of the community.

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 REPORT NO: 10TS0148 CR:sv
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Goal 4: Create and Maintain an Environmentally Sustainable City

Outcome

4.2 Improve water conservation

Key Strategies

4.2.2 Manage and maintain Council's storm water management system.

LEGAL IMPLICATIONS:

This item is not considered "Confidential".

PUBLIC RELATIONS IMPLICATIONS:

Not Assessed.

COMMUNITY SAFETY IMPLICATIONS:

Not Assessed or Nil

DELEGATION:

To the Chief Executive Officer to provide standard Development Permit conditions as appropriate.

CONSULTATION:

Through the Development Application statutory process.

PROPOSED PUBLIC CONSULTATION PROCESS:

Nil

APPROPRIATE SIGNAGE:

Not Applicable.

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REPORT NO: 10TS0148 CR:sv
SUBJECT: DEVELOPMENT APPLICATION: LOT 5409 AND PART LOTS 6645 & 5629, (40 & 64) WOOLNER ROAD, WOOLNER AND (216) TIGER BRENNAN DRIVE, WOOLNER, TOWN OF DARWIN PROPOSED DEVELOPMENT: REZONE FROM ZONE MD (MULTIPLE DWELLING RESIDENTIAL) TO ZONE C (COMMERCIAL) AND ZONE PM (PROPOSED MAIN ROAD)

RECOMMENDATIONS:

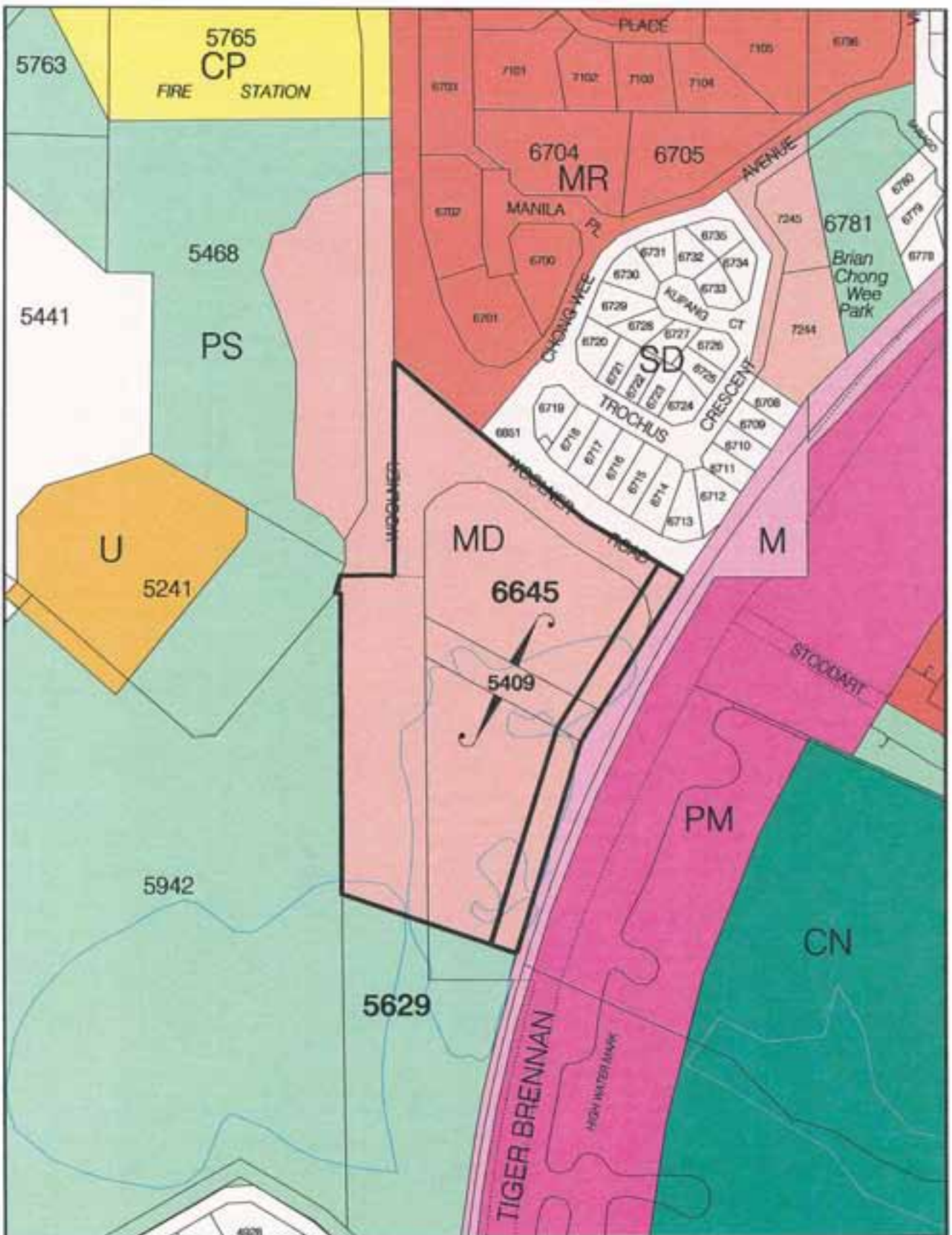
THAT the Committee resolve under delegated authority:-

- A THAT Report Number 10TS0148 entitled, Development Application: Lot 5409 And Part Lots 6645 & 5629, (40 & 64) Woolner Road, Woolner and (216) Tiger Brennan Drive, Woolner, Town of Darwin Proposed Development: Rezone From Zone MD (Multiple Dwelling Residential) To Zone C (Commercial) and Zone PM (Proposed Main Road), be received and noted.
- B THAT the letter to the Development Consent Authority in **Attachment B** to Report Number 10TS0148 be endorsed.

DROSSO LELEKIS
MANAGER
DESIGN, PLANNING AND PROJECTS

LUCCIO CERCARELLI
GENERAL MANAGER
INFRASTRUCTURE

Any queries on this report can be directed to Cindy Robson on 8930 0528 or email c.robson@darwin.nt.gov.au



**EXISTING NT PLANNING SCHEME
 AMENDMENT PA2010/ 0378
 PART LOTS 5629, 6645 and LOT 5409
 TOWN OF DARWIN
 From Zone MD to Zone C and Zone PM**



Northern Territory Government

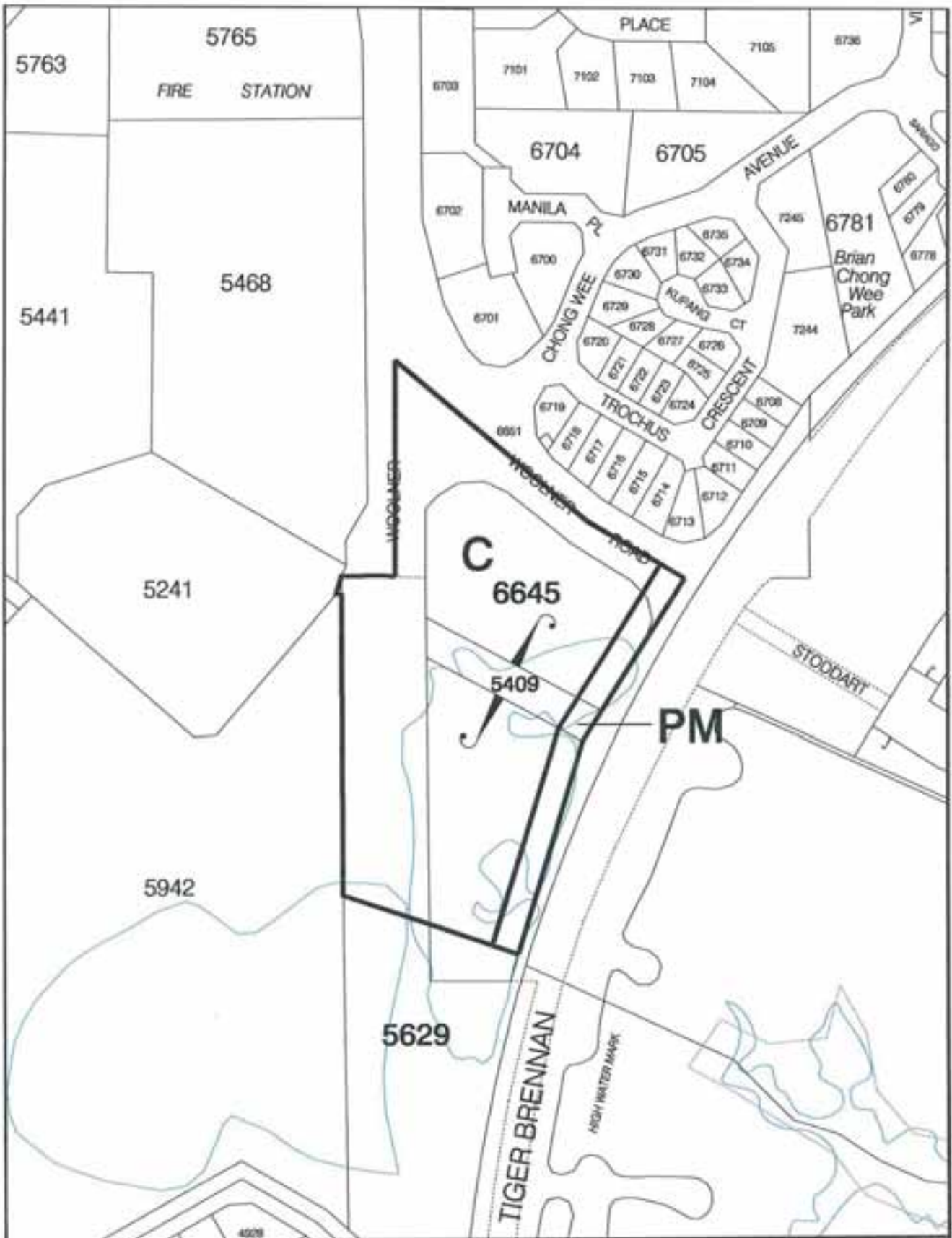
Department of Lands & Planning



Scale 1: 3000 @ A4



File No.: PA2010/0378
 Date: 24-Jun-10
 Drawing Name: PSA Lots 6645 5409 5629 Darwin.dgn



**PROPOSED NT PLANNING SCHEME
AMENDMENT PA2010/ 0378
PART LOTS 5629, 6645 and LOT 5409
TOWN OF DARWIN
From Zone MD to Zone C and Zone PM**



**Northern
Territory
Government**

Department of Lands & Planning



Scale 1: 3000 @ A4



File No.: PA20100378
Date: 24-Jun-10
Drawing Name: PSA Lots 6645 5409 5629 Darwin.dgn

Please quote: 1851184 CR:sv

27 August 2010

Mr Rean Lourens
Senior Planner
Strategic Lands Planning
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Rean

**Proposal to Amend NT Planning Scheme PA2010/0378
Lot 5409 And Part Lots 6645 & 5629, (40 & 64) Woolner Road, Woolner and
(216) Tiger Brennan Drive, Woolner, Town Of Darwin
Proposed Amendment: Rezone From Zone MD (Multiple Dwelling Residential)
To Zone C (Commercial) And Zone PM (Proposed Main Road)**

Thank you for the Planning Scheme Amendment application referred to this office 12 August 2010, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **Council cannot support the application until the following issues are adequately addressed:**

Master Plan

- a) The scheme amendment provides no detail of how the proposed zone will integrate with existing land uses and road networks surrounding the site. Council requests a Master Plan for the area between Woolner Road to the north, Ashley Street to the south and the remainder of the undeveloped land to the west of the site be prepared prior to Council providing its final comments on the proposal.

Preparation of a Master Plan will enable infrastructure needs and capabilities for future development in the network to be assessed by service authorities.

...2/

In particular, the development of the subject site for commercial purposes raises the opportunity for improved road connectivity in the general locality. It is recommended that at a minimum, a new road connection be made from Ashley Street, curving up to and along the old Woolner Road alignment, and integrating into the existing round-about at the north west corner of the site. A connection here will provide an alternative access to Tiger Brennan Drive (via a controlled intersection) for the existing school to the west of the site whilst also connecting the residential areas to the south and west to the proposed commercial uses at the site.

Stormwater Drainage

- b) Parts of the site and surrounding undeveloped land are low-lying and may act as a seasonal detention basin. Council requests further details demonstrating how development of the site may allow for the upstream drainage catchment to adequately discharge.

Storm Surge

- c) The site is located within the Primary and Secondary Storm Surge areas. Without significant mitigation measures being put in place, storm surge may have a devastating effect.

Council is not in a position to be able to assess or propose a method to remedy the effects of storm surge. Council will not support a development within a designated storm surge zone given the potentially devastating outcome.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully

CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Department of Lands and Planning

ENCL: YES

DARWIN CITY COUNCIL**DATE:** 02/08/2010**REPORT****TO:** TOWN PLANNING COMMITTEE
MEETING/OPEN B**APPROVED:** CR**FROM:** GENERAL MANAGER INFRASTRUCTURE**APPROVED:** DL**REPORT NO:** 10TS0149 CR:sv**APPROVED:** LC**COMMON NO:** 1841291**SUBJECT:** LOT 2443 (110) MITCHELL STREET DARWIN CITY, TOWN OF DARWIN PROPOSED DEVELOPMENT: 64X2 BEDROOM MULTIPLE DWELLINGS (INCLUDING 51X2 BEDROOM SERVICED APARTMENTS) AND INCLUDING CARPARKING AT LEVELS 2-4 IN A 12 STOREY BUILDING**ITEM NO:** 10.2**SYNOPSIS:**

A Development Application (**Attachment A**) for Lot 2443 (110) Mitchell Street Darwin City, Town of Darwin has been referred to Council for comment pursuant to Section 48 of the Planning Act. The following report addresses relevant Council issues and recommends that Council endorse comments provided to the Development Consent Authority by staff.

GENERAL:**Applicant:** Savvas P Savvas Architect**Zone:** CB (Central Business)**Area:** 1250m²**Proposal:** 64 x 2 Bedroom Multiple Dwellings (including 51x2 Bedroom Serviced Apartments) in a 12 Story Building**History:** An application for 52 x 2 Bedroom Multiple Dwellings in a 12 Story Building was lodged earlier this year and considered at the May 2010 Town Planning Committee Meeting.

At the April 2010 Town Planning Committee Meeting, an application for 108 Mitchell Street was considered. The proposal for 108 Mitchell Street had many similarities to the previous application for 110 Mitchell Street and as such was responded to raising many of the same issues.

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REPORT NO: 10TS0149 CR:sv
SUBJECT: LOT 2443 (110) MITCHELL STREET DARWIN CITY, TOWN OF DARWIN
PROPOSED DEVELOPMENT: 64X2 BEDROOM MULTIPLE DWELLINGS
(INCLUDING 51X2 BEDROOM SERVICED APARTMENTS) AND
INCLUDING CARPARKING AT LEVELS 2-4 IN A 12 STOREY BUILDING

Site and Surrounds

The subject site is identified as Lot 2443, Town of Darwin, commonly referred to as 110 Mitchell Street, Darwin. The subject site is regular in shape with a primary frontage to Mitchell Street of 35.05m and the secondary frontage to Pearly Street of 27.31m. The total area of the site is approximately 1250m². The site slopes from a high point on the north eastern boundary towards Mitchell Street where there are side entry pits located in the road reserve. A sewerage easement of 3.05m in width exists on the property adjacent to, and extending along the entire length of the rear (north-eastern) boundary.

The site is located approximately 40m west of the intersection of Mitchell Street and Daly Street. Mitchell Street is a secondary collector road for vehicles travelling between the CBD and Larrakeyah

The current use of the site is for real estate offices and associated car parking. Vehicular access to the site is gained via single vehicle cross-over from Mitchell Street and a single vehicle cross-over serving as the exit to Pearly Street.

The locality consists of a number of uses, primarily residential or commercial in nature. Existing development is at a low scale with substantial setbacks from the primary frontages. Recent development in the locality consists of multistorey multiple dwellings on The Esplanade, Mitchell Street, The Gardens Road and Dashwood Place. These residential developments have been constructed in areas where they are reflective of the existing character or are built to extend an established character of an area.

The subject site is located between two high density residential areas but does not demonstrate any physical relation to these areas and therefore alters the character of the locality at the subject site. A similar application for the adjoining property at 108 Mitchell Street, which was presented to at the Town Planning Committee earlier this year, proposes an almost mirror development in terms of bulk and scale and was issued with a Development Permit in July 2010.

The existing commercial developments in the locality are primarily located on Mitchell Street, Daly Street and Smith Street. There is a history of vehicle sales and/or hire yards on Mitchell Street and Daly Street, some of which are no longer operating and are currently vacant. Commercial business operating on the north-west side of Daly Street appear to generate a low customer turn over through uses such as offices, take-away shops, convenience stores, and small shops.

Matters to be taken into account (pursuant to Section 51 of the NT Planning Act 1999):

Northern Territory Planning Scheme:

The proposed development is in the CB Zone and requires consent.

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SUBJECT: LOT 2443 (110) MITCHELL STREET DARWIN CITY, TOWN OF DARWIN
PROPOSED DEVELOPMENT: 64X2 BEDROOM MULTIPLE DWELLINGS
(INCLUDING 51X2 BEDROOM SERVICED APARTMENTS) AND
INCLUDING CARPARKING AT LEVELS 2-4 IN A 12 STOREY BUILDING

Car Parking

The requirements of the Northern Territory Planning Scheme are that a minimum of two car parking spaces shall be provided for each dwelling. The proposal includes 52 multiple dwellings, and has provided 106 car parking spaces. The proposal has satisfied this clause of the Northern Territory Planning Scheme by providing the minimum requirement and an additional two car parking spaces in excess.

Building Heights and Volumetric controls

In regards to the volumetric controls, the Planning Scheme states that the Consent Authority must not give consent to a development which breaches the provisions of the NT Planning Scheme in regards to the podium portion of a development. In this proposal, the upper floors containing the residential units are located above the podium level and are set back adequately from the Mitchell and Daly Street frontages.

The application generally meets the requirements of the NT Planning Scheme in relation to building heights and volumetric controls. The result however is a building that appears to have a podium that is out of proportion with the three storey tower placed on top of it.

Disability Discrimination Legislation:

Disability Discrimination Act issues are addressed under the Building Act requirements. Council places a statement of support for equal opportunity on all responses.

Council Issues:

Traffic Management

Mitchell and Daly Streets have the capacity to accommodate the additional vehicular traffic expected to be generated by a residential proposal of this scale.

The proposed Mitchell Street crossover does not comply with Council's Subdivision and Development Guidelines. Under the guidelines a crossover shall be at least 15 metres from an intersecting road way. It has been requested that the Authority require amended plans demonstrating how the proposal can meet the requirements of Council's Subdivision and Development Guidelines.

Stormwater Drainage

In its response to Development Assessment Services, Council requests that a schematic plan demonstrating that all stormwater will be collected on the site and discharged underground to Council's stormwater drainage system. The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged underground to Council's drainage network. The required stormwater drainage plan shall include details of site levels and Council's stormwater drain connection points.

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 REPORT NO: 10TS0149 CR:sv
 SUBJECT: LOT 2443 (110) MITCHELL STREET DARWIN CITY, TOWN OF DARWIN
 PROPOSED DEVELOPMENT: 64X2 BEDROOM MULTIPLE DWELLINGS
 (INCLUDING 51X2 BEDROOM SERVICED APARTMENTS) AND
 INCLUDING CARPARKING AT LEVELS 2-4 IN A 12 STOREY BUILDING

The plan shall also indicate how stormwater will be collected within the site and how it will be discharged to Council's underground system. It is also necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties.

Waste Management

Council requests additional information from the applicant regarding waste management and waste collection facilities for the proposed development.

The applicant's plans are not clear on the number and location of waste bins to service the development. It has not been demonstrated by the applicant that a waste management vehicle is able to enter and leave the site in a forward gear as required by Council's Waste Management Policy.

The plans also do not clearly indicate the path of the recycle shoot through the parking levels

Concluding Comments

The assessment of the proposed development identifies a number of issues that must be resolved prior to Council being able to support this application. The key issues to be resolved include;

- Mitchell Street crossover not in accordance with Council's Subdivision and Development Guidelines.
- Provision of a waste management plan that complies with Council Policy Number 333 – Waste management; and
- Provision of a stormwater drainage plan to the satisfaction of the General Manager Infrastructure, Darwin City Council.

FINANCIAL IMPLICATIONS:

Nil.

STRATEGIC PLAN IMPLICATIONS:

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

Goal 1: Achieve Effective Partnerships and Engage in Collaborative Relationships

Outcome

1.1 Improve relations with all levels of Government

Key Strategies

1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin

1.1.5 Influence Government and developers to develop sustainable projects which reflect Darwin's lifestyle

PAGE: 5
 REPORT NO: 10TS0149 CR:sv
 SUBJECT: LOT 2443 (110) MITCHELL STREET DARWIN CITY, TOWN OF DARWIN
 PROPOSED DEVELOPMENT: 64X2 BEDROOM MULTIPLE DWELLINGS
 (INCLUDING 51X2 BEDROOM SERVICED APARTMENTS) AND
 INCLUDING CARPARKING AT LEVELS 2-4 IN A 12 STOREY BUILDING

Outcome

1.2 Effectively engage with Community

Key Strategies

1.2.1 Increase involvement of the Business Community for developing solutions to local issues

Goal 2: Enhance Darwin's Active, Positive and Flexible Lifestyle

Outcome

2.1 Improve urban enhancement around Darwin

Key Strategies

2.1.1 Manage and maintain the municipal landscaping and infrastructure to a standard that meets community needs

2.1.4 Provide a clean and liveable municipality

Goal 3: Assist Individuals and the Community Stay Connected with the Darwin Region

Outcome

3.1 Promote the use of public spaces

Key Strategies

3.1.1 Enhance public spaces and encourage greater use by the community

Outcome

3.2 Enhance transport

Key Strategies

3.2.1 Review transport and parking needs systems

3.2.4 Provide parking facilities and management systems which meet the needs of the community.

Goal 4: Create and Maintain an Environmentally Sustainable City

Outcome

4.2 Improve water conservation

Key Strategies

4.2.2 Manage and maintain Council's storm water management system.

LEGAL IMPLICATIONS:

This item is not considered "Confidential".

PUBLIC RELATIONS IMPLICATIONS:

Not Assessed.

PAGE: 6
 REPORT NO: 10TS0149 CR:sv
 SUBJECT: LOT 2443 (110) MITCHELL STREET DARWIN CITY, TOWN OF DARWIN
 PROPOSED DEVELOPMENT: 64X2 BEDROOM MULTIPLE DWELLINGS
 (INCLUDING 51X2 BEDROOM SERVICED APARTMENTS) AND
 INCLUDING CARPARKING AT LEVELS 2-4 IN A 12 STOREY BUILDING

COMMUNITY SAFETY IMPLICATIONS:

Not Assessed

DELEGATION:

To the Chief Executive Officer to provide standard Development Permit conditions as appropriate.

CONSULTATION:

Through the Development Application statutory process.

PROPOSED PUBLIC CONSULTATION PROCESS:

Nil

APPROPRIATE SIGNAGE:

Not Applicable.

RECOMMENDATIONS:

THAT the Committee resolve under delegated authority:-

- A. THAT Report Number 10TS0149 CR:sv entitled Lot 2443 (110) Mitchell Street Darwin City, Town of Darwin Proposed Development: 64x2 Bedroom Multiple Dwellings (Including 51x2 Bedroom Serviced Apartments) and Including Carparking at Levels 2-4 in a 12 Storey Building, be received and noted.
- C. THAT the letter to the Development Consent Authority in **Attachment B** to Report Number 10TS0149 CR:sv be endorsed.

DROSSO LELEKIS
MANAGER
DESIGN, PLANNING AND PROJECTS

LUCCIO CERCARELLI
GENERAL MANAGER
INFRASTRUCTURE

Any queries on this report can be directed to Cindy Robson on 8930 0528 or email c.robson@darwin.nt.gov.au



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PROPOSED RESIDENTIAL UNIT DEVELOPMENT - LOT 2443 CBD TOWN OF DARWIN

Job Number PAQ-0922
 Date: 16 JULY 2010

01

Drawing **GROUND FLOOR PLAN**



PROPOSED RESIDENTIAL UNIT DEVELOPMENT - LOT 2443
 CBD TOWN OF DARWIN

Job Number PA0-0932
 Date: 16 JULY 2010

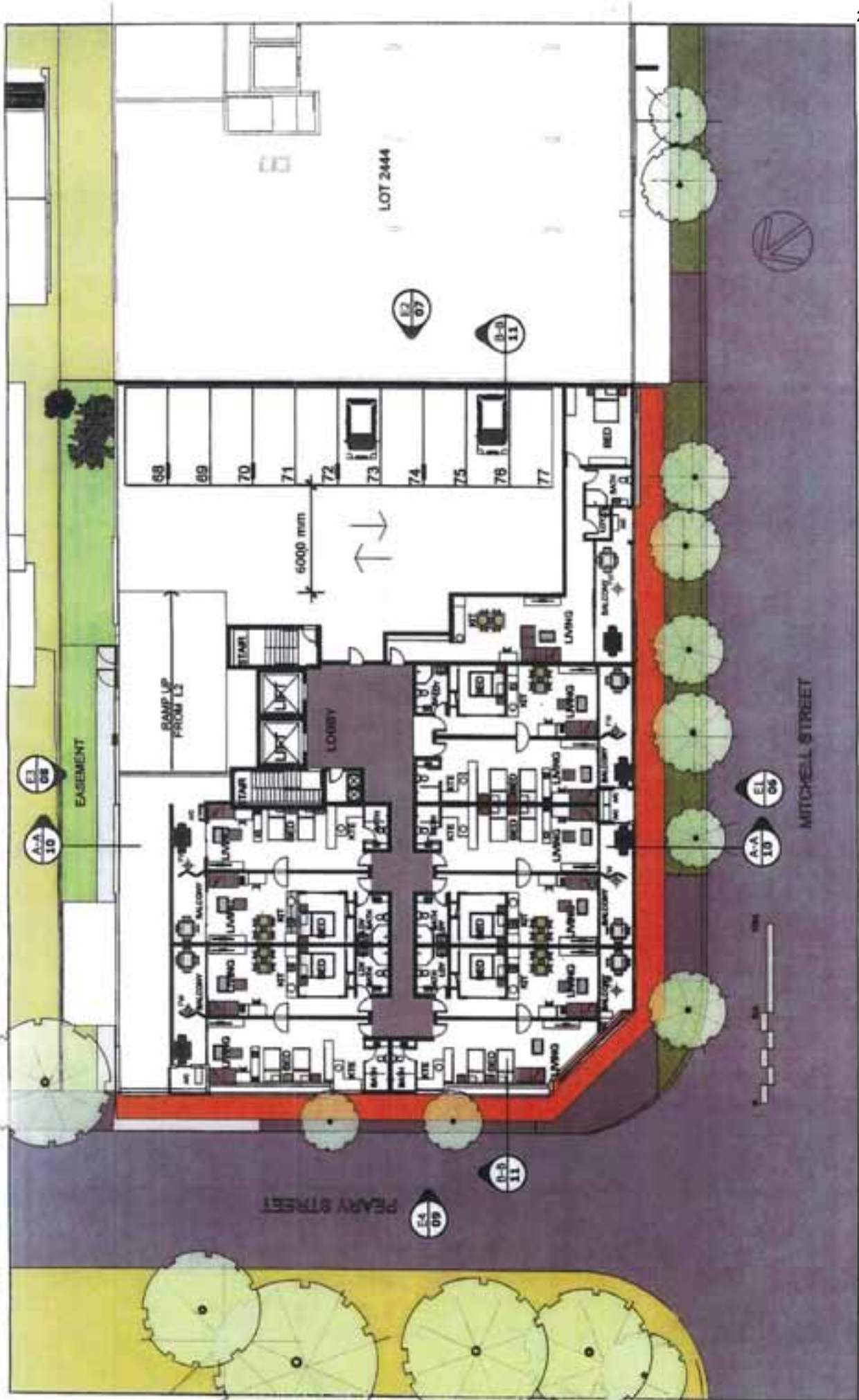
02

Savas P Savvas
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PROPOSED RESIDENTIAL UNIT DEVELOPMENT - LOT 2443
 CBD TOWN OF DARWIN

Drawing **FLOOR PLAN LEVEL 3**
03

Date: **16 JULY 2010**

Job Number **PA0-0922**

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**PROPOSED RESIDENTIAL UNIT DEVELOPMENT - LOT 2443
CBD TOWN OF DARWIN**

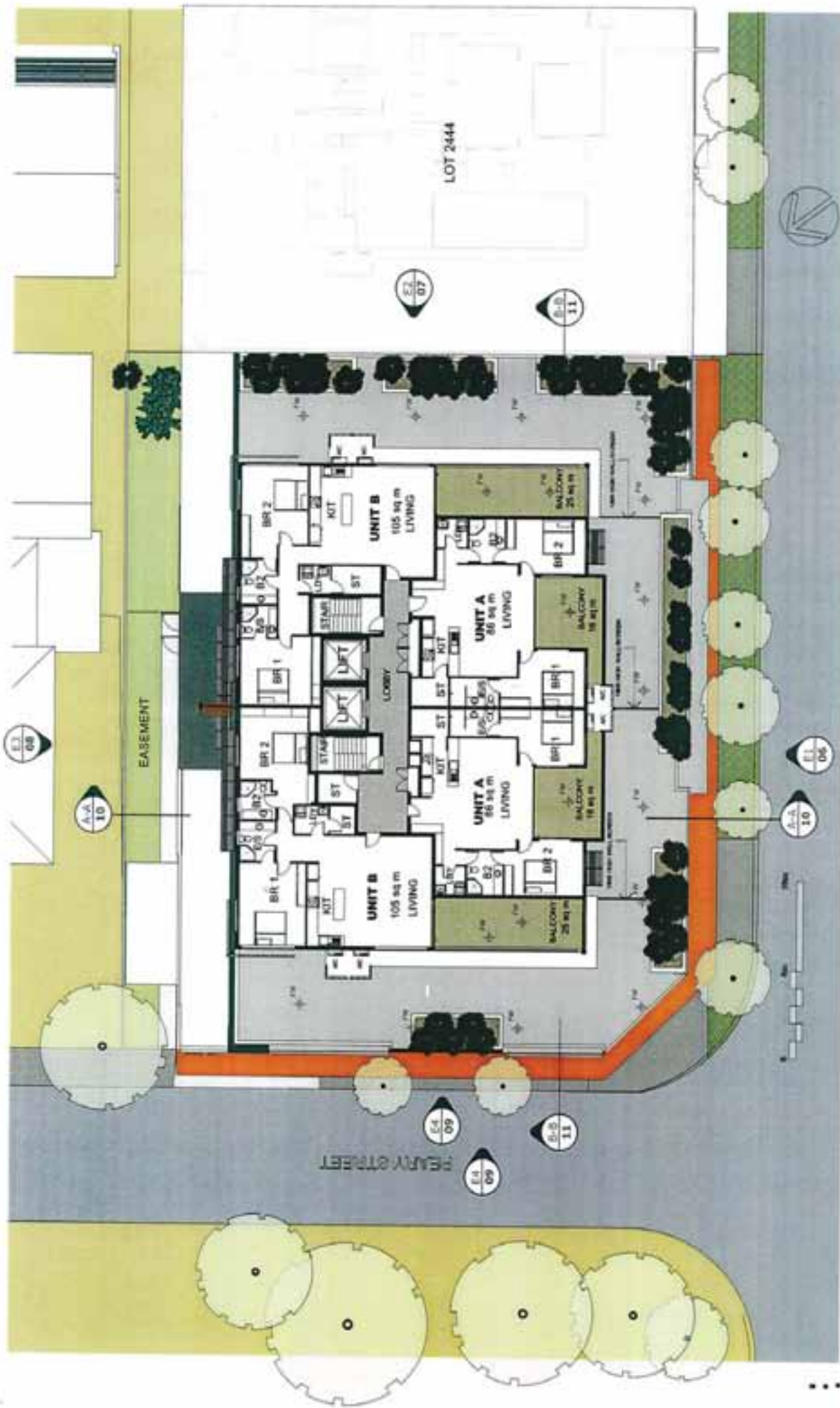
04 SERVICED APARTMENTS

Job Number PAG-0922 Date: 16 JULY 2010

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Drawing **FLOOR PLAN LEVELS 9 - 11**
05 RESIDENTIAL

PROPOSED RESIDENTIAL UNIT DEVELOPMENT - LOT 2443
 CBD TOWN OF DARWIN

Date: 16 JULY 2010

Job Number PA0-0932

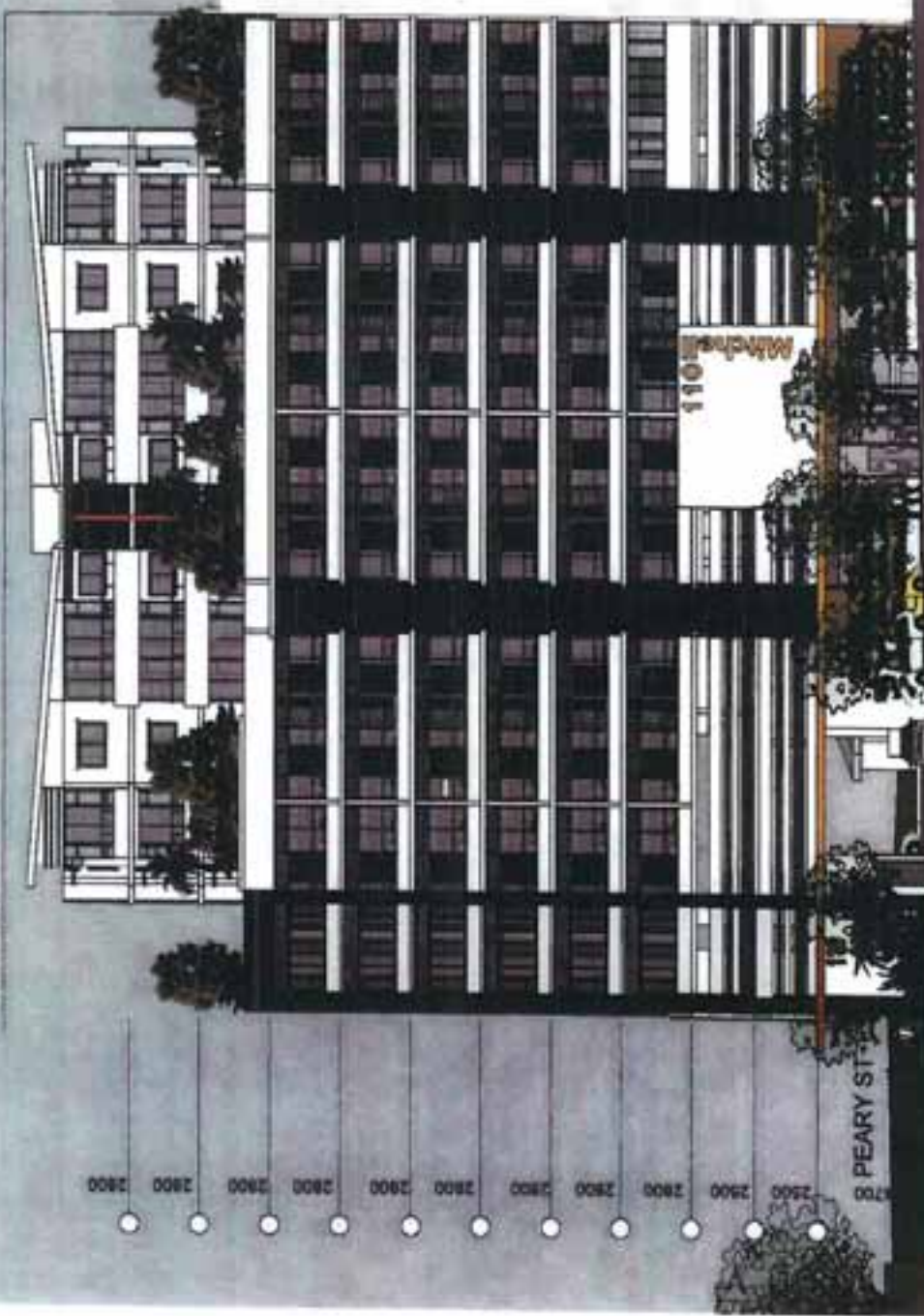
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LOT 2444

35m HEIGHT LIMIT



PROPOSED RESIDENTIAL UNIT DEVELOPMENT - LOT 2443 Drawing MITCHELL STREET ELEVATION

06

Job Number FAG-0932 Date 16 JULY 2010

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PA Group P/L ARCHITECTS
ABN 83 058 866 860

Please quote: 1841291 CR:sv

4 August 2010

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 2443 (110) Mitchell Street Darwin City, Town of Darwin
Proposed Development: 64x2 Bedroom Multiple Dwellings (Including 51x2
Bedroom Serviced Apartments) and Including Carparking at Levels 2-4 in a 12
Storey Building**

Thank you for the Development Application referred to this office 27 July 2010, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

i). **Council cannot support this application until the following issues are adequately addressed:**

a). **Mitchell Street crossover**

The proposed Mitchell Street crossover does not comply with Council's Subdivision and Development Guidelines in relation to the minimum distance between an intersection and a crossover.

Council requests that the Authority requires amended plans demonstrating compliance with Council's Subdivision and Development Guidelines.

a) **Waste Management**

Council requests that the Authority requires additional information from the applicant regarding waste management and waste collection facilities for proposed development.

...2/

It is unclear from the applicant's plans if an adequate area has been made for the location of waste bins.

Whilst a waste chute for the development is indicated on the development application plans, the position of the bin chute on the residential floors and through the car parking levels, needs to be clarified.

Council's Waste Management Policy requires that the waste collection vehicle enter and leave the site in a forward gear. As the proposed Mitchell Street crossover is not in compliance with Council's Subdivision and Development Guidelines, it is requested that the Authority requires amended plans demonstrating how the waste collection vehicle will enter and exit the site.

The applicant should be advised that Council will not approve the storage and servicing of 240-litre bins or bulk waste bins on the road reserve and Council requests that the Authority places a note on any Development Permit issued to state the following:

"In no circumstances will Council permit the temporary storage of garbage and recycling waste bins on Council's road reserve for servicing purposes. The bins must always be serviced from the designated waste storage area within the property, with collection vehicles only permitted to enter and exit the property in a forward gear."

- a). **Council requests the Authority requires a schematic plan demonstrating all stormwater to be collected on the site and discharged underground to Council's stormwater drainage system.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged underground to Council's drainage network.
- 1). The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system.
 - 2). Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into Council's stormwater drainage system. It is also necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

...3/

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager of Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.
- Kerb crossovers and driveways to the site shall be provided and disused crossovers removed, public footpath and cycleways shall be provided, stormwater shall be collected and discharged into Council's drainage network, and reinstatement works carried out, all to the requirements and satisfaction of the Director of Technical Services, Darwin City Council and at no cost to Council.
- Sight lines shall be provided at crossovers to public streets to the satisfaction of the Director of Technical Services, Darwin City Council. No fence or tree exceeding 0.6 metres in height shall be planted in front of the sight line.
- Any gate over an access to a public road shall be placed on the subject site at least 4.5m from the face of the kerb line of the adjoining public road.
- Car parking spaces and internal driveways shall meet the requirements of the relevant Australian Standard and be linemarked and sealed with an impervious material.
- The total number of required disabled car parking bays shall be met on site.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of The Director of Technical Services, Darwin City Council.
- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528..

Yours faithfully

CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Savvas P Savvas Architect

ENCL: YES

DARWIN CITY COUNCIL**REPORT****DATE:** 13/010**TO:** TOWN PLANNING COMMITTEE
MEETING/OPEN B**APPROVED:** CR**FROM:** GENERAL MANAGER INFRASTRUCTURE**APPROVED:** DL**REPORT NO:** 10TS0157 RB:sv**APPROVED:** LC**COMMON NO:** 1852226**SUBJECT:** PLANNING SCHEME AMENDMENT PA2010/0966 LOT 7162 (42) MARRAKAI STREET TIWI TOWN OF NIGHTCLIFF PROPOSED DEVELOPMENT: REZONING FROM SD (SINGLE DWELLING RESIDENTIAL) TO ZONE MD (MULTIPLE DWELLING RESIDENTIAL)**ITEM NO:** 10.3**SYNOPSIS:**

A Development Application for Lot 7162 (42) Marrakai Street Tiwi, Town of Nightcliff, has been referred to Council for comment pursuant to Section 48 of the Planning Act. The following report addresses relevant Council issues and recommends that Council endorse comments provided to the Development Consent Authority by staff.

GENERAL:**Applicant:** Department of Housing, Local government and Regional Services**Zone:** SD (Single Dwelling) **Area:** 817m²**Proposal:** To rezone allotment 7162 from SD (Single Dwelling) to MD (Multiple Dwelling)**History:** No previous applications have been lodged over this allotment. The applicant has lodged applications of a similar nature at other locations for the purpose housing persons registered on the social housing waitlist.

The applicant has completed a similar example of social housing at allotment 2414 (10) Marshal Court, Malak. The application to rezone the site was seen by the Town Planning Committee at the 1st April 2009 meeting. The development application was seen by the Town Planning Committee at the 4th November 2009 meeting.

PAGE: 2
REPORT NO: 10TS0157 RB:sv
SUBJECT: PLANNING SCHEME AMENDMENT PA2010/0966 LOT 7162 (42) MARRAKAI STREET TIWI TOWN OF NIGHTCLIFF PROPOSED DEVELOPMENT: REZONING FROM SD (SINGLE DWELLING RESIDENTIAL) TO ZONE MD (MULTIPLE DWELLING RESIDENTIAL)

Site and Surrounds

The subject site is identified as allotment 7162, Town of Nightcliff, commonly known as 42 Marrakai Street, Tiwi. The site is flat, of regular shape, has a frontage to Marrakai street of approximately 24 metres, and a depth of approximately 34 metres. It is currently zoned SD (Single Dwelling Residential) with a single dwelling existing on the site. The dwelling has reportedly been vacant for the past two years. The site is sparsely vegetated with two large gum trees, one at the centre of the front boundary, the other at the centre of the rear boundary.

The surrounding allotments are zoned SD (Single Dwelling Residential) and appear to be constructed in accordance with the provisions of the zone. Allotments within the locality, other than the subject site, are well screened from the street through the use of landscaping. There are instances where solid screening exists on front fences however it is still clear that the site is well vegetated.

Northern Territory Planning Scheme:

The desired future character for the subject site and locality has not been defined by the Northern Territory Planning Scheme other than describing the uses permitted by the current specified zoning. The SD zone specifies that the following are permitted uses:

- Business sign,
- Dependant unit,
- Group home
- Home based contracting
- Home occupation
- Single dwelling

The following uses have been specified to be discretionary uses within the SD zone:

- Bed and breakfast accommodation
- Community centre
- Home based childcare centre
- Medical consulting rooms
- Supporting accommodation.

All uses other than those listed as permitted or discretionary are prohibited from the SD Zone.

In comparison the proposed zoning change to MD for the subject site includes the uses listed as permitted and discretionary in the SD Zone, other than the inclusion of Multiple Dwellings as a discretionary use. Should the application be successful, the existing use of the site will not conflict with the prescribed uses of the proposed zone.

The development potential of the subject site zoned SD allows for a single dwelling on an allotment not less than 800m² and not constructed to a height greater than two stories or 8.5m. Should the application to rezone the land be successful, the

PAGE: 3
REPORT NO: 10TS0157 RB:sv
SUBJECT: PLANNING SCHEME AMENDMENT PA2010/0966 LOT 7162 (42) MARRAKAI STREET TIWI TOWN OF NIGHTCLIFF PROPOSED DEVELOPMENT: REZONING FROM SD (SINGLE DWELLING RESIDENTIAL) TO ZONE MD (MULTIPLE DWELLING RESIDENTIAL)

development potential of the subject site will allow for up to two dwellings, not constructed to a height greater than two stories or 8.5m.

It would appear that the intended outcome for the site has many similarities with the current zoning which suggests that a development application within the MD zone would have a significant degree of compatibility with the existing uses.

Without strategic direction nor criteria in which to assess the rezoning of a parcel of land, the basis for a decision would take into consideration the pattern of development in the locality, the services and facilities that are provided or are capable of being provided as well as accessibility to and from the site given the likely future nature of development for the site.

To date there has been a continuous pattern of development within the locality. The current land uses are exclusively SD (Single Dwelling), with a number of sites reserved for community and public open space purposes within convenient walking distances. It is not anticipated that development of the subject site to its maximum capacity as specified in the Northern Territory Planning Scheme will place pressures or demands on Council services or public infrastructure beyond the intended capacity. Within 400m of the site are three bus stops allowing for convenient access to public transport.

The Application

The applicant has outlined in the application that the intent of the rezoning is to provide two, two bedroom duplexes on the site. An example of the indicative development can be seen at allotment 2414 (10) Marshall Court, Malak, which has now been completed and is occupied.

Council's comments to the Authority in relation to the development application for allotment 2414 were that there was no objection to the use of the site for the intended purpose, however the applicant should have applied for an exceptional development permit. The purpose of this is to eliminate the rezoning of SD to MD becoming a precedent for future development in the area.

In deciding the application, the minister at the time approved an SU (Specific Use) Zone with stipulations that development must comply with the Northern Territory Planning Scheme provisions for a multiple dwelling, and that the site be developed in accordance with the indicative plans provided within the application for rezoning.

Summary

The application to rezone the site from SD (Single Dwelling) to MD (Multiple Dwelling) can be seen as a 'spot rezoning'. There is currently a consistent single dwelling development form within the area worthy of protection. While the proposal is considered to be sympathetic to the area, it is requested that the applicant resubmit the application as a rezoning from SD (Single Dwelling) to SU (Specific Use) to allow the limited additional development, but retain the integrity of the zone for all future development.

PAGE: 4
 REPORT NO: 10TS0157 RB:sv
 SUBJECT: PLANNING SCHEME AMENDMENT PA2010/0966 LOT 7162 (42) MARRAKAI STREET TIWI TOWN OF NIGHTCLIFF PROPOSED DEVELOPMENT: REZONING FROM SD (SINGLE DWELLING RESIDENTIAL) TO ZONE MD (MULTIPLE DWELLING RESIDENTIAL)

Disability Discrimination Legislation:

Disability Discrimination Act issues are addressed under the Building Act requirements. Council places a statement of support for equal opportunity on all responses.

Council Issues:

The proposed application to rezone the subject site from SD to MD has not been identified to impact on Council infrastructure or services. Any future development application for the site will be subject to various Council approvals including vehicle access, stormwater drainage, landscaping works on Council land and waste bin storage.

FINANCIAL IMPLICATIONS:

Nil.

STRATEGIC PLAN IMPLICATIONS:

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

Goal 1: Achieve Effective Partnerships and Engage in Collaborative Relationships

Outcome

1.1 Improve relations with all levels of Government

Key Strategies

1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin

1.1.5 Influence Government and developers to develop sustainable projects which reflect Darwin's lifestyle

Outcome

1.2 Effectively engage with Community

Key Strategies

1.2.1 Increase involvement of the Business Community for developing solutions to local issues

LEGAL IMPLICATIONS:

This item is not considered "Confidential".

PAGE: 5
 REPORT NO: 10TS0157 RB:sv
 SUBJECT: PLANNING SCHEME AMENDMENT PA2010/0966 LOT 7162 (42) MARRAKAI STREET TIWI TOWN OF NIGHTCLIFF PROPOSED DEVELOPMENT: REZONING FROM SD (SINGLE DWELLING RESIDENTIAL) TO ZONE MD (MULTIPLE DWELLING RESIDENTIAL)

PUBLIC RELATIONS IMPLICATIONS:

Not Assessed.

COMMUNITY SAFETY IMPLICATIONS:

Not Assessed.

DELEGATION:

To the Chief Executive Officer to provide standard Development Permit conditions as appropriate.

CONSULTATION:

Through the Development Application statutory process.

PROPOSED PUBLIC CONSULTATION PROCESS:

Nil

APPROPRIATE SIGNAGE:

Not Applicable.

RECOMMENDATIONS:

THAT the Committee resolve under delegated authority:-

- A THAT Report Number 10TS0157 RB:sv titled, Planning Scheme Amendment PA2010/0966 Lot 7162 (42) Marrakai Street Tiwi Town Of Nightcliff Proposed Development: Rezoning From SD (Single Dwelling Residential) To Zone MD (Multiple Dwelling Residential), be received and noted.
- A. THAT the letter to the Development Consent Authority in **Attachment B** to Report Number 10TS0157 RB:sv be endorsed.

DROSSO LELEKIS
MANAGER
DESIGN, PLANNING AND PROJECTS


LUCCIO CERCARELLI
GENERAL MANAGER
INFRASTRUCTURE

Any queries on this report can be directed to Cindy Robson on 8930 0528 or email c.robson@darwin.nt.gov.au




PROPOSED NT PLANNING SCHEME
AMENDMENT PA2010/0966
LOT 7162
TOWN OF NIGHTCLIFF
From Zone SD (Single Dwelling Residential) to
Zone MD (Multiple Dwelling Residential)


Department of Lands & Planning



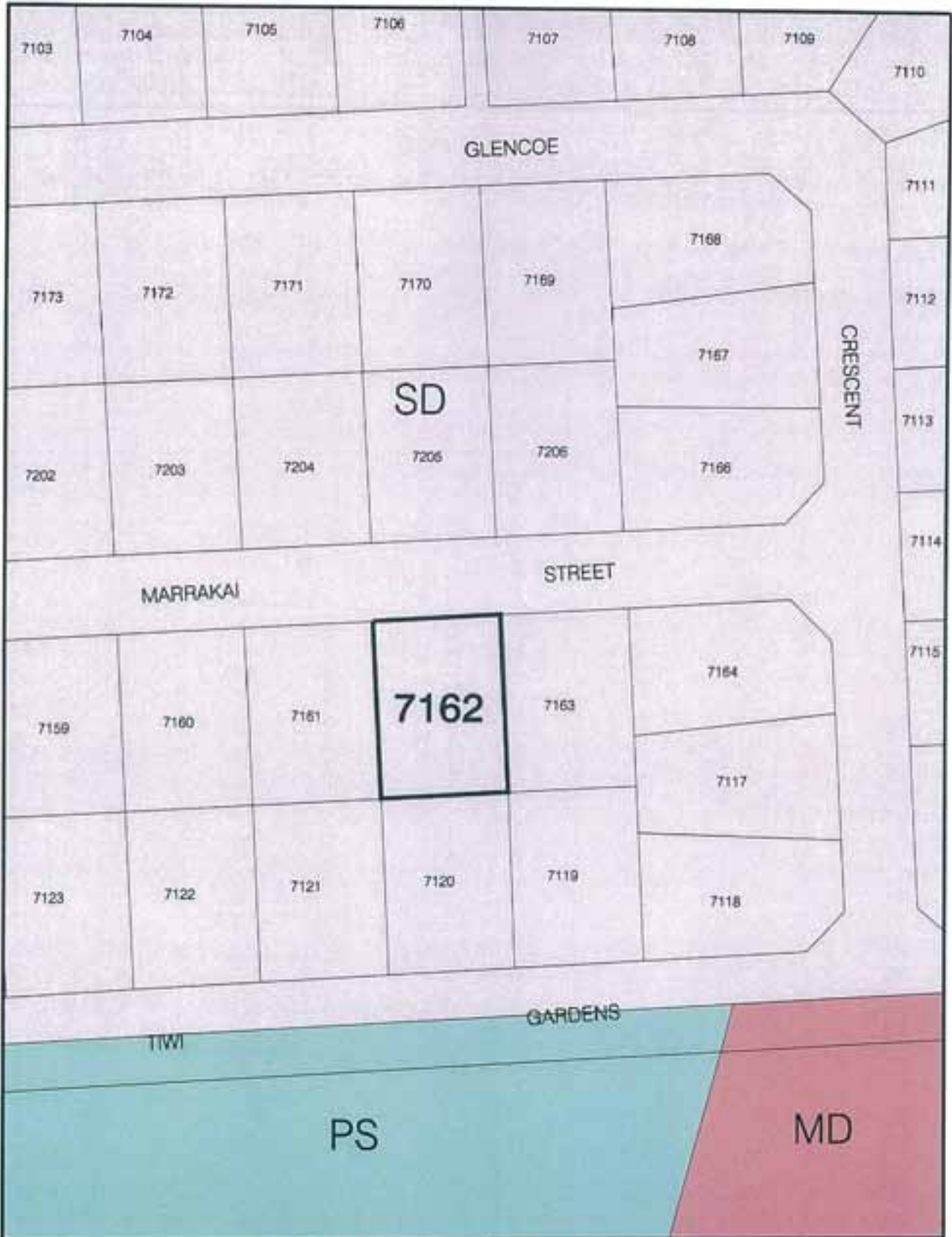
Northern Territory Government



Scale 1: 1000 @ A4



File No.: PA2010/0966
 Date: 22-Jul-10
 Drawing Name: PSA Lot 7162 Nightcliff.dgn



**EXISTING NT PLANNING SCHEME
 AMENDMENT PA2010/0966
 LOT 7162
 TOWN OF NIGHTCLIFF
 From Zone SD (Single Dwelling Residential) to
 Zone MD (Multiple Dwelling Residential)**



Northern Territory Government

Department of Lands & Planning



Scale 1: 1000 @ A4



File No.: PA2010/0966
 Date: 22-Jul-10
 Drawing Name: PSA Lot 7162 Nightcliff.dgn



Please quote: 1852226 CR:sv

3 September 2010

Mr Rean Lourens
Senior Planner
Strategic Lands Planning
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Rean

Planning Scheme Amendment PA2010/0966
Lot 7162 (42) Marrakai Street Tiwi Town of Nightcliff
Proposed Development: Rezoning from SD (Single Dwelling Residential) to
Zone MD (Multiple Dwelling Residential)

Thank you for the Planning Scheme Amendment application referred to this office 13 August 2010, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The application to rezone the site from SD (Single Dwelling) to MD (Multiple Dwelling) can be seen as a 'spot rezoning'. There is currently a consistent single dwelling development form within the area worthy of protection. While the proposal is considered to be sympathetic to the area, it is requested that the applicant resubmit the application as a rezoning from SD (Single Dwelling) to a SU (Specific Use) zone that limits development to single storey, two bedroom multiple dwellings, thereby retaining the integrity of the zone for future development.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully

CINDY ROBSON
STRATEGIC TOWN PLANNER

cc. Department of Housing, Local Government and Regional Services

ENCL: YES

DARWIN CITY COUNCIL**REPORT****DATE:** 13/08/10**TO:** TOWN PLANNING COMMITTEE
MEETING/OPEN B**APPROVED:** CR**FROM:** GENERAL MANAGER INFRASTRUCTURE**APPROVED:** DL**REPORT NO:** 10TS0158 CR:sv**APPROVED:** LC**COMMON NO:** 1852225**SUBJECT:** PLANNING SCHEME AMENDMENT PA2010/0965 LOT 1310 (38) RYLAND ROAD MILLNER TOWN OF NIGHTCLIFF PROPOSED DEVELOPMENT:REZONING FROM SD (SINLE DWELLING RESIDENTIAL) TO ZONE MD (MULTIPLE DWELLING RESIDENTIAL)**ITEM NO:** 10.4**SYNOPSIS:**

A Development Application (**Attachment A**) for LOT 1310 has been referred to Council for comment pursuant to Section 48 of the Planning Act. The following report addresses relevant Council issues and recommends that Council endorse comments provided to the Development Consent Authority by staff.

GENERAL:**Applicant:** Department of Housing, Local government and Regional Services**Zone:** SD (Single Dwelling) **Area:** 920 m²**Proposal:** To Amend the Northern Territory Planning Scheme by rezoning Lot 7114 from Zone SD (Single Dwelling Residential) to Zone MD (Multiple Dwelling Residential).**History:** No previous applications have been lodged over this allotment. The applicant has lodged applications of a similar nature at other locations for the purpose housing persons registered on the social housing waitlist.

The applicant has completed a similar example of social housing at allotment 2414 (10) Marshal Court, Malak. The application to rezone the site was seen by the Town Planning Committee at the 1st April 2009 meeting. The development application was seen by the Town Planning Committee at the 4th November 2009 meeting.

PAGE: 2
 REPORT NO: 10TS0158 CR:sv
 SUBJECT: PLANNING SCHEME AMENDMENT PA2010/0965 LOT 1310 (38) RYLAND ROAD
 MILLNER TOWN OF NIGHTCLIFF PROPOSED DEVELOPMENT:REZONING
 FROM SD (SINLE DWELLING RESIDENTIAL) TO ZONE MD (MULTIPLE
 DWELLING RESIDENTIAL)

Site and Surrounds

The subject site is identified as allotment 1310, Town of Nightcliff, commonly known as 38 Ryland Road, Millner. The site is flat, of regular shape, has a frontage to Ryland Road of approximately 23 metres, and a depth of approximately 37 metres. It is currently zoned SD (Single Dwelling Residential) with a single dwelling existing on the site. The site is lightly vegetated with predominantly non-indigenous plant species. The dwelling has recently been demolished due to disrepair.

The surrounding allotments are zoned SD (Single Dwelling Residential) and appear to be constructed in accordance with the provisions of the zone. Dwellings within the locality, are of a similar post-cyclone Tracy age as the demolished dwelling.

Matters to be taken into account (pursuant to Section 51 of the NT Planning Act 1999):

Northern Territory Planning Scheme:

The desired future character for the subject site and locality has not been defined by the Northern Territory Planning Scheme other than describing the uses permitted by the current specified zoning. The SD zone specifies that the following are permitted uses:

- Business sign,
- Dependant unit,
- Group home
- Home based contracting
- Home occupation
- Single dwelling

The following uses have been specified to be discretionary uses within the SD zone:

- Bed and breakfast accommodation
- Community centre
- Home based childcare centre
- Medical consulting rooms
- Supporting accommodation.

All uses other than those listed as permitted or discretionary are prohibited from the SD Zone.

In comparison the proposed zoning change to MD for the subject site includes the uses listed as permitted and discretionary in the SD Zone, other than the inclusion of Multiple Dwellings as a discretionary use. Should the application be successful, the existing use of the site will not conflict with the prescribed uses of the proposed zone.

The development potential of the subject site zoned SD allows for a single dwelling on an allotment not less than 800m² and not constructed to a height greater than two stories or 8.5m. Should the application to rezone the land be successful, the

PAGE: 3
REPORT NO: 10TS0158 CR:sv
SUBJECT: PLANNING SCHEME AMENDMENT PA2010/0965 LOT 1310 (38) RYLAND ROAD
MILLNER TOWN OF NIGHTCLIFF PROPOSED DEVELOPMENT:REZONING
FROM SD (SINLE DWELLING RESIDENTIAL) TO ZONE MD (MULTIPLE
DWELLING RESIDENTIAL)

development potential of the subject site will allow for up to three dwellings, not constructed to a height greater than two stories or 8.5m.

It would appear that the intended outcome for the site has many similarities with the current zoning which suggests that a development application within the MD zone would have a significant degree of compatibility with the existing uses.

Without strategic direction nor criteria in which to assess the rezoning of a parcel of land, the basis for a decision would take into consideration the pattern of development in the locality, the services and facilities that are provided or are capable of being provided as well as accessibility to and from the site given the likely future nature of development for the site.

To date there has been a continuous pattern of development within the locality. The current land uses are exclusively SD (Single Dwelling), with a number of sites reserved for community and public open space purposes within convenient walking distances. It is not anticipated that development of the subject site to its maximum capacity as specified in the Northern Territory Planning Scheme will place pressures or demands on Council services or public infrastructure beyond the intended capacity.

The Application

The applicant has outlined in the application that the intent of the rezoning is to provide two, two bedroom duplexes on the site. An example of the indicative development can be seen at allotment 2414 (10) Marshall Court, Malak, which has now been completed and is occupied.

Council's comments to the Authority in relation to the development application for allotment 2414 were that there was no objection to the use of the site for the intended purpose, however the applicant should have applied for an exceptional development permit. The purpose of this is to eliminate the rezoning of SD to MD becoming a precedent for future development in the area.

In deciding the application, the minister at the time approved an SU (Specific Use) Zone with stipulations that development must comply with the Northern Territory Planning Scheme provisions for a multiple dwelling, and that the site be developed in accordance with the indicative plans provided within the application for rezoning.

Summary

The application to rezone the site from SD (Single Dwelling) to MD (Multiple Dwelling) can be seen as a 'spot rezoning'. There is currently a consistent single dwelling development form within the area worthy of protection. While the proposal is considered to be sympathetic to the area, it is requested that the applicant resubmit the application as a rezoning from SD (Single Dwelling) to SU (Specific Use) to allow the limited additional development, but retain the integrity of the zone for all future development.

PAGE: 4
 REPORT NO: 10TS0158 CR:sv
 SUBJECT: PLANNING SCHEME AMENDMENT PA2010/0965 LOT 1310 (38) RYLAND ROAD
 MILLNER TOWN OF NIGHTCLIFF PROPOSED DEVELOPMENT:REZONING
 FROM SD (SINLE DWELLING RESIDENTIAL) TO ZONE MD (MULTIPLE
 DWELLING RESIDENTIAL)

Disability Discrimination Legislation:

Disability Discrimination Act issues are addressed under the Building Act requirements. Council places a statement of support for equal opportunity on all responses.

Council Issues:

The proposed application to rezone the subject site from SD to MD has not been identified to impact on Council infrastructure or services. Any future development application for the site will be subject to various Council approvals including vehicle access, stormwater drainage, landscaping works on Council land and waste bin storage.

FINANCIAL IMPLICATIONS:

Nil.

STRATEGIC PLAN IMPLICATIONS:

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

Goal 1: Achieve Effective Partnerships and Engage in Collaborative Relationships

Outcome

1.1 Improve relations with all levels of Government

Key Strategies

1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin

1.1.5 Influence Government and developers to develop sustainable projects which reflect Darwin's lifestyle

Outcome

1.2 Effectively engage with Community

Key Strategies

1.2.1 Increase involvement of the Business Community for developing solutions to local issues

Goal 2: Enhance Darwin's Active, Positive and Flexible Lifestyle

Outcome

2.1 Improve urban enhancement around Darwin

Key Strategies

2.1.1 Manage and maintain the municipal landscaping and infrastructure to a standard that meets community needs

2.1.4 Provide a clean and liveable municipality

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 MILLNER TOWN OF NIGHTCLIFF PROPOSED DEVELOPMENT:REZONING
 FROM SD (SINLE DWELLING RESIDENTIAL) TO ZONE MD (MULTIPLE
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Goal 3: Assist Individuals and the Community Stay Connected with the Darwin Region

Outcome

3.1 Promote the use of public spaces

Key Strategies

3.1.1 Enhance public spaces and encourage greater use by the community

Outcome

3.2 Enhance transport

Key Strategies

3.2.1 Review transport and parking needs systems

3.2.4 Provide parking facilities and management systems which meet the needs of the community.

Goal 4: Create and Maintain an Environmentally Sustainable City

Outcome

4.2 Improve water conservation

Key Strategies

4.2.2 Manage and maintain Council's storm water management system.

LEGAL IMPLICATIONS:

This item is not considered "Confidential".

PUBLIC RELATIONS IMPLICATIONS:

Not Assessed.

COMMUNITY SAFETY IMPLICATIONS:

Not Assessed

DELEGATION:

To the Chief Executive Officer to provide standard Development Permit conditions as appropriate.

CONSULTATION:

Through the Development Application statutory process.

PROPOSED PUBLIC CONSULTATION PROCESS:

Nil

PAGE: 6
 REPORT NO: 10TS0158 CR:sv
 SUBJECT: PLANNING SCHEME AMENDMENT PA2010/0965 LOT 1310 (38) RYLAND ROAD
 MILLNER TOWN OF NIGHTCLIFF PROPOSED DEVELOPMENT:REZONING
 FROM SD (SINLE DWELLING RESIDENTIAL) TO ZONE MD (MULTIPLE
 DWELLING RESIDENTIAL)

APPROPRIATE SIGNAGE:

Not Applicable.

RECOMMENDATIONS:

THAT the Committee resolve under delegated authority:-

- A THAT Report Number 10TS0158 CR:sv entitled Planning Scheme Amendment Pa2010/0965 Lot 1310 (38) Ryland Road Millner Town Of Nightcliff Proposed Development :Rezoning From SD (Single Dwelling Residential) To Zone MD (Multiple Dwelling Residential), be received and noted.
- B. THAT the letter to the Development Consent Authority in **Attachment B** to Report Number 10TS0158 CR:sv be endorsed.


DROSSO LELEKIS
MANAGER
DESIGN, PLANNING AND PROJECTS


LUCCIO CERCARELLI
GENERAL MANAGER
INFRASTRUCTURE


Any queries on this report can be directed to Cindy Robson on 8930 0528 or email c.robson@darwin.nt.gov.au



**PROPOSED NT PLANNING SCHEME
 AMENDMENT PA2010/0965
 LOT 1310
 TOWN OF NIGHTCLIFF
 From Zone SD (Single Dwelling Residential) to
 Zone MD (Multiple Dwelling Residential)**


 Department of Lands & Planning
 Northern Territory Government


 Scale 1: 1000 @ A4



File No.: PA2010/0965
 Date: 22-JUL-10
 Drawing Name: PSA Lot 1310 Nightcliff.dgn



EXISTING NT PLANNING SCHEME

AMENDMENT PA2010/0965

LOT 1310

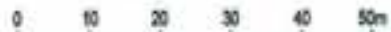
TOWN OF NIGHTCLIFF

**From Zone SD (Single Dwelling Residential) to
Zone MD (Multiple Dwelling Residential)**



**Northern
Territory
Government**

Department of Lands & Planning



Scale 1: 1000 @ A4



File No.: PA2010/0965

Date: 22-Jul-10

Drawing Name: PSA Lot 1310 Nightcliff.dgn

Please quote: 1852225 RB:sv

3 September 2010

Mr Rean Lourens
Senior Planner
Strategic Lands Planning
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Rean

Planning Scheme Amendment PA2010/0965
Lot 1310 (38) Ryland Road Millner Town of Nightcliff
Proposed Development: Rezone from SD (Single Dwelling Residential) to Zone MD (Multiple Dwelling Residential)

Thank you for the Planning Scheme Amendment application referred to this office 13 August 2010, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The application to rezone the site from SD (Single Dwelling) to MD (Multiple Dwelling) can be seen as a 'spot rezoning'. There is currently a consistent single dwelling development form within the area worthy of protection. While the proposal is considered to be sympathetic to the area, it is requested that the applicant resubmit the application as a rezoning from SD (Single Dwelling) to a SU (Specific Use) zone that limits development to single storey, two bedroom multiple dwellings, thereby retaining the integrity of the zone for future development.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully

CINDY ROBSON
STRATEGIC TOWN PLANNER

cc. Department of Housing, Local Government and Regional Services

OPEN SECTION

PAGE

TP9/7

Town Planning Committee Meeting – Wednesday, 1 September 2010

11 INFORMATION ITEMS**11.1 Commemoration of the Late Alderman Greg Jarvis**

Document No. 1788230 (30/04/10) Common No. 1788230

COMMITTEE'S DECISION

THAT the incoming Letter from the Chair, Dr Mickey Dewar of the Place Names Committee for the Northern Territory dated 30 April 2010, in relation to the Commemoration of the of the name of the former Darwin City Council Alderman Greg Jarvis, be received and noted.

DECISION NO.20\() (01/09/10)



Place Names Committee for the Northern Territory

Telephone (08) 8995 5333
Facsimile: (08) 8995 5365
E-mail: placenames.dpi@nt.gov.au
Web: www.placenames.nt.gov.au

3rd Floor NAB House
71 Smith Street
GPO Box 1680
Darwin NT 0801

Our ref 2010-0009 / PN2010/0002
Your ref 1741730 BD:jp

Mr Brendan Dowd
Chief Executive Officer
GPO Box 84
DARWIN NT 0801

Dear Mr Dowd

Commemoration of Alderman Greg Jarvis

Thank you for your letter of 25 February 2010 requesting the Place Names Committee NT consider commemoration of the name of former Darwin City Alderman Greg Jarvis in Northern Territory nomenclature.

At the meeting last Tuesday the Place Names Committee was pleased to endorse the addition to the Darwin and Environs Reserve Names List to honour Alderman Jarvis but it might be some time before the name can be used. Policy does not support the duplication of an existing name in the same local government area, or in an adjacent locality or suburb; this is to prevent ambiguity or potentially dangerous delay should emergency services require access. A Jarvis Street already exists in Malak and there is also a Jarvis Road in Acacia Hills. Please also note that it is not usual policy to endorse the commemoration of a deceased person until after a year has elapsed after their death.

One suggestion Council might consider would be to name a park or stadium after Greg. Street names, unless referring to a main access road with no street addresses, only use the surname, but in the case of a park or stadium, the contribution of the alderman could be honoured using both names, for example 'Greg Jarvis Park'.

Yours sincerely



DR MICKEY DEWAR
Chair

30 April 2010

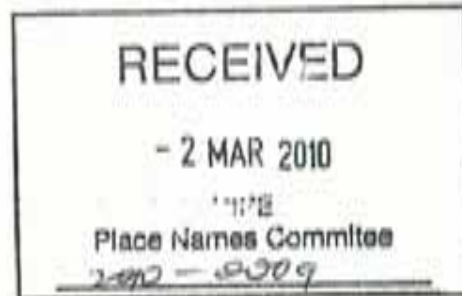




Please quote: 1741730 BD:jp

25 February 2010

Dr Mickey Dewar
 Chairman
 Place Names Committee for the NT
 GPO Box 1680
 DARWIN NT 0801



Dear Dr Dewar

As you may be aware, Alderman Jarvis recently passed away and the community has been shocked and saddened at his loss.

Alderman Jarvis had been in the Northern Territory for approximately 35 years and during this time made a very significant contribution to and for the people of the Territory through his community based pursuits.

More recently Alderman Jarvis had been a highly valued member of Darwin City Council. He took up office on 7 April 2008 and whilst his term was relatively short he made a significant contribution and always had the interests of the people of Darwin and the Northern Territory at heart.

On behalf of Darwin City Council, I respectfully request that Alderman Jarvis' name be added to the Place Names List for use when an appropriate naming opportunity arises.

Yours sincerely

BRENDAN DOWD
CHIEF EXECUTIVE OFFICER

OPEN SECTION

PAGE

TP9/8

Town Planning Committee Meeting – Wednesday, 1 September 2010**11 INFORMATION ITEMS****11.2 Various Letters sent to Development Assessment Services under Delegated Authority**

COMMITTEE'S DECISION

THAT the Committee resolve under delegated authority that the following letters sent to Development Assessment Services, be received and noted:-

- i) Lot 0432 (4) Bamboo Street Nightcliff Town of Nightcliff, Proposed Development: Verandah Addition to an Existing Single Dwelling with a Reduced Side Setback **NOT EXHIBITED** - Common Number 1846817 CR:sv dated 20 August 2010
- ii) Lot 1157 (15) Sanderling Street Wulagi Town of Sanderson, Proposed Development: Extension to an Existing Single Dwelling with a Reduced Side Setback - Common Number 1852358 CR:sv dated 27 August 2010
- iii) Lot 2439 (110) Amy Johnson Avenue Marrara Hundred of Bagot Proposed Development: Ancillary Hostel Addition to an Existing Education Establishment in 2 Stages - Common Number 1847981 RB:sv dated 20 August 2010
- iv) Lot 2595 (29) Carnoustie Circuit Marrara Hundred of Bagot Proposed Development: Verandah and Shed Addition to an Existing Multiple Dwelling - Common Number 1839767 CR:sv dated 4 August 2010
- v) Portion 2847, (74) Pruen Road Berrimah Hundred of Bagot Proposed Development: Warehouse Extension with a Reduced Rear Setback and Exceeding the 8.5m Height Limitation **NOT EXHIBITED** Common Number 1846178 CR:sv dated 20 August 2010
- vi) Section 3071 (648) Vanderlin Drive Berrimah, Hundred of Bagot Proposed Development: Caravan (For Use as a Second Care Taker's Residence) Ancillary to an Existing Place of Worship. Common Number 1839885 CR:sv dated 4 August 2010
- vii) Lot 3802 (5) Thompson Crescent Jingili, Town of Nightcliff Proposed Development: Shade Sail Addition to an Existing Single Dwelling with a Reduced Front Setback. Common Number 1837275 CR:sv dated 7 August 2010
- viii) Lot 3950 (46) Parer Drive Wagaman Town of Nightcliff Proposed Development: Shade Sail Addition to an Existing Single Dwelling with a Reduced Front Setback. Common Number 1850613 CR:sv dated 27 August 2010
- ix) Lot 5420 (129) Playford Street Parap Town of Darwin Proposed Development Domestic Shed. Common Number 1852539 CR:sv dated 6 September 2010

(Continued on next page...)



OPEN SECTION

PAGE

TP9/9

Town Planning Committee Meeting – Wednesday, 1 September 2010**11 INFORMATION ITEMS****11.2 Various Letters sent to Development Assessment Services under Delegated Authority***(...Continued from previous page)*

- x) Lot 5562 (2) Bayview Street Fannie Bay, Town of Darwin Proposed Development: Verandah Addition to an Existing Multiple Dwelling (unit 3). Common Number 1839767 CR:sv dated 4 August 2010
- xi) Lot 6103 (14) Sergision Circuit Rapid Creek, Town of Nightcliff Proposed Development: 10X2 AND 1X3 Bedroom Multiple Dwellings in 1x4 Storey Building including Ground Level Carparking. Common Number 1839770 CR:sv dated 4 August 2010
- xii) Lot 6609 (20) Kailis Street Wanguri Town of Nightcliff Proposed Development: Verandah Addition to an Existing Single Dwelling with a Reduced Side Setback. Common Number 1845275 CR:sv dated 13 August 2010
- xiii) Lot 6939 (1) Tsolos Place The Narrows Town of Darwin Proposed Development: Verandah Addition for an Existing Multiple Dwelling (Unit 4). Common Number 1847828 CR:sv dated 20 August 2010
- xiv) Lot 6947 (10) Glyde Court Leanyer, Town of Sanderson Proposed Development: Verandah Addition to an Existing Multiple Dwelling (Unit 2). Common Number 1839768 CR:sv dated 4 August 2010
- xv) Lot 7778 (95) Ruddick Circuit Stuart Park Town of Darwin Proposed Development: Shed Addition to an Existing Single Dwelling with a Reduced Front and Side Setback. Common Number 1848027 CR:sv dated 20 August 2010
- xvi) Lot 8993 (37) Ellengowan Drive Brinkin Town of Nightcliff Proposed Development: Verandah Addition to an Existing Multiple Dwelling (Unit 3) with a Reduced Side Setback. Common Number 1851338 CR:sv dated 27 August 2010
- xvii) 9198 (7) Ellengowan Drive Brinkin Town of Nightcliff Proposed Development: Addition of 6x2 Storey Ancillary Hostel Accommodation Buildings to an Existing Education Establishment in Two Stages. Common Number 1851245 CR:sv dated 27 August 2010
- xviii) Lot 9230 (35) De Latour Street Coconut Grove Town of Nightcliff Proposed Development: 4 Warehouses in a Single Storey Building **NOT EXHIBITED**. Common Number 1846224 CR:sv dated 18 August 2010

DECISION NO.20\()

(31/08/10)





Please quote: 1846817 CR:sv

20 August 2010

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 0432 (4) Bamboo Street Nightcliff Town of Nightcliff
Proposed Development: Verandah Addition to an Existing Single Dwelling
With a Reduced Side Setback NOT EXHIBITED**

Thank you for the Development Application referred to this office 5 August 2010, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

No issues are raised for this Development Application in relation to matters that fall within the responsibility of Darwin City Council.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

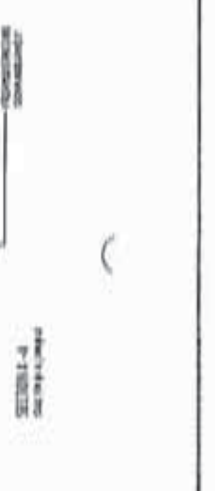
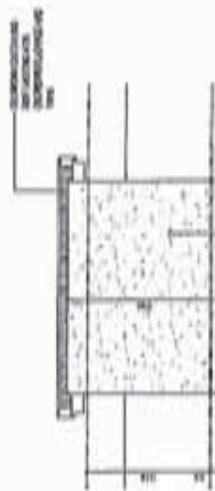
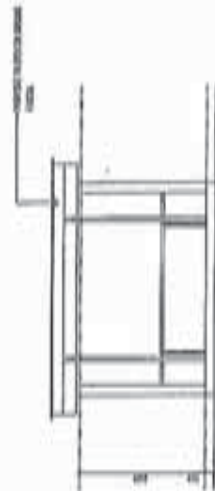
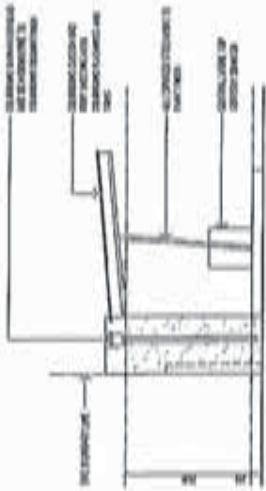
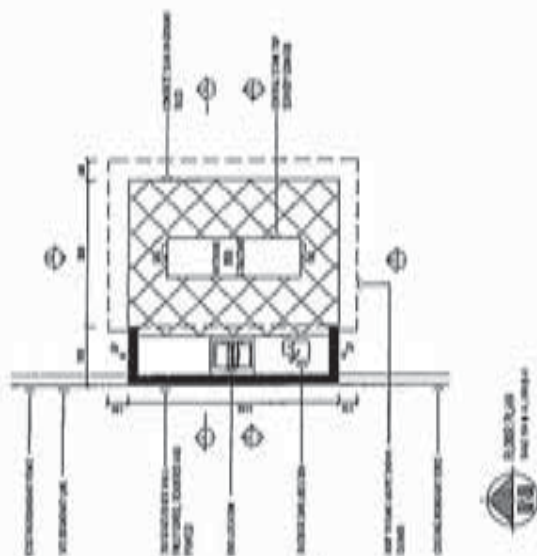
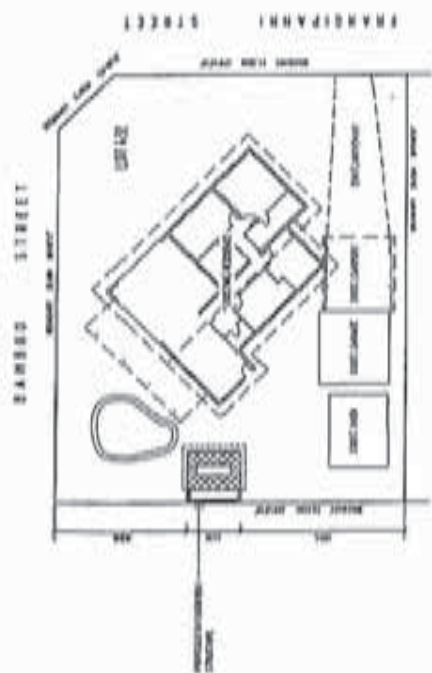
If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Cindy Robson', is written over a white background.

CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: ArchTECH Designs



NO.	REVISIONS	DATE
1.	ISSUED FOR PERMIT	10/10/2018

NOTES:
 1. ALL WORK TO BE ACCORDING TO THE SANS AND THE SANS 10400 SERIES.
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ArchTech
 ARCHITECTS
 100, BARRAS STREET, SUITE 101, MANUPAHNI, JOHANNESBURG.

PROJECT NO.	100/2018/00000
CLIENT	ARCHITECTS
DATE	10/10/2018

NO.	REVISIONS	DATE
1.	ISSUED FOR PERMIT	10/10/2018



Please quote 1852358 CR:sv

27 August 2010

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 1157 (15) Sanderling Street Wulagi Town of Sanderson
Proposed Development: Extension to an Existing Single Dwelling With a
Reduced Side Setback**

Thank you for the Development Application referred to this office 13 August 2010, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

No issues are raised for this Development Application in relation to matters that fall within the responsibility of Darwin City Council.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully

CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Northern Building Designs

GENERAL NOTES

1. All work shall be in accordance with the provisions of the International Building Code (IBC) and the International Residential Code (IRC) as amended.

2. The owner shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

3. The contractor shall be responsible for protecting all existing utilities and structures on the site.

4. All materials and workmanship shall conform to the requirements of the applicable building codes and standards.

5. The contractor shall be responsible for providing adequate site access and parking for all construction equipment and materials.

6. All work shall be completed within the specified time frame.

7. The contractor shall be responsible for maintaining the site in a safe and clean condition at all times.

8. All work shall be subject to inspection and approval by the appropriate authorities.

REINFORCEMENT

1. All reinforcement shall be in accordance with the provisions of ACI 308R and ACI 318M.

2. The contractor shall be responsible for providing adequate site access and parking for all construction equipment and materials.

3. All reinforcement shall be installed in accordance with the requirements of the applicable building codes and standards.

4. The contractor shall be responsible for providing adequate site access and parking for all construction equipment and materials.

5. All reinforcement shall be installed in accordance with the requirements of the applicable building codes and standards.

CONCRETE

1. All concrete shall be in accordance with the provisions of ACI 308R and ACI 318M.

2. The contractor shall be responsible for providing adequate site access and parking for all construction equipment and materials.

3. All concrete shall be installed in accordance with the requirements of the applicable building codes and standards.

4. The contractor shall be responsible for providing adequate site access and parking for all construction equipment and materials.

BLOCKWORK

1. All blockwork shall be in accordance with the provisions of ACI 308R and ACI 318M.

2. The contractor shall be responsible for providing adequate site access and parking for all construction equipment and materials.

3. All blockwork shall be installed in accordance with the requirements of the applicable building codes and standards.

4. The contractor shall be responsible for providing adequate site access and parking for all construction equipment and materials.

EXCAVATION, FILL MATERIAL AND COMPACTION

1. All excavation and fill material shall be in accordance with the provisions of ACI 308R and ACI 318M.

2. The contractor shall be responsible for providing adequate site access and parking for all construction equipment and materials.

3. All excavation and fill material shall be installed in accordance with the requirements of the applicable building codes and standards.

4. The contractor shall be responsible for providing adequate site access and parking for all construction equipment and materials.

DESIGN CRITERIA

1. All design criteria shall be in accordance with the provisions of ACI 308R and ACI 318M.

2. The contractor shall be responsible for providing adequate site access and parking for all construction equipment and materials.

3. All design criteria shall be installed in accordance with the requirements of the applicable building codes and standards.

4. The contractor shall be responsible for providing adequate site access and parking for all construction equipment and materials.

REMARKS TO BE REFERENCED WITHIN DESIGN DRAWINGS

1. All remarks shall be in accordance with the provisions of ACI 308R and ACI 318M.

2. The contractor shall be responsible for providing adequate site access and parking for all construction equipment and materials.

3. All remarks shall be installed in accordance with the requirements of the applicable building codes and standards.

4. The contractor shall be responsible for providing adequate site access and parking for all construction equipment and materials.

GENERAL NOTES

1. All work shall be in accordance with the provisions of the International Building Code (IBC) and the International Residential Code (IRC) as amended.

2. The owner shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

3. The contractor shall be responsible for protecting all existing utilities and structures on the site.

4. All materials and workmanship shall conform to the requirements of the applicable building codes and standards.

5. The contractor shall be responsible for providing adequate site access and parking for all construction equipment and materials.

6. All work shall be completed within the specified time frame.

7. The contractor shall be responsible for maintaining the site in a safe and clean condition at all times.

8. All work shall be subject to inspection and approval by the appropriate authorities.

TIMBER

1. All timber shall be in accordance with the provisions of ACI 308R and ACI 318M.

2. The contractor shall be responsible for providing adequate site access and parking for all construction equipment and materials.

3. All timber shall be installed in accordance with the requirements of the applicable building codes and standards.

4. The contractor shall be responsible for providing adequate site access and parking for all construction equipment and materials.

STEEL

1. All steel shall be in accordance with the provisions of ACI 308R and ACI 318M.

2. The contractor shall be responsible for providing adequate site access and parking for all construction equipment and materials.

3. All steel shall be installed in accordance with the requirements of the applicable building codes and standards.

4. The contractor shall be responsible for providing adequate site access and parking for all construction equipment and materials.

DESIGN CRITERIA

1. All design criteria shall be in accordance with the provisions of ACI 308R and ACI 318M.

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3. All design criteria shall be installed in accordance with the requirements of the applicable building codes and standards.

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REMARKS TO BE REFERENCED WITHIN DESIGN DRAWINGS

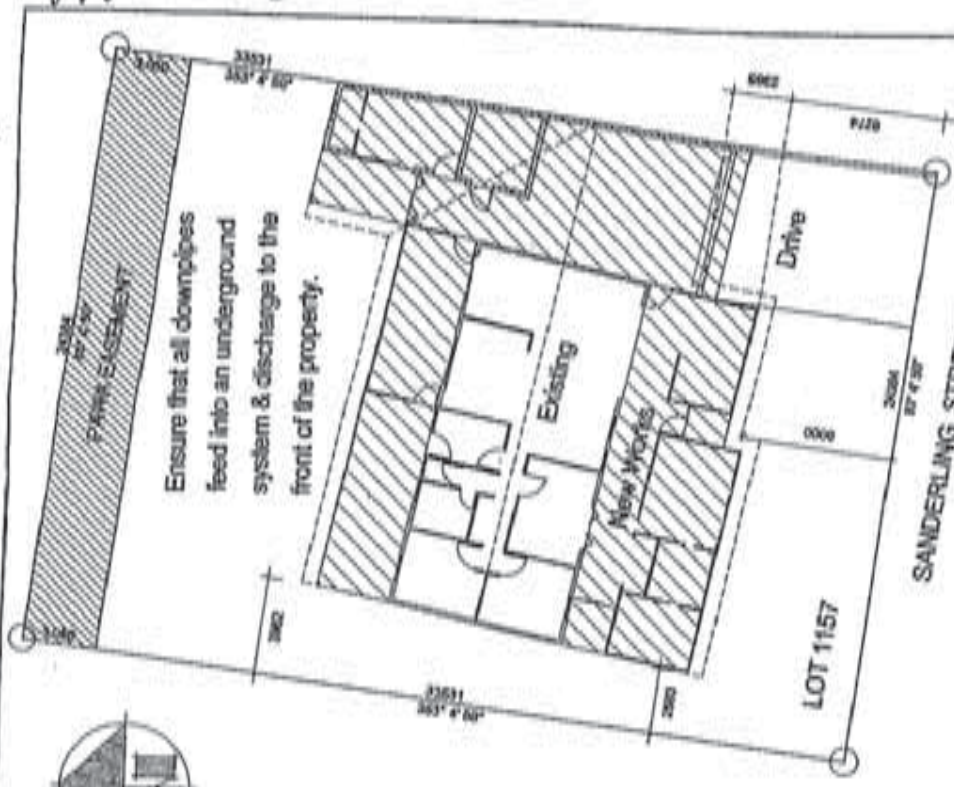
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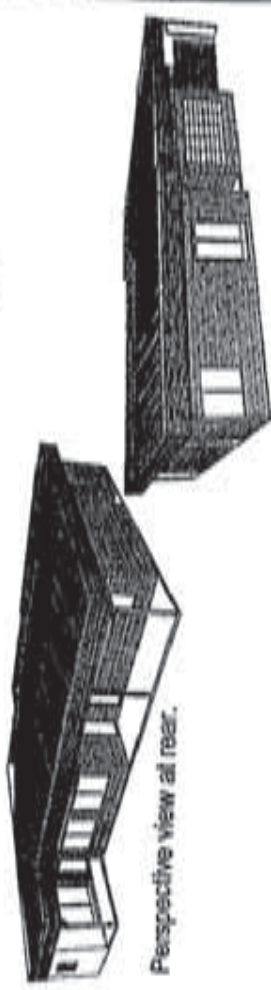
3. All remarks shall be installed in accordance with the requirements of the applicable building codes and standards.

4. The contractor shall be responsible for providing adequate site access and parking for all construction equipment and materials.

13



Ensure that all downpipes feed into an underground system & discharge to the front of the property.



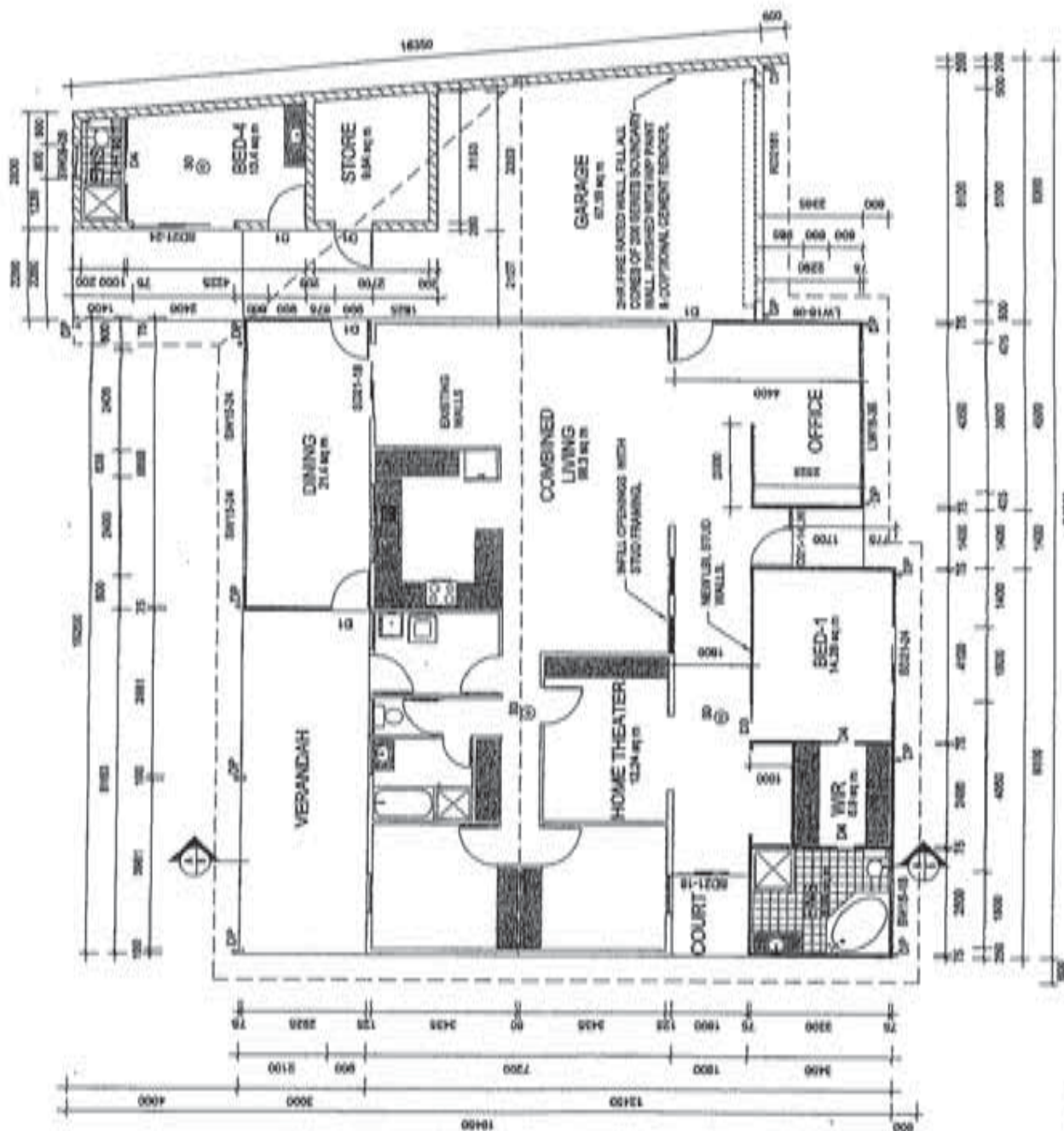
DATE	NO.	BY
NOV-2010	00765	MS
REVISION	S1	EW ZAUC

SITE PLAN 1:200
Perspective view at front.

PROPOSED ADDITIONS & RENOVATIONS
FOR: JOJIE GREEN
AT: No 15, LOT 1157 SANDERLING STREET, MULAGI, NT

© Copyright
KAPURSH BAILING DESIGN
15/16A SANDERLING STREET
MULAGI, NT 1308
Phone: 0418 800 403
Email: kaping@kaping.com.au

SMOKE ALARMS
 ALL SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE
 REQUIREMENTS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72
 (LATEST EDITION) AND THE NATIONAL ELECTRICAL CODE (NEC) (LATEST
 EDITION). SMOKE ALARMS SHALL BE TESTED AND MAINTAINED IN ACCORDANCE
 WITH THE REQUIREMENTS OF NFPA 72 (LATEST EDITION) AND THE
 NATIONAL ELECTRICAL CODE (NEC) (LATEST EDITION).
 SEE SPECIFICATIONS AND NOTES.



FLOOR PLAN 1:100

DATE: MBD-00765	DATE: FEB 2010
SCALE: S3	BY: E.W. ZAUC

PROPOSED ADDITIONS & RENOVATIONS
 FOR: JOJOE GREEN
 AT: No 15, LOT 1157 SANDERLING STREET, WULLAGI, NT

Copyright ©
 ARCHITECTURAL DESIGN SERVICES
 15/157 SANDERLING STREET, WULLAGI, NT
 Phone: 0418 688 400
 email: info@architectural.com.au



[Handwritten signature]



Please quote:1847981 RB:sv

20 August 2010

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 2439 (110) Amy Johnson Avenue Marrara Hundred of Bagot
Proposed Development: Ancillary Hostel Addition to an Existing Education
Establishment in 2 Stages**

Thank you for the Development Application referred to this office 5 August 2010, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

No issues are raised for this Development Application in relation to matters that fall within the responsibility of Darwin City Council.

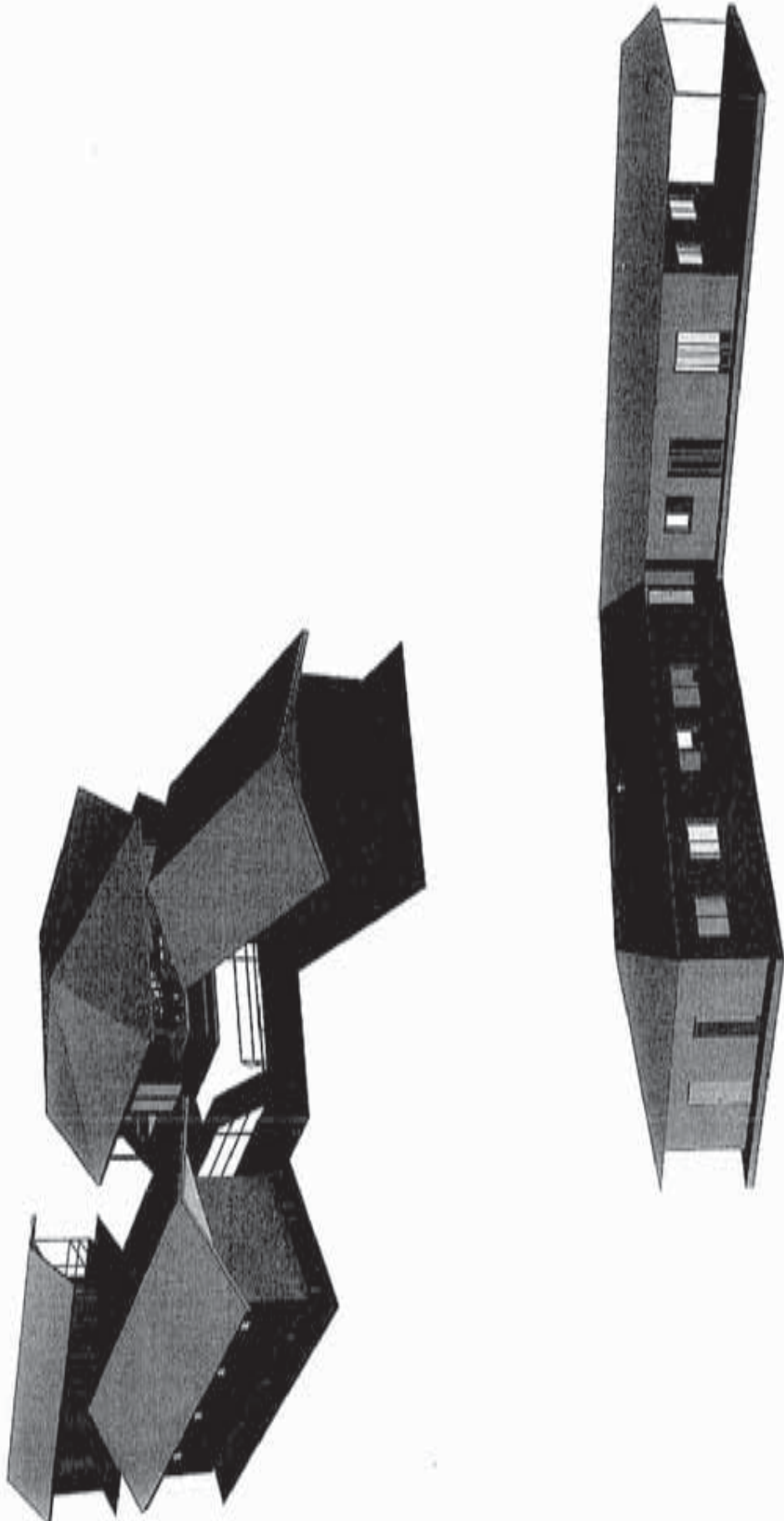
In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

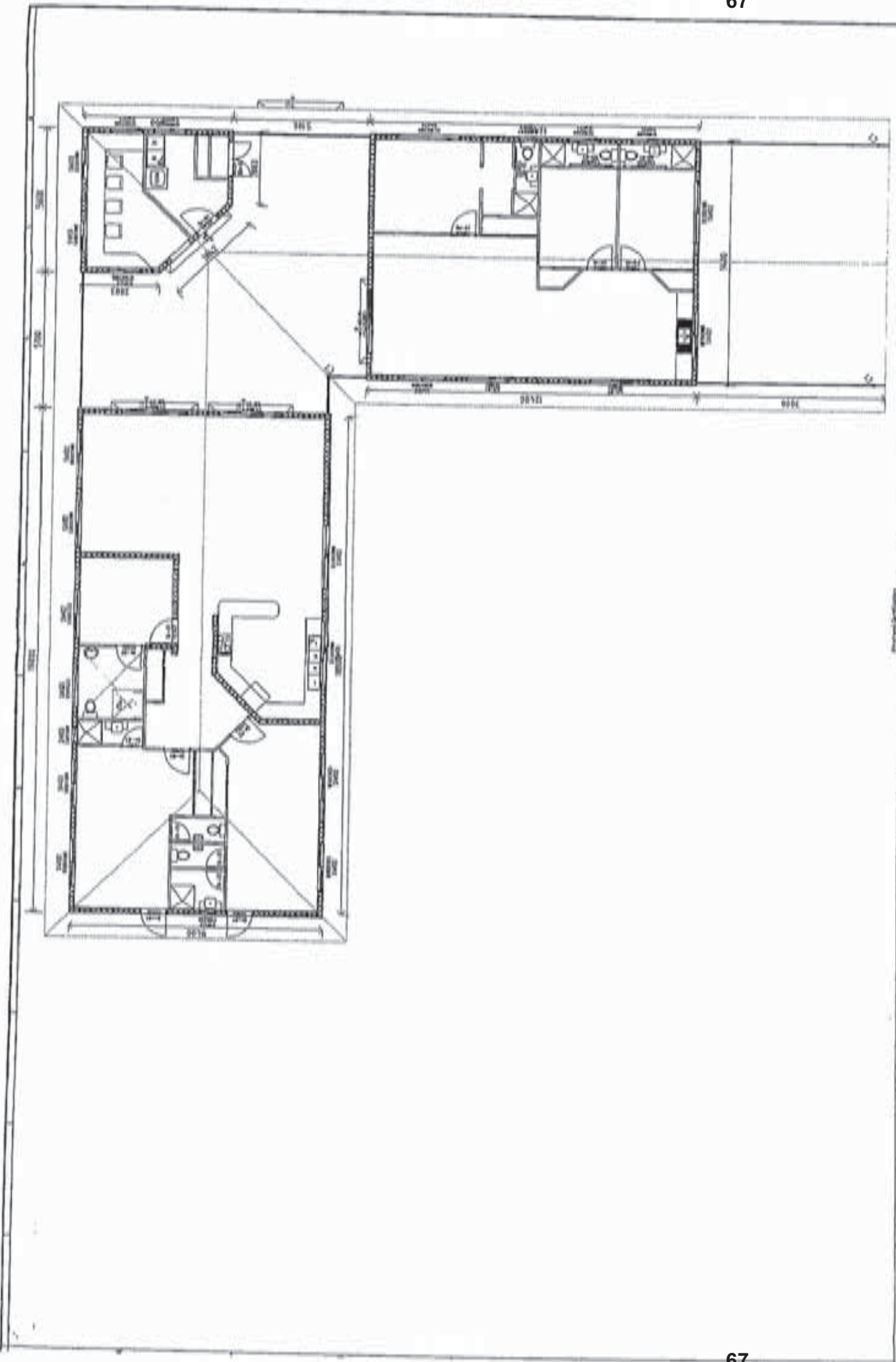
Yours faithfully

CINDY ROBSON
STRATEGIC TOWN PLANNER

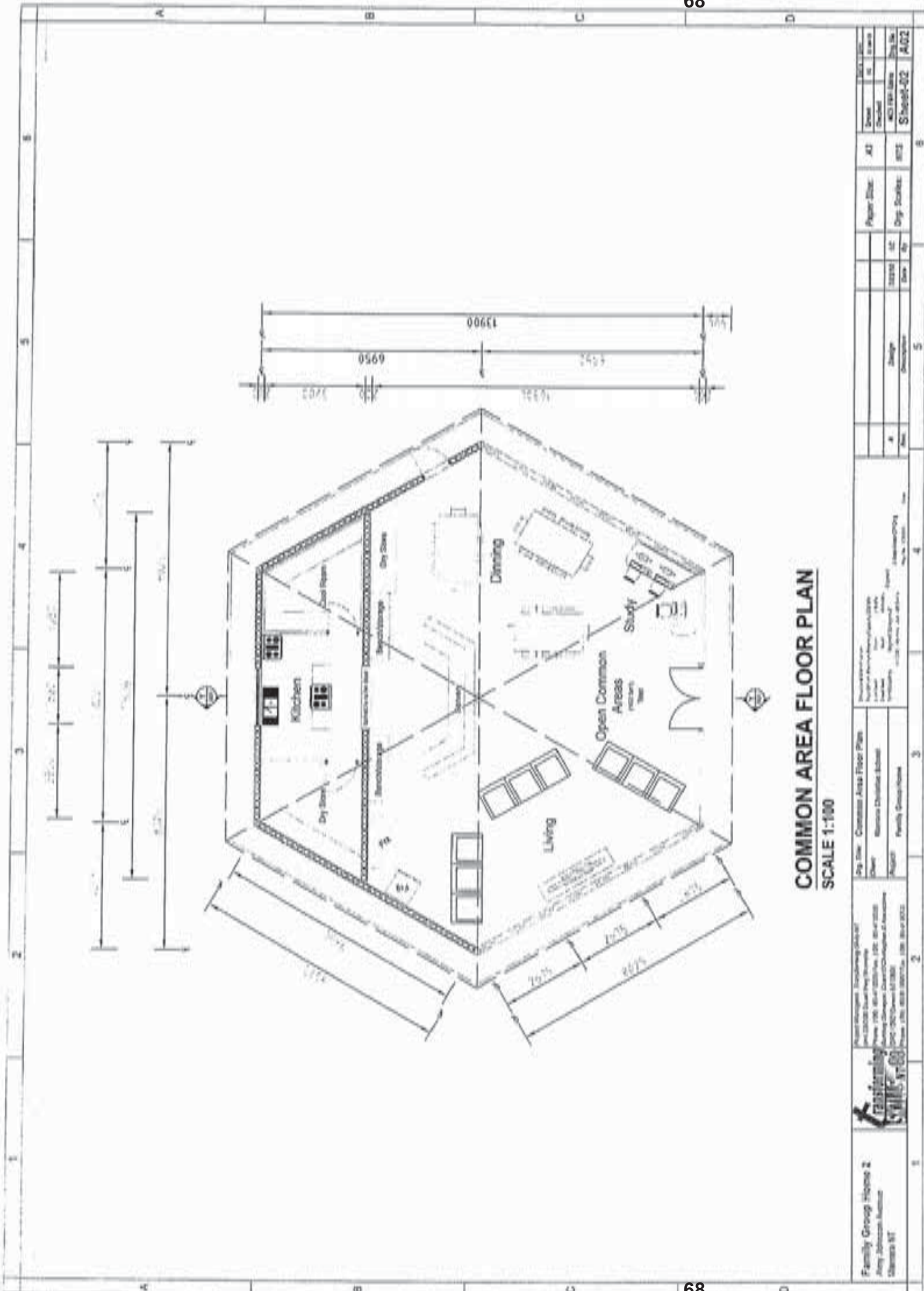
cc: NT Christian Schools Association Inc



MARRARA CHRISTIAN SCHOOL
FAMILY GROUP HOME STAGE 1 & 2

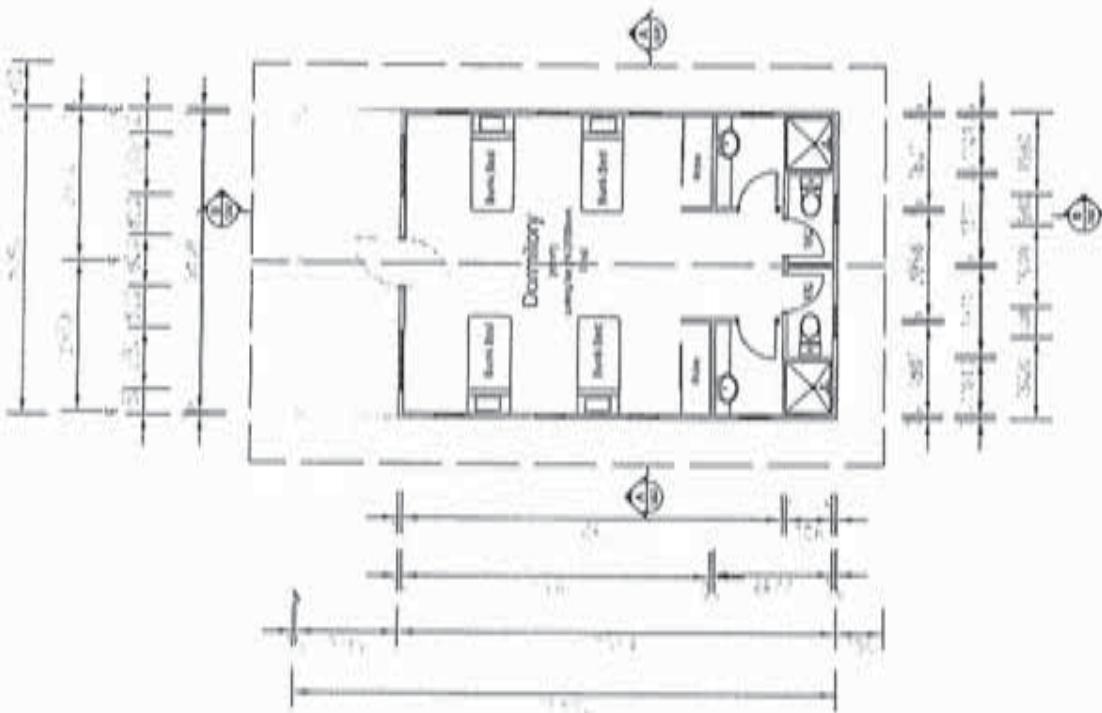


 <p>Transforming Skills NT 1000-1000 1000-1000 1000-1000</p>	<p>Client: Grant O'Callaghan & Associates 1000-1000 1000-1000</p>	<p>Project Name: Proposed Family Group Home NTCBA 1000-1000</p>	<p>Project Location: 1000-1000 1000-1000</p>	<p>Project Description: 1000-1000 1000-1000</p>	<p>Project Status: 1000-1000 1000-1000</p>	<p>Project Manager: 1000-1000 1000-1000</p>	<p>Project Date: 1000-1000 1000-1000</p>	<p>Project No.: 1000-1000 1000-1000</p>
<p>Project Management * Design * Engineering Consultancy * Construction * Repairs and Maintenance * Accredited Training</p>								

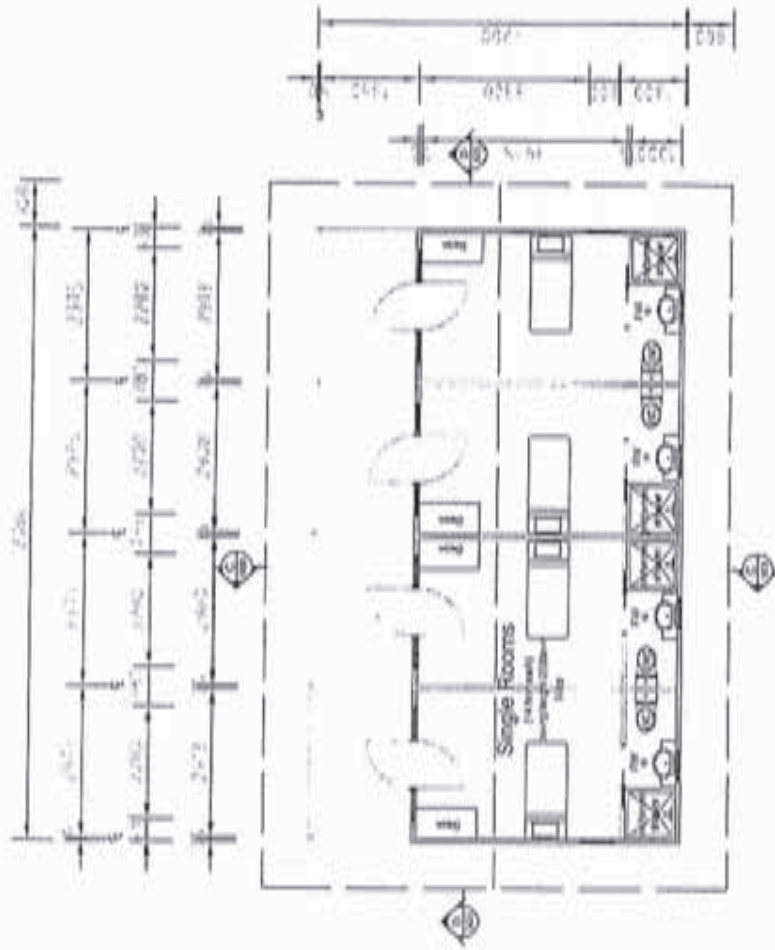


COMMON AREA FLOOR PLAN
SCALE 1:100

Family Group Home 2 Any Johnson Institute Marlboro VT	Architect: Building Group 1000 Building Group P.O. Box 1000 Marlboro VT 05844 Phone: (802) 251-1000	Project Name: Common Area Floor Plan Client: Roman Catholic School Project: Family Group Home	Architect: Building Group 1000 Building Group P.O. Box 1000 Marlboro VT 05844 Phone: (802) 251-1000	Date: 10/1/00	Drawn By: [Name]	Check By: [Name]	Scale: 1:100	Sheet: 002	Project: 002	Date: 10/1/00
				Date: 10/1/00	Drawn By: [Name]	Check By: [Name]	Scale: 1:100	Sheet: 002	Project: 002	Date: 10/1/00



DORMITORY FLOOR PLAN
SCALE 1:100



SINGLE ROOMS FLOOR PLAN
SCALE 1:100

Family Group Homes 2 Amy Johnson Home Martinsville		Project: 20230303 Family Group Homes 2 Date: 03/03/23 Scale: 1/8" = 1'-0" Project: 20230303 Family Group Homes 2 Date: 03/03/23 Scale: 1/8" = 1'-0"	Client: Martins Division School Project: Family Group Homes	Design: [Signature] Date: 03/03/23	Paper Size: A2 Grid Scale: 1/4" = 1'-0"	Sheet: 03 Title: A03
		Project: 20230303 Family Group Homes 2 Date: 03/03/23 Scale: 1/8" = 1'-0" Project: 20230303 Family Group Homes 2 Date: 03/03/23 Scale: 1/8" = 1'-0"				



Please quote: 1839767 CR:sv

4 August 2010

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 2595 (29) Carnoustie Circuit Marrara Hundred of Bagot
Proposed Development: Verandah and Shed Addition to an Existing Multiple Dwelling**

Thank you for the Development Application referred to this office 22 July 2010, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

No issues are raised for this Development Application in relation to matters that fall within the responsibility of Darwin City Council.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



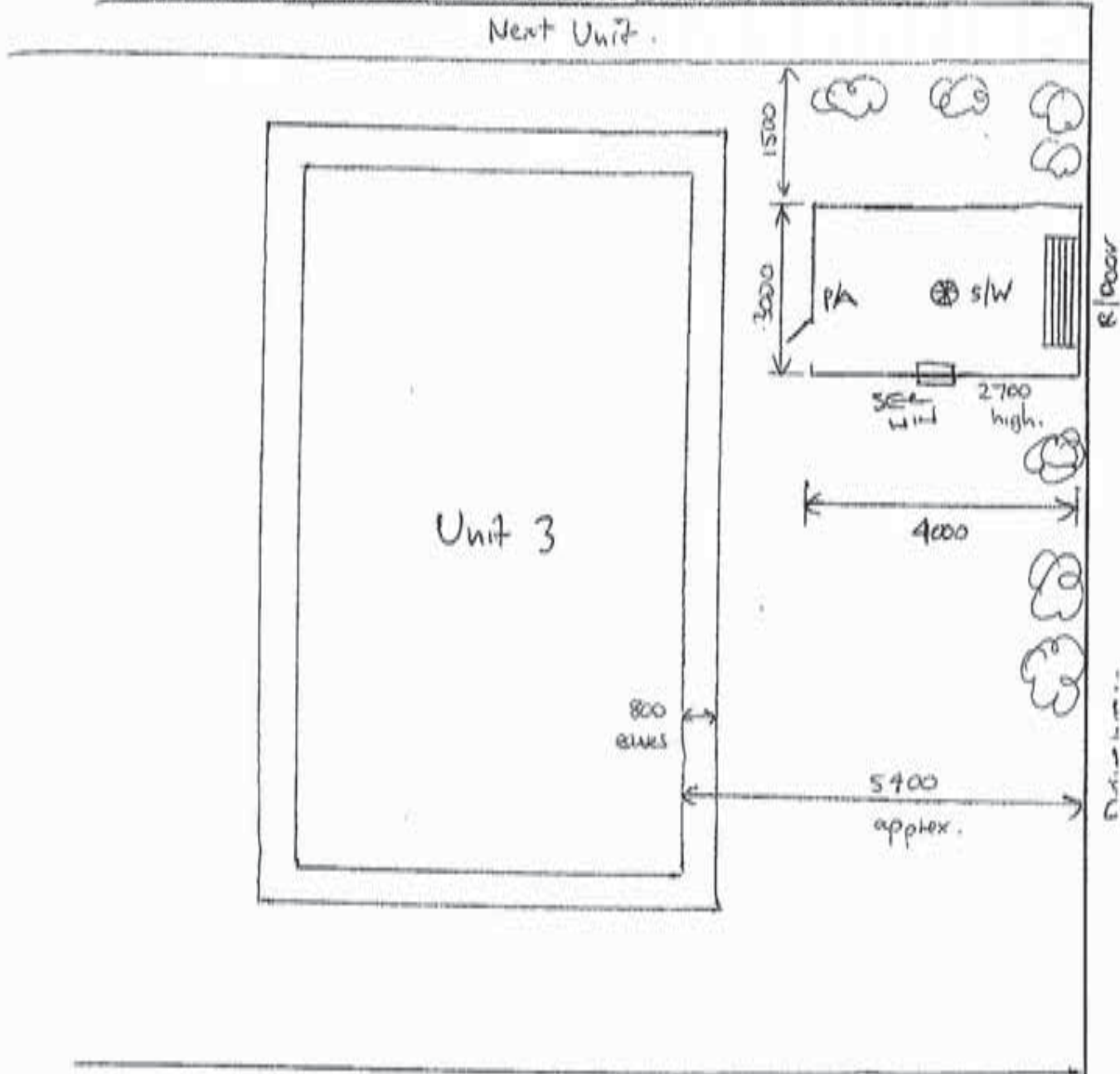
CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Christopher Gorst

NOTE: SITE PLAN BELOW, MARK DOOR OPENING DIRECTION, SHELVING, WINDOWS ETC.

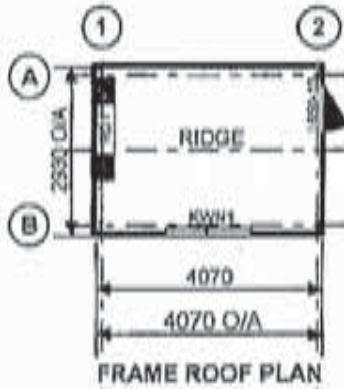
Next Unit.

U3/29 Carverstone Cct, Mamona



Driveway

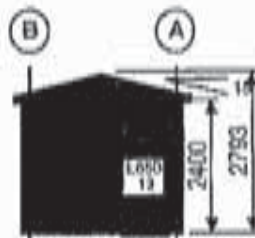
Boundary setbacks: sheds > 6m² must be min. 1.5m from side & rear boundary, 7.5m from front boundary. Sheds < 6m² can go closer refer developer covenants. Maintain 900mm fire separation gap somewhere between shed, boundary & house. For corner blocks secondary road setback is 2.5m.



ELEVATION GRID B



ELEVATION GRID A



ELEVATION GRID 2



ELEVATION GRID 1

WALL & ROOF
ROD X
BRACING
SUPPLIED.
WALL BRACING
MUST BE
FITTED TO ANY
2 GARAGE SIDE
WALL BAYS.



Please quote: 1846178 CR:sv

20 August 2010

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Portion 2847, (73) Pruen Road Berrimah Hundred of Bagot
Proposed Development: Warehouse Extension With a Reduced Rear Setback
And Exceeding the 8.5m Height Limitation NOT EXHIBITED**

Thank you for the Development Application referred to this office 5 August 2010, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

No issues are raised for this Development Application in relation to matters that fall within the responsibility of Darwin City Council.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully

CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Chris Lovewell

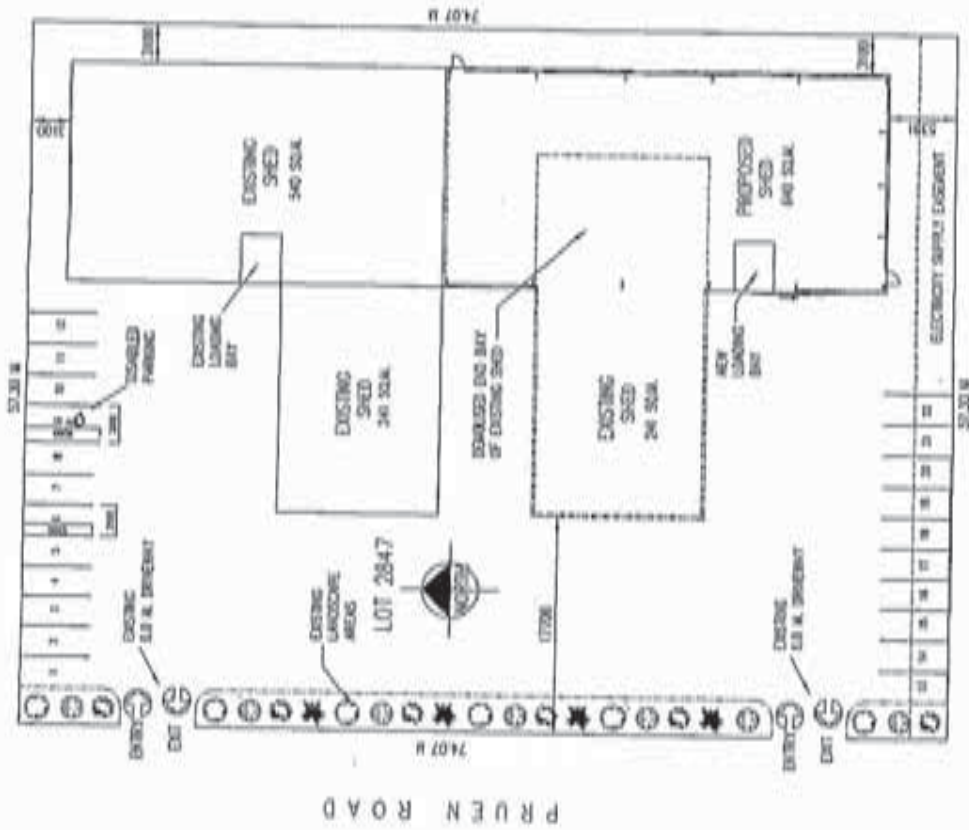
SITE PLAN

SCALE 1:400

LOT AREA = 4244 SQM.
 BUILDING TOTAL AREA = 3602 SQM.
 PLOT RATIO = 0.29
 STORAGE SHED AREA = 1502 SQM.
 OFFICE AREA = 120 SQM.

CARPARKING

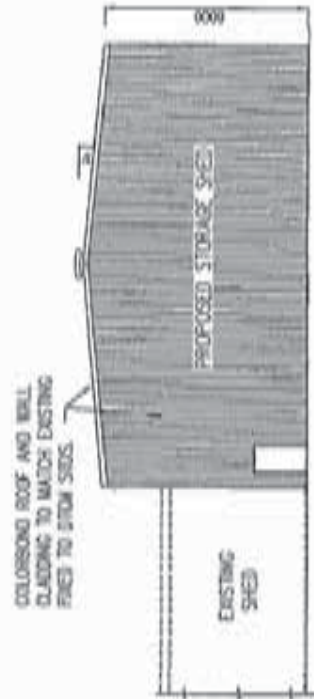
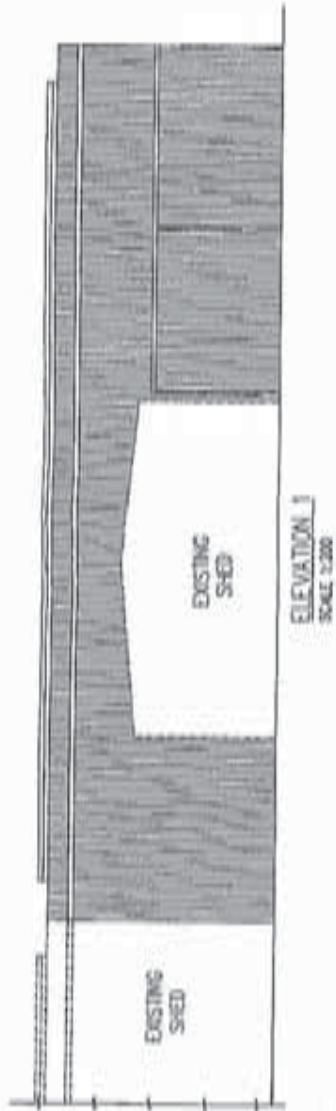
- 1 - MOBILE
- 21 - NORMAL



MK
 Maurice Kelly
 Associates Pty. Ltd.
M. Kelly 29.7.2010

PROPOSED STORAGE SHED
 TO EXISTING DEVELOPMENT
 PORTION 2847 PRUEN RD
 BODORMANS N.T.





M/K
Maurice Kelly
& Associates Pty. Ltd.

M.K. Kelly 29.4.2010

PROPOSED STORAGE SHED
TO EXISTING DEVELOPMENT
PORTION 2847 PRIVEN RD
BEDFORDHAM N.T.

 MAURICE KELLY & ASSOCIATES PTY. LTD.
10/11 WILSON ST. ST. LOUIS, MO 63103
TEL: 631 241 1111 FAX: 631 241 1112
WWW.MKAUS.COM

Please quote: 1839885 RB:sv

4 August 2010

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Section 3071 (648) Vanderlin Drive Berrimah, Hundred of Bagot
Proposed Development: Caravan (For Use as a Second Care Taker's
Residence) Ancillary to an Existing Place of Worship.**

Thank you for the Development Application referred to this office 22 July 2010, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

No issues are raised for this Development Application in relation to matters that fall within the responsibility of Darwin City Council.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

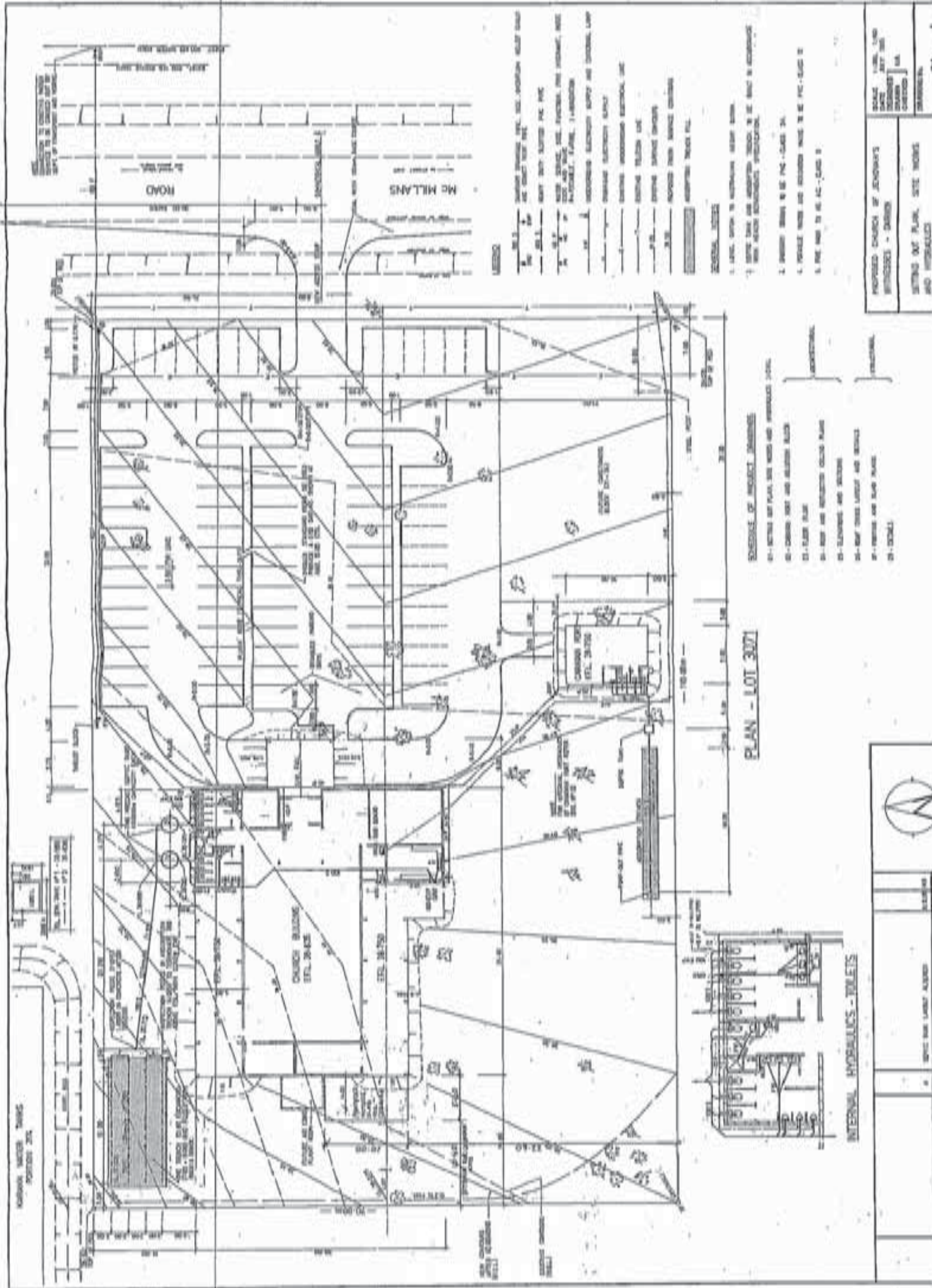
If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully

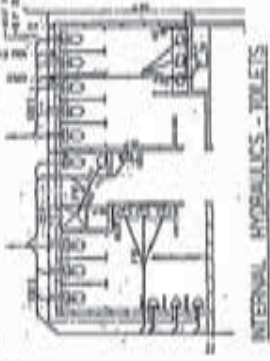


CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: George Vanikiotis



PLAN - LOT 3071



INTERNAL HYDRAULICS - TOILETS

- LEGEND**
- 1. 1/2" DIA. WATER MAIN
 - 2. 1/2" DIA. WATER SERVICE LINE
 - 3. 1/2" DIA. WATER SERVICE LINE
 - 4. 1/2" DIA. WATER SERVICE LINE
 - 5. 1/2" DIA. WATER SERVICE LINE
 - 6. 1/2" DIA. WATER SERVICE LINE
 - 7. 1/2" DIA. WATER SERVICE LINE
 - 8. 1/2" DIA. WATER SERVICE LINE
 - 9. 1/2" DIA. WATER SERVICE LINE
 - 10. 1/2" DIA. WATER SERVICE LINE
 - 11. 1/2" DIA. WATER SERVICE LINE
 - 12. 1/2" DIA. WATER SERVICE LINE
 - 13. 1/2" DIA. WATER SERVICE LINE
 - 14. 1/2" DIA. WATER SERVICE LINE
 - 15. 1/2" DIA. WATER SERVICE LINE
 - 16. 1/2" DIA. WATER SERVICE LINE
 - 17. 1/2" DIA. WATER SERVICE LINE
 - 18. 1/2" DIA. WATER SERVICE LINE
 - 19. 1/2" DIA. WATER SERVICE LINE
 - 20. 1/2" DIA. WATER SERVICE LINE
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 - 23. 1/2" DIA. WATER SERVICE LINE
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 - 29. 1/2" DIA. WATER SERVICE LINE
 - 30. 1/2" DIA. WATER SERVICE LINE
 - 31. 1/2" DIA. WATER SERVICE LINE
 - 32. 1/2" DIA. WATER SERVICE LINE
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 - 47. 1/2" DIA. WATER SERVICE LINE
 - 48. 1/2" DIA. WATER SERVICE LINE
 - 49. 1/2" DIA. WATER SERVICE LINE
 - 50. 1/2" DIA. WATER SERVICE LINE

- SCHEDULE OF PROJECT DRAWINGS**
- 01 - SITE PLAN, SEE NOTES AND HYDRAULIC PLAN
 - 02 - CHURCH FOOT AND REAR ELEVATIONS
 - 03 - PLAN PLAN
 - 04 - SEE AND REQUESTED GROUND PLAN
 - 05 - ELEVATIONS AND SECTION
 - 06 - SEE THESE LAYOUT AND NOTES
 - 07 - FLOOR AND SLAB PLANS
 - 08 - (SEE)

PROPOSED CHURCH OF JEWELRY'S
 WITNESSES - DARRIN
 SETTING OUT PLAN, SEE NOTES
 AND HYDRAULIC



SCALE: 1/8" = 1'-0"

DATE: 10/15/10

DRAWN BY: [Name]

CHECKED BY: [Name]

Please quote: 1837275 CR:sv

7 August 2010

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 3802 (5) Thompson Crescent Jingili, Town of Nightcliff
Proposed Development: Shade Sail Addition to an Existing Single Dwelling
with A Reduced Front Setback.**

Thank you for the Development Application referred to this office 19 July 2010, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

No issues are raised for this Development Application in relation to matters that fall within the responsibility of Darwin City Council.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

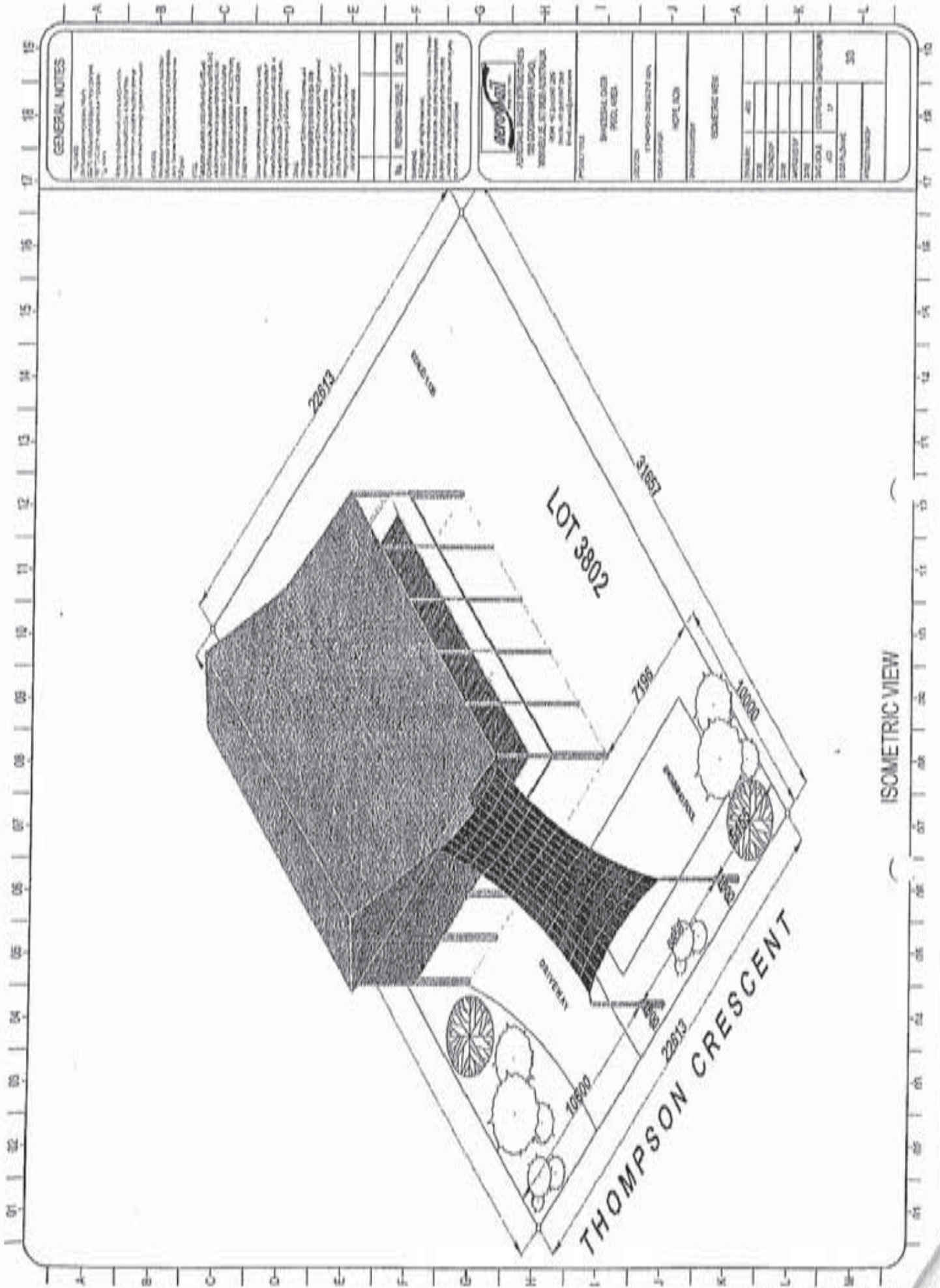
If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Ms Suesanne Kite



27 August 2010

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 3950, (46) Parer Drive Wagaman Town of Nightcliff
Proposed Development: Shade Sail Addition To An Existing Single Dwelling
With A Reduced Front Setback**

Thank you for the Development Application referred to this office 13 August 2010, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

No issues are raised for this Development Application in relation to matters that fall within the responsibility of Darwin City Council.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



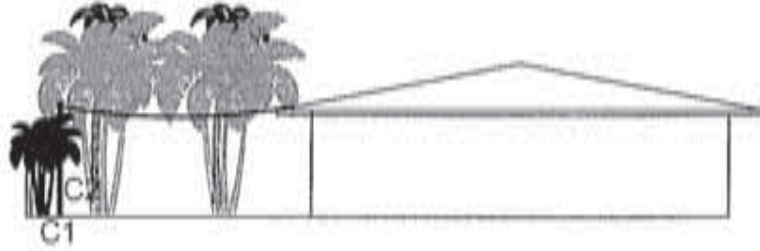
CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Solsave Pty Ltd

ELEVATION



ELEVATION



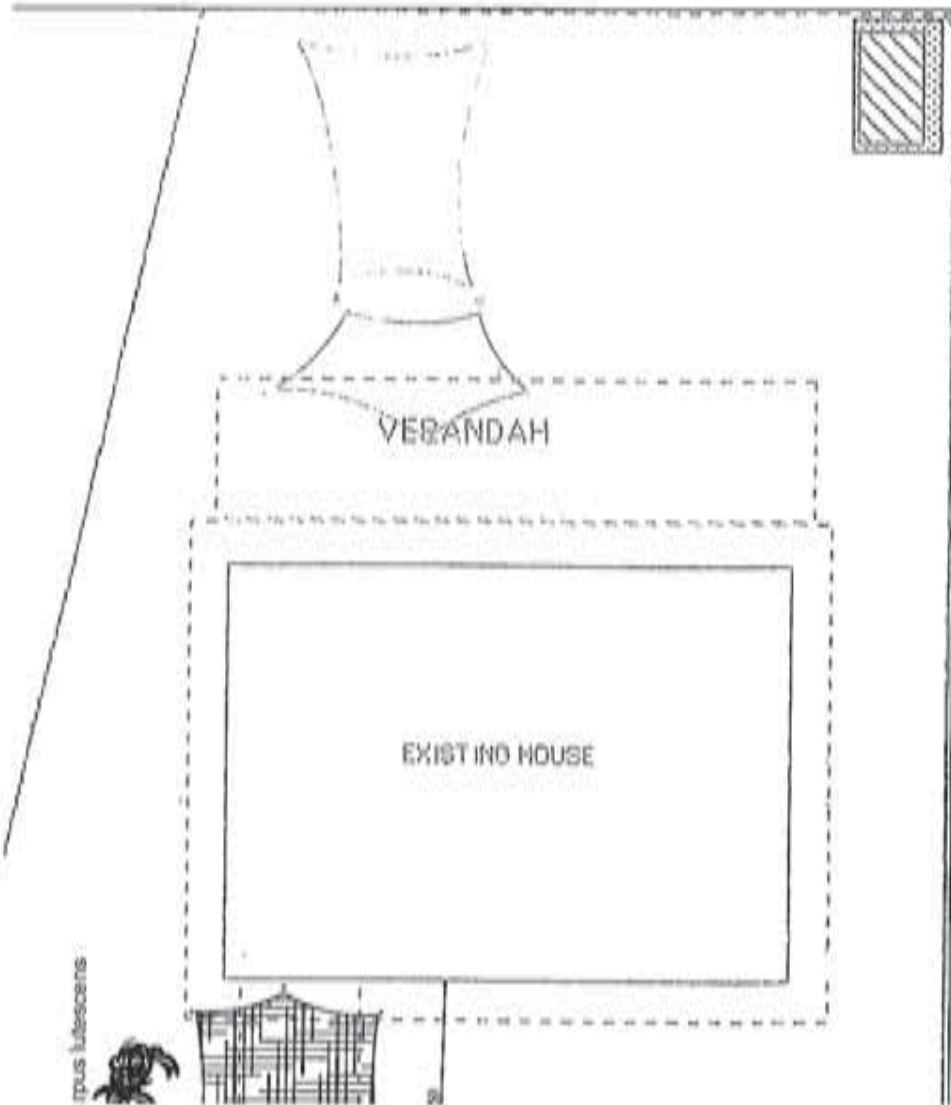
LOT 3950

550 / 3950 / 008
10570SC

POST SCHEDULE

- C1 - 100 x 4 SHS 300
- C2 - 100 x 3 SHS 250

SHADETECH
PROPOSED
SHADE STRUCTURE





Please quote 1852539 CR:sv

6 September 2010

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 5420 (129) Playford Street Parap Town of Darwin
Proposed Development Domestic Shed**

Thank you for the Development Application referred to this office 13 August 2010, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

No issues are raised for this Development Application in relation to matters that fall within the responsibility of Darwin City Council.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

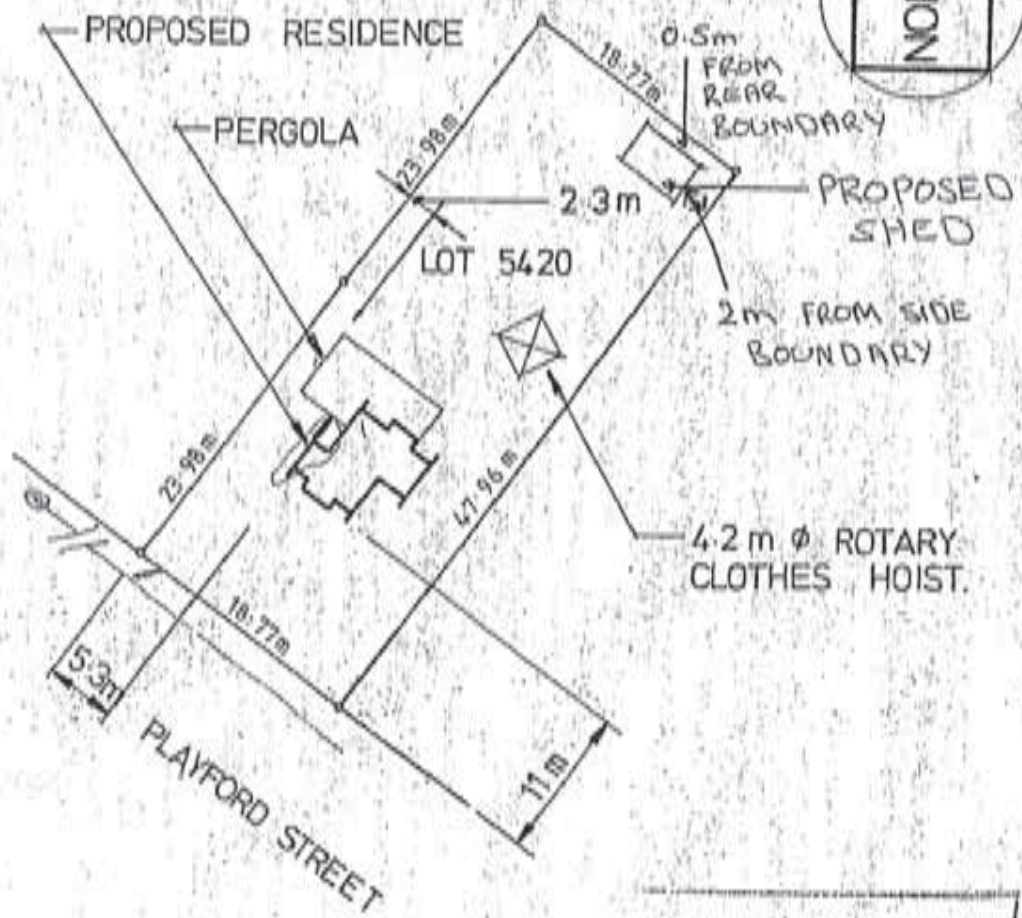
If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully

CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Mrs Alison Alber

37



35.7
1.2
2.3

3 SATISFACTORY FOR
VISION FOR DRAINAGE
APPROVAL ONLY

[Signature]
Building Authy Branch

SITE PLAN.

LOT 5420 ARAFURA

TITLE PROPOSED PRIVATE RESIDENCE TYPE HL1. FOR DARWIN CONSTRUCTIONS (NT.) P.L.	DRAWING N ^o	831218 / 2
	SCALE	1 500
	DATE	OCT 1983



Brian Lewins via
 Shed Boss Darwin
 56 Raphael St
 Darwin NT 0821
 Tel 89943044
 Fax 89944188
 AEN 231 242 24719

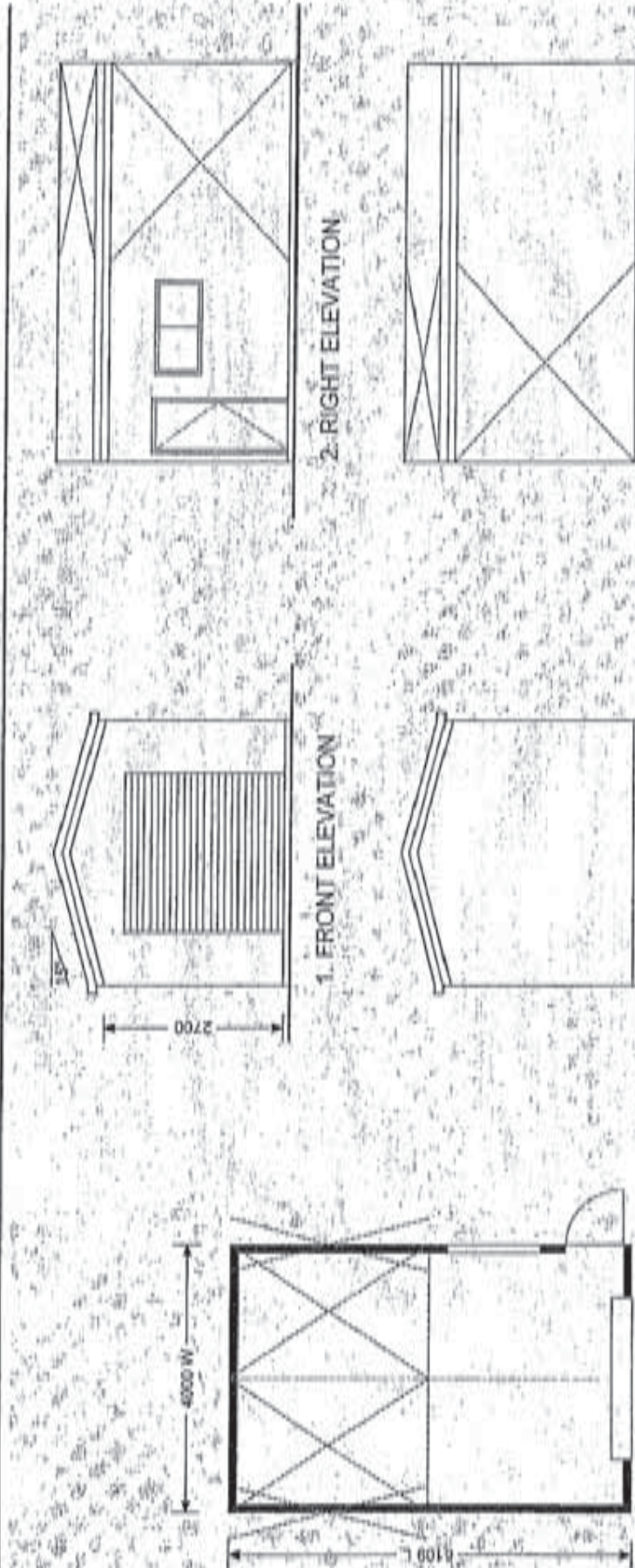
Plan Sheet

Project : 4037-4923-0-Alber
 Lot on RP : Lot on RP
 Parish :
 County :
 Wind Speed : C61

Customer : Allison Alber
 Site Address :
 Suburb : C-50
 City : NT
 State :

These drawings are to be read in conjunction with
 Shed Boss standard structural detail drawings.
 Use figured dimensions only.

Note: Drawing is NOT TO SCALE



FLOOR PLAN

3. REAR ELEVATION

1. FRONT ELEVATION

2. RIGHT ELEVATION

4. LEFT ELEVATION

Please quote: 1839767 CR:sv

4 August 2010

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 5562 (2) Bayview Street Fannie Bay, Town of Darwin
Proposed Development: Verandah Addition to an Existing Multiple Dwelling
(unit 3)**

Thank you for the Development Application referred to this office 22 July 2010, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

No issues are raised for this Development Application in relation to matters that fall within the responsibility of Darwin City Council.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

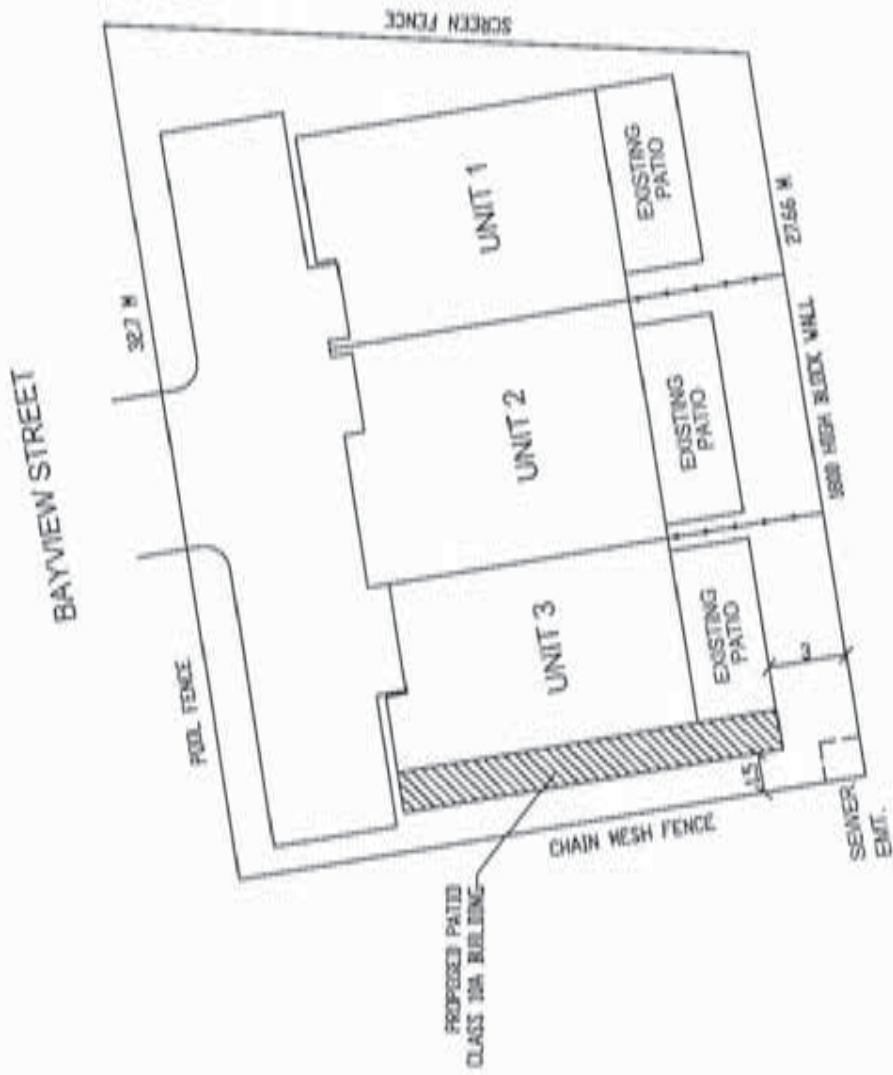
If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Benck Marketing Services Pty Ltd



SITE PLAN
1:200

Public World Head Office: 26 Calman St. Collins, Ok 48179 Ph (977) 4001158 SCALE @ A3: 1:100 (unless otherwise shown)		CONSULTANT: RF DRAWN BY: CR SHEET: 1 OF 4		PROPOSED PATIO FOR PHILLIP EATWELL & CHERYL BERRYMAN 3/2 BAYVIEW STREET FANNIE BAY NT		DESIGN WIND SPEED: 70 m/s vt - V500 to AS1170.2
		REG. NO. 46360CR © COPYRIGHT 2010 Public World		LOT No. 5992 LOC. 200	DATE: 09-06-2010 REV. DATE:	JOB NO.: D313 REV.



Please quote: 1839770 CR:sv

4 August 2010

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 6103 (14) Sergison Circuit Rapid Creek, Town Of Nightcliff
Proposed Development: 10x2 and 1x3 Bedroom Multiple Dwellings in 1x4
Storey Building Including Ground Level Carparking**

Thank you for the Development Application referred to this office 27 July 2010, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**
 - a). In order to comply with Councils Waste Management Policy, a tap and drainage connected to the sewer are required to be supplied within the proposed bin enclosure. Full details of Councils Waste Management Policy can be accessed at the Civic Centre or at www.darwin.nt.gov.au/policies.htm
- i). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

...2/

- a). **Council requests the Authority requires a schematic plan demonstrating all stormwater to be collected on the site and discharged underground to Council's stormwater drainage system.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged underground to Council's drainage network.
- 1). The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system.
 - 2). Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into Council's stormwater drainage system. It is also necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager of Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.
- Kerb crossovers and driveways to the site shall be provided and disused crossovers removed, public footpath and cycleways shall be provided, stormwater shall be collected and discharged into Council's drainage network, and reinstatement works carried out, all to the requirements and satisfaction of the General Manager infrastructure, Darwin City Council and at no cost to Council.
- Any gate over an access to a public road shall be placed on the subject site at least 4.5m from the face of the kerb line of the adjoining public road.
- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

...3/

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Cindy Robson', with a long horizontal flourish extending to the right.

CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Paul James

Please quote: 1845275 CR:sv

13 August 2010

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 6609 (20) Kailis Street Wanguri Town of Nightcliff
Proposed Development: Verandah Addition to an Existing Single Dwelling with
a Reduced Side Setback**

Thank you for the Development Application referred to this office 22 July 2010, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

No issues are raised for this Development Application in relation to matters that fall within the responsibility of Darwin City Council.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Andrew Swenson

1. The information on this drawing is based on the information provided by the client and is not to be used for any other purpose without the written consent of the architect.

2. The architect is not responsible for the accuracy of the information provided by the client.

3. The architect is not responsible for the accuracy of the information provided by the client.

4. The architect is not responsible for the accuracy of the information provided by the client.

5. The architect is not responsible for the accuracy of the information provided by the client.

IN 4D
 P.O. Box 4208
 Christchurch 8140
 03 378 0122
 info@in4d.co.nz
 www.in4d.co.nz

Design: Architecture - building envelope
 J.A.B.J. Serrano

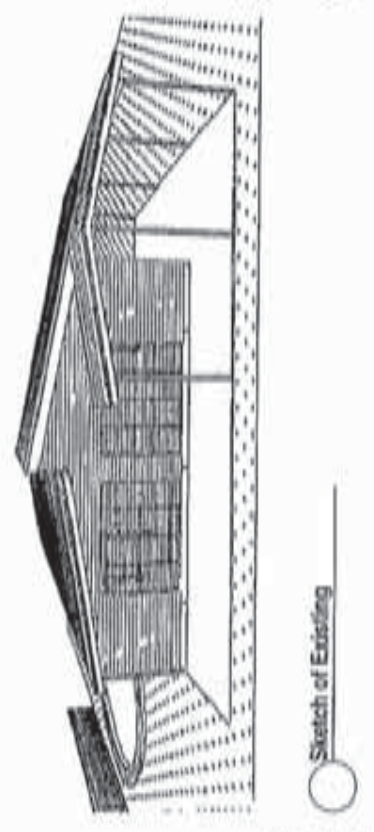
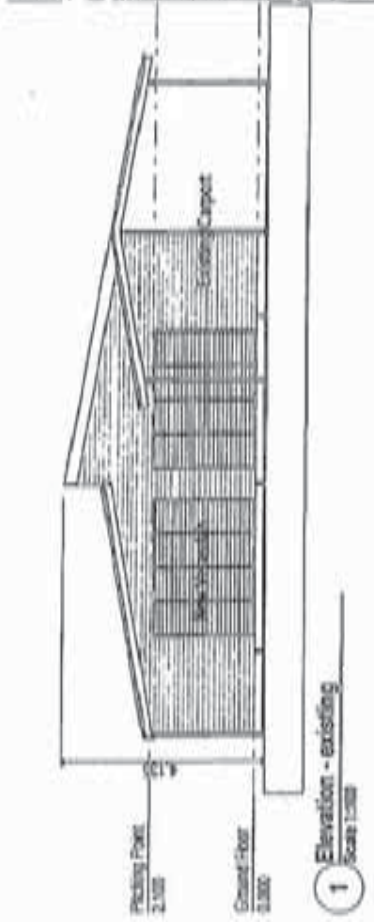
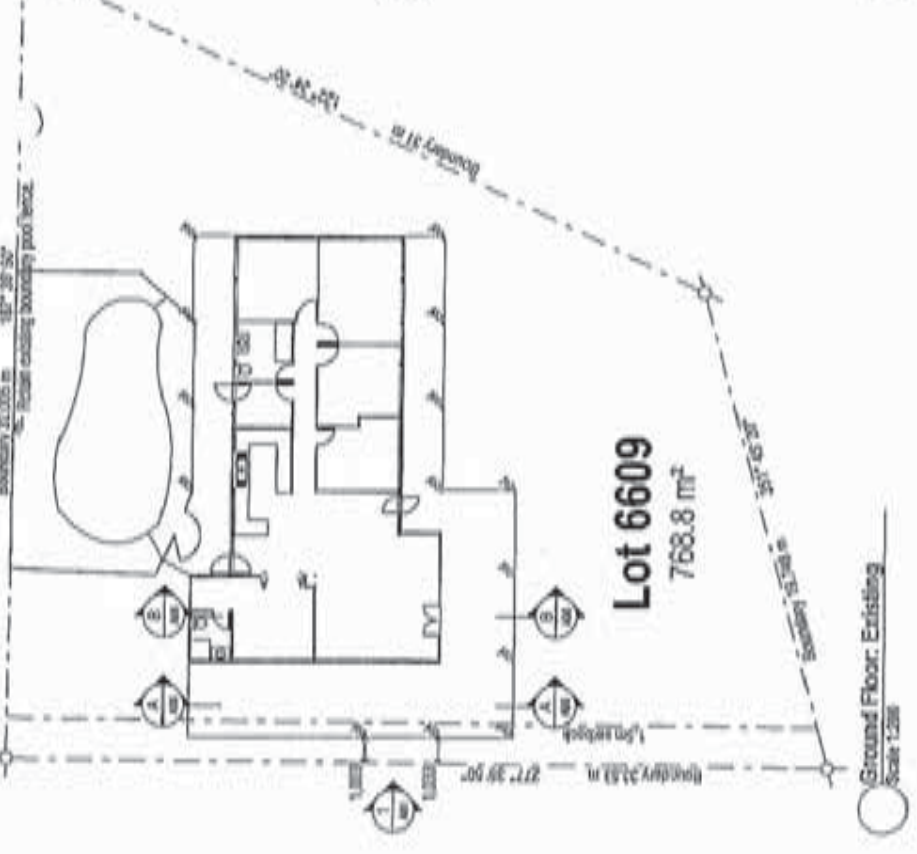
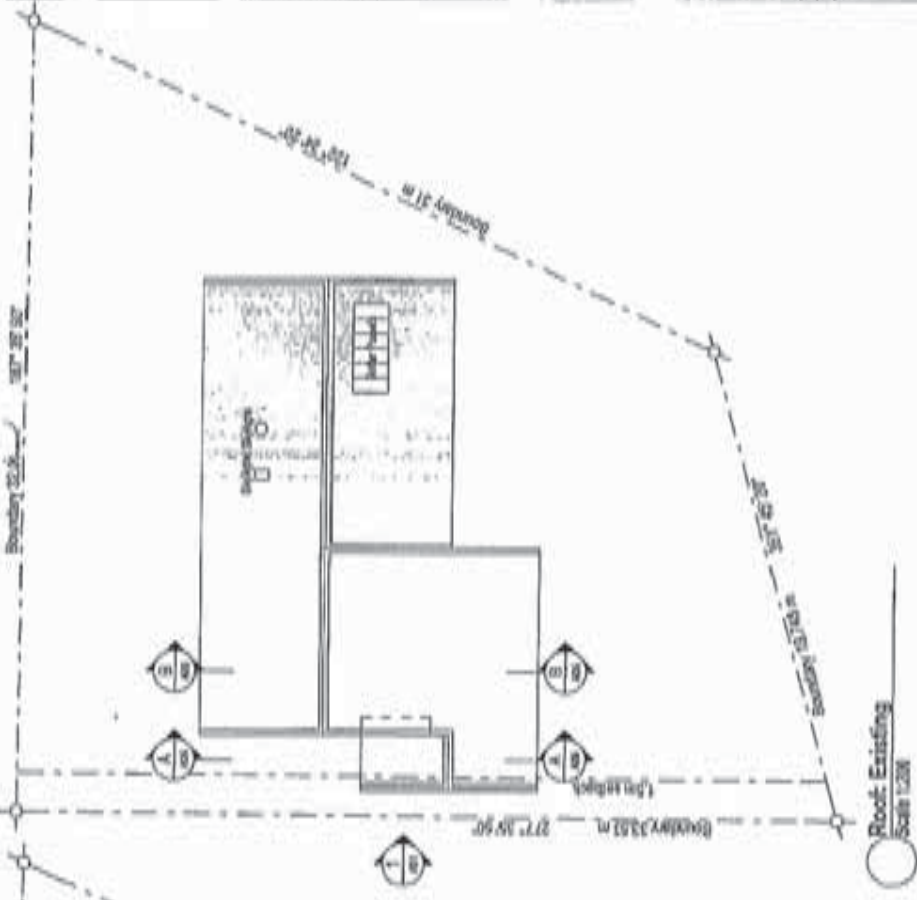
Steel & wood fence upgrades
 20 Kaiti St
 Hangerup Mt

Roof Upgrade
 Existing House Site Plans

Site No: 1286, 12173, 12188
 Date: 2018

Design Development
 No. 01

A01



Please quote: 1847828 CR:sv

20 August 2010

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 6939 (1) Tsoolos Place The Narrows Town of Darwin
Proposed Development: Verandah Addition For an Existing Multiple Dwelling
(Unit 4)**

Thank you for the Development Application referred to this office 5 August 2010, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

No issues are raised for this Development Application in relation to matters that fall within the responsibility of Darwin City Council.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



CINDY ROBSON
STRATEGIC TOWN PLANNER

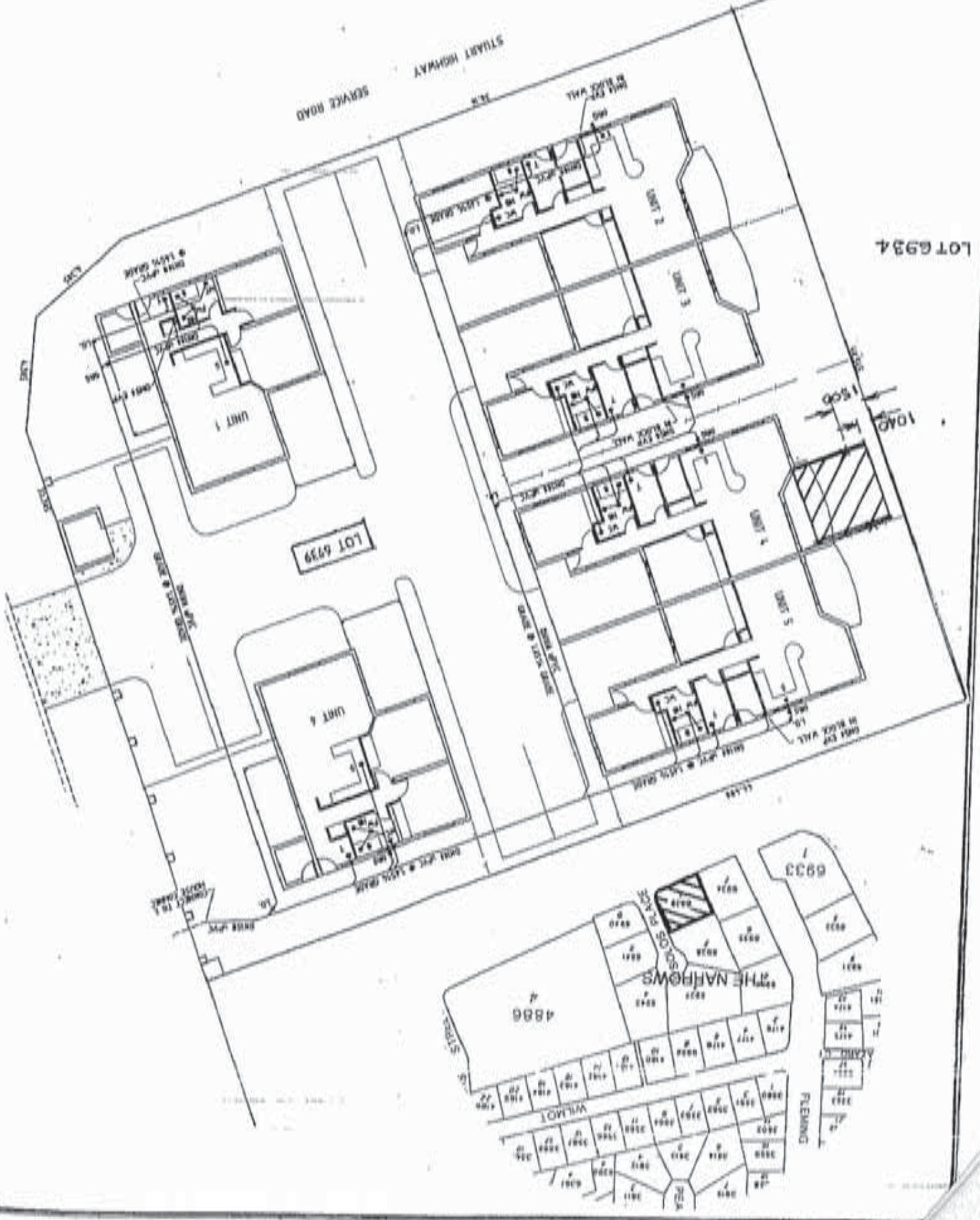
cc: NAC Pty Ltd

TCM

LOWES CHAPPELL MUDGWAY PTY LTD
Consulting Engineers
17-19 Lindley Street Darwin NT 0800
GPO Box 2990 Darwin NT 0801
Tel: 081 228 299 Fax: 081 228 227
Phone: 08 8923 4400
Fax: 08 8923 4444
Email: info@chappellmudgway.com.au

MBA
THE ARMS, CARPORT, VERANDAH, GARAGES

Lot 6939 Unit 4/1 Tsolios Place, THE NARROWS! 4.4 x 4.0 rear



Please quote: 1839768 CR:sv

4 August 2010

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 6947 (10) Glyde Court Leanyer, Town of Sanderson
Proposed Development: Verandah Addition to an Existing Multiple Dwelling
(Unit 2)**

Thank you for the Development Application referred to this office 22 July 2010, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

No issues are raised for this Development Application in relation to matters that fall within the responsibility of Darwin City Council.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Benck Marketing Service Pty Ltd



SITE PLAN
1:200

PATIO WORLD NT

REG. NO. 453660R
© COPYRIGHT 2010 Patio World

Patio World Head Office:
30 Cameron St.
Calgary, AB T2C 4G7
Ph (403) 403-1108
SCALE @ AS: 1/300
(indicates otherwise shown)

CONSULTANT: DC
DRAWN BY: CR
SHEET: 1 OF 3

DESIGN WIND SPEED: 70 mph Vr - V500 to AS170.2
LOT No. 6947 DATE: 24-06-2010 JOB NO.: D318
LOC: 685 REV. DATE: REV. A

**PROPOSED PATIO FOR
CATHY COUSINS & CHRIS ARMISTEAD
2/10 GLYDE COURT
LEANNYER NT 0812**



Please quote: 1848027 CR:sv

20 August 2010

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 7778 (95) Ruddick Circuit Stuart Park Town of Darwin
Proposed Development: Shed Addition to an Existing Single Dwelling With a
Reduced Front and Side Setback**

Thank you for the Development Application referred to this office 5 August 2010, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

No issues are raised for this Development Application in relation to matters that fall within the responsibility of Darwin City Council.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Stratco NT

Please quote 1851338 CR:sv

27 August 2010

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 8993, (37) Ellengowan Drive Brinkin Town of Nightcliff
Proposed Development: Verandah Addition to an Existing Multiple Dwelling
(Unit 3) With a Reduced Side Setback**

Thank you for the Development Application referred to this office 13 August 2010, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

No issues are raised for this Development Application in relation to matters that fall within the responsibility of Darwin City Council.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

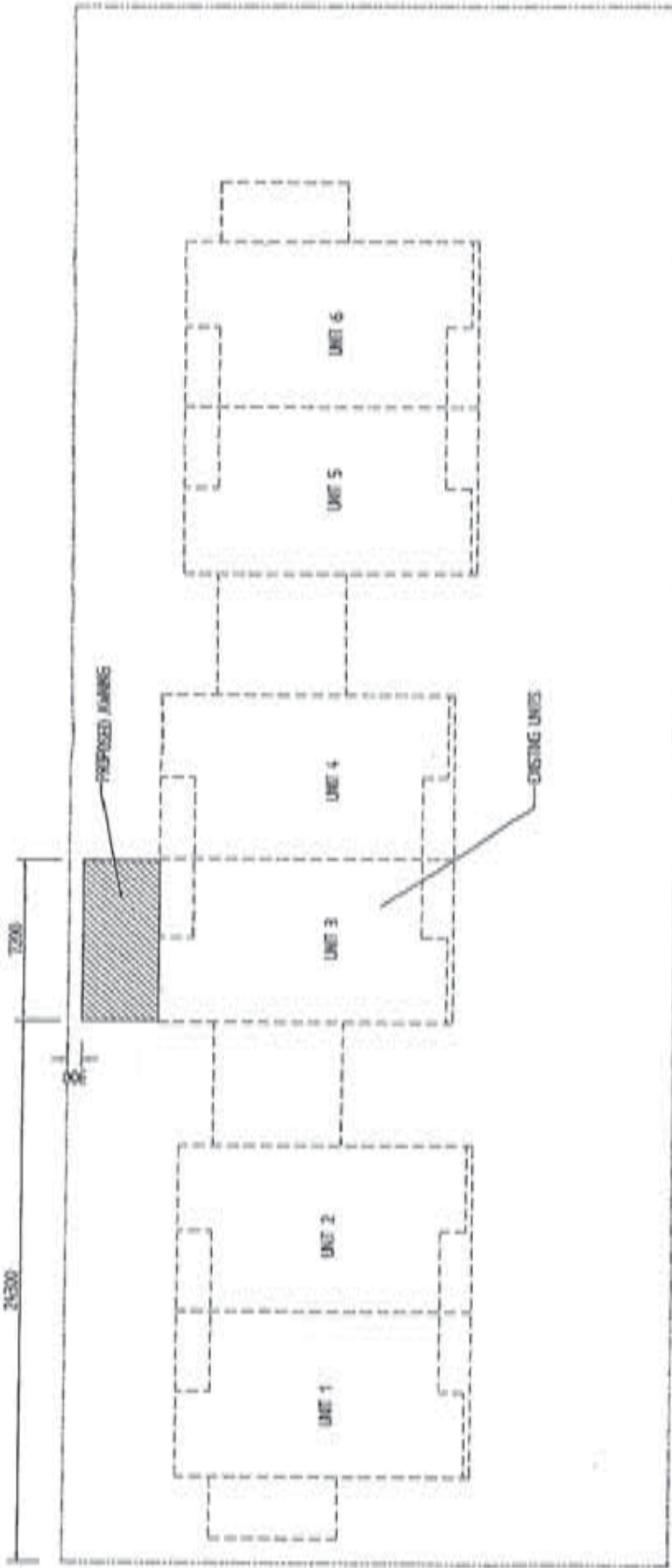
Yours faithfully



CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: Peter M Sims

(UNITS IN PARALLEL)



SITE PLAN
 N.E. 1/4 SEC. 36
 T.15N. R.15E.

Subject to Building Approval
STRUCTURALLY CONCURRED
 Section 49 Design Certificate
 No. 10 36 7-2009-10-1
 528 1853
 Jaya Balakrishna - MR. Assoc. Prof. AP02B-3
 M.E. Civil / Structural Engineer
 10/05/2010

**DRAFTING
 DESIGN
 DETAIL**
 Telephone: 305 85 454207 Fax: 305 85 454207
 Carl Harris
 4081 So. 75th Ave. #204
 Ft. Lauderdale, FL 33309
 Email: carl@draftingdesign.com

Project: **AWNING TO UNIT 3
 LOT 8993 ELLENGOWAN DRIVE
 BRONXON**

Designed by: _____
 Drawn by: **CH**
 Decided by: _____
 Date: **5/05/10**

Title: **NOTES
 AND DRAWING INDEX**

Scale: **1/8" = 1'-0"**
 Job No.: **CMT**
 Drawing No.: **CMT-S2**
 Rev: _____



Please quote 1851245 CR:sv

27 August 2010

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 9198, (7) Ellengowan Drive Brinkin Town of Nightcliff
Proposed Development: Addition of 6x2 Storey Ancillary Hostel
Accommodation Buildings to an Existing Education Establishment in Two
Stages**

Thank you for the Development Application referred to this office 13 August 2010, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

No issues are raised for this Development Application in relation to matters that fall within the responsibility of Darwin City Council.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

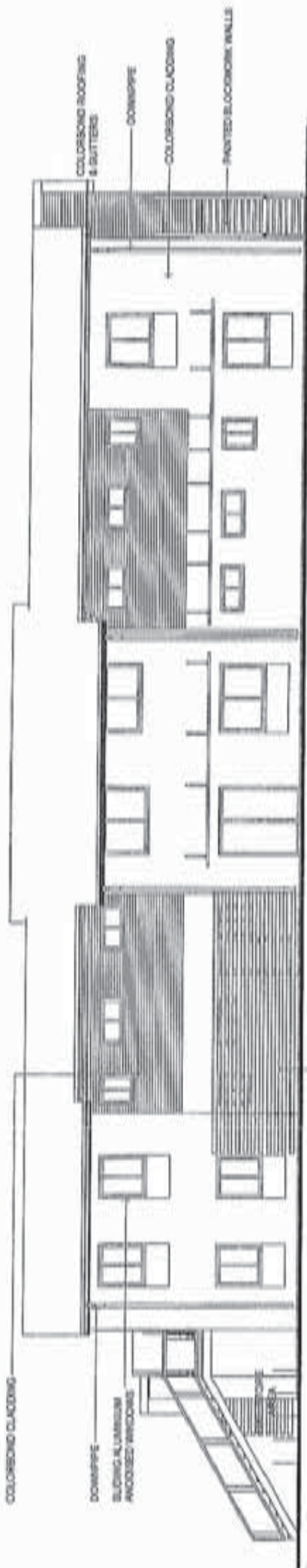
If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: MKEA Architects Pty Ltd



20 PERSON UNIT - REAR ELEVATION
1:100 @ A3



20 PERSON UNIT - END ELEVATION
1:100 @ A3



NORTH FLINDERS INTERNATIONAL HOUSE DEVELOPMENT

MA1118 SK-008
AUG 2010



Please quote: 1846224 CR:sv

18 August 2010

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Lands and Planning
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 9230 (35) De Latour Street Coconut Grove Town of Nightcliff
Proposed Development: 4 Warehouses in a Single Storey Building NOT
EXHIBITED**

Thank you for the Development Application referred to this office 5 August 2010, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

No issues are raised for this Development Application in relation to matters that fall within the responsibility of Darwin City Council.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

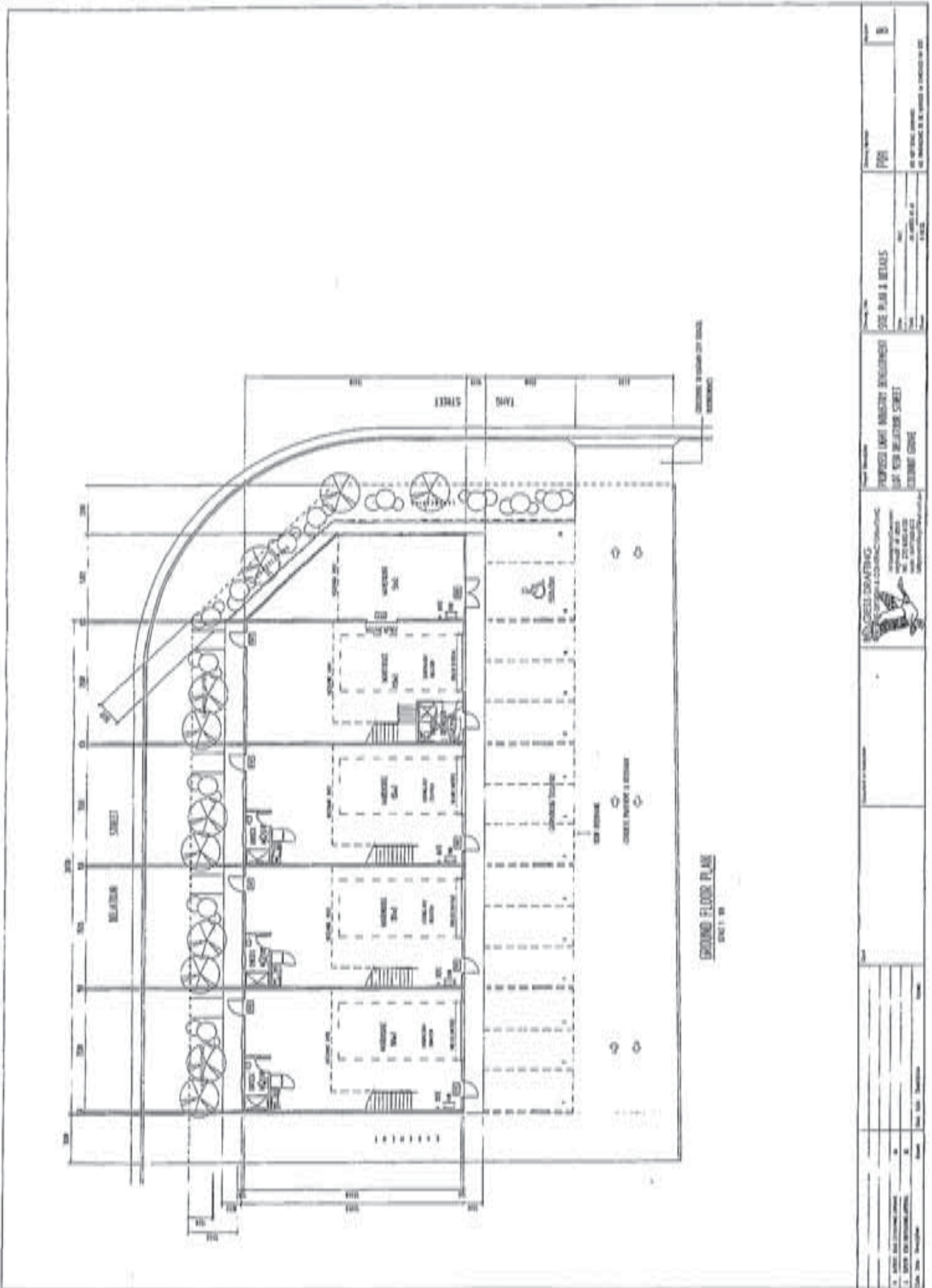
If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



CINDY ROBSON
STRATEGIC TOWN PLANNER

cc: NAC Pty Ltd



GROUND FLOOR PLAN
DWG 11 88

<p>PROJECT NAME: [REDACTED]</p> <p>PROJECT UNIT ADDRESS: [REDACTED]</p> <p>DATE: [REDACTED]</p> <p>SCALE: [REDACTED]</p>		<p>DATE: [REDACTED]</p> <p>NO: [REDACTED]</p>
<p>PROJECT UNIT ADDRESS: [REDACTED]</p> <p>DATE: [REDACTED]</p> <p>SCALE: [REDACTED]</p>		<p>DATE: [REDACTED]</p> <p>NO: [REDACTED]</p>
<p>PROJECT UNIT ADDRESS: [REDACTED]</p> <p>DATE: [REDACTED]</p> <p>SCALE: [REDACTED]</p>		<p>DATE: [REDACTED]</p> <p>NO: [REDACTED]</p>
<p>PROJECT UNIT ADDRESS: [REDACTED]</p> <p>DATE: [REDACTED]</p> <p>SCALE: [REDACTED]</p>		<p>DATE: [REDACTED]</p> <p>NO: [REDACTED]</p>
<p>PROJECT UNIT ADDRESS: [REDACTED]</p> <p>DATE: [REDACTED]</p> <p>SCALE: [REDACTED]</p>		<p>DATE: [REDACTED]</p> <p>NO: [REDACTED]</p>



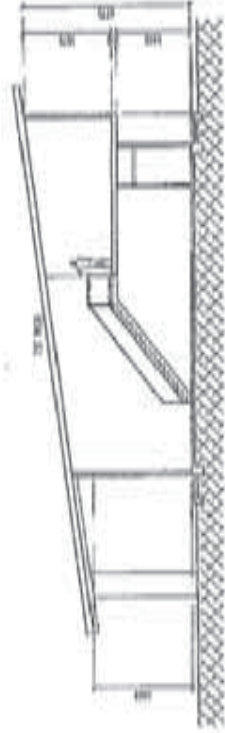
RELATOUR STREET ELEVATION
SCALE 1:50



TANG STREET ELEVATION
SCALE 1:50



CARPARK ELEVATION
SCALE 1:50



TYPICAL SECTION
SCALE 1:50

<p>PROJECT NO. _____</p> <p>DATE _____</p>		<p>PROJECT NAME _____</p> <p>PHS _____</p>	
<p>CLIENT _____</p> <p>ADDRESS _____</p>		<p>DESIGNING & SETTING _____</p> <p>SCALE _____</p>	
<p>PROJECT DESCRIPTION _____</p> <p>PROPOSED DEVELOPMENT _____</p> <p>LOT AREA RELATOUR STREET _____</p> <p>SETBACK _____</p>		<p>DATE _____</p> <p>BY _____</p> <p>FOR _____</p>	
<p>DESIGNER'S DRAWING _____</p> <p>SCALE _____</p> <p>DATE _____</p>		<p>PROJECT NO. _____</p> <p>DATE _____</p>	
<p>PROJECT NO. _____</p> <p>DATE _____</p>		<p>PROJECT NO. _____</p> <p>DATE _____</p>	

OPEN SECTION

PAGE

TP9/10

Town Planning Committee Meeting – Wednesday, 1 September 2010

12 GENERAL BUSINESS

