

# OPEN SECTION

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## DARWIN CITY COUNCIL

### TOWN PLANNING COMMITTEE

#### WEDNESDAY 6 JULY 2011

MEMBERS: Member H I Galton (Chairman); The Right Worshipful, Lord Mayor, Mr G R Sawyer; Member J D Bailey; Member R T Dee; Member R K Elix; Member R M Knox; Member G A Lambert; Member R Lesley; Member F P Marrone; Member A R Mitchell; Member K M Moir; Member J L Sangster; Member H D Sjoberg.

OFFICERS: Chief Executive Officer, Mr B Dowd; General Manager Infrastructure, Mr L Cercarelli; Manager Design, Planning & Projects, Mr D Lelekis; Executive Manager, Mr M Blackburn; Strategic Town Planner, Miss C Robson; Graduate Town Planner, J Sheridan; Executive Officer, Miss A Smit.

***Enquiries and/or Apologies: Arweena Smit***  
***E-mail: [a.smit@darwin.nt.gov.au](mailto:a.smit@darwin.nt.gov.au) - PH: 89300 685***

### ***Committee's Responsibilities***

The Council assigns the following functions to the Committee for the purpose of consideration and decisions as follows:

- \* All Development Applications referred from the Development Consent Authority
- \* All Town Planning related matters referred from the NT Government
- \* Town Planning Strategy, Policies and Procedures
- \* Development Application and Town Planning Matters referred to Council from Developers, Community Groups and Individuals
- \* Signage Applications, Policies and Procedures
- \* Liquor Licence Applications

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Town Planning Committee Meeting – Wednesday, 6 July 2011

## 1 MEETING DECLARED OPEN

## 2 APOLOGIES AND LEAVE OF ABSENCE

### 2.1 Apologies

### 2.2 Leave of Absence Granted

THAT it be noted that Member H D Sjoberg is an apology due to a Leave of Absence being previously granted on 15 March 2011 for the period 11 May 2011 to 7 July 2011

DECISION NO.20\() (06/07/11)

## 3 ELECTED MEMBERS CONFLICT OF INTEREST DECLARATION

## 4 CONFIDENTIAL ITEMS

Nil

### 4.2 Moving Open Items Into Confidential

### 4.3 Moving Confidential Items Into Open

**OPEN SECTION**

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Town Planning Committee Meeting – Wednesday, 6 July 2011**5 WITHDRAWAL OF ITEMS FOR DISCUSSION****5.1 Items Withdrawn by Staff**

COMMITTEE'S DECISION

THAT the Committee resolve under delegated authority that the following items withdrawn by staff as Items of Significance, be considered: .....

DECISION NO.20\() (06/07/11)

**5.2 Items Withdrawn by Members**

COMMITTEE'S DECISION

THAT the Committee resolve under delegated authority that Information Items and Officers Reports to the Town Planning Committee Meeting held Wednesday, \*\*\*\*\*, 2011, be received be received and all recommendations contained therein be adopted by general consent with the exception of Item Number .....

DECISION NO.20\() (06/07/11)

**6 CONFIRMATION OF MINUTES PERTAINING TO THE PREVIOUS TOWN PLANNING COMMITTEE MEETING**

COMMITTEE'S DECISION

THAT the Committee resolve that the minutes of the previous Town Planning Committee Meeting held on Wednesday, 1 June 2011, tabled by the Chairman, be confirmed.

DECISION NO.20\() (06/07/11)

**OPEN SECTION**

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Town Planning Committee Meeting – Wednesday, 6 July 2011

**7 BUSINESS ARISING FROM THE MINUTES PERTAINING TO THE PREVIOUS TOWN PLANNING COMMITTEE MEETING**

**7.1 Business Arising**

**8 DEVELOPMENT APPLICATIONS**

Nil

**9 GENERAL TOWN PLANNING REPORTS**

Nil

ENCL: YES

**DARWIN CITY COUNCIL**

DATE: 16/06/2011

**REPORT**TO: TOWN PLANNING COMMITTEE  
MEETING/OPEN B

APPROVED: CR

FROM: GENERAL MANAGER INFRASTRUCTURE

APPROVED: DL

REPORT NO: 11TS0099 JS:fh

APPROVED LC

COMMON NO: 2023654

SUBJECT: SIGN APPLICATION – DEFENCE HOUSING AUSTRALIA – PARCEL:  
LOT 9737 (434) LEE POINT ROAD, MUIRHEAD – DESCRIPTION: A  
TEMPORARY FREESTANDING REAL ESTATE SIGN ON PRIVATE  
LAND**ITEM NO: 10.1****SYNOPSIS:**

Council approval is sought for a Temporary, Freestanding Business Sign on Private Land for Defence Housing Australia, to be located at Lot 9737 (434) Lee Point Road, Muirhead (**Attachment A**).

This report recommends that Council approve the application for a Temporary, Freestanding Business Sign on Private Land by Defence Housing Australia.

**GENERAL:**

<b><i>Applicant</i></b>	Defence Housing Australia	
<b><i>Type of Advertising</i></b> <i>(inc. temp/perm/illuminated)</i>	Temporary	✓
<b><i>Type of Sign</i></b> <i>(Business/Election/Promotion etc.)</i>	Real Estate	✓
<b><i>Type of Structure</i></b> <i>(Pole/Free Standing/Fascia/High etc.)</i>	Free Standing	✓
<b><i>Measurement of Sign</i></b> <i>(inc.height)</i>	3m height x 8m wide	✗
<b><i>Location of Sign</i></b>	Private property	✓
<b><i>Existing Signage</i></b>	Nil	✓

Complies - ✓ Requires Council Approval - ✗

The proposal includes erecting one free standing sign to advertise the sale and lease of land within the Muirhead community/subdivision yet to be developed. The sign will be supported by three poles that are approximately 2 metres high and will have an overall height of 5 metres.

PAGE: 2  
REPORT NO 11TS0099 JS:fh  
SUBJECT: SIGN APPLICATION - DEFENCE HOUSING AUSTRALIA – PARCEL: LOT 9737 (434)  
LEE POINT ROAD, MUIRHEAD – PROPOSAL: A TEMPORARY FREESTANDING  
BUSINESS SIGN ON PRIVATE LAND

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### **Site and Surrounds:**

The site has an area of 168 hectares and two street frontages as follows:

- Lee Point Road – A large residential subdivision opposite that forms part of the most recent Lyons development.
- Fitzmaurice Drive – A large residential development opposite, that contains both MD (Multiple Dwelling Residential) and SD (Single Dwelling Residential).

The site is currently vacant and is zoned CA (No Planning Scheme Controls) and is under the control of Defence Housing Australia.

The sign will be located at the corner of Fitzmaurice Drive and Lee Point Road and face traffic heading north along Lee Point Road. It is expected that the sign will remain in its proposed location until the development which it advertises, is completed.

### **Outdoor Advertising Signs Code:**

The proposed real estate advertising sign exceeds the sign code in total, overall size. The sign is therefore, discretionary and a Council sign permit is required to display the sign.

The sign code allows one real estate sign up to 4.5 square metres to be erected on private property for commercial developments. This proposal is for one sign at 3m high x 8m wide, a total of 24 square metres. The sign has an overall height of 5 metres above ground level, which complies with the signs code.

The proposed real estate sign has a total of 19.5 square metres over the allowable size stated in the signs code, however, due to the size and location of the development, the additional size is considered appropriate.

### **Conclusion**

It is expected that, at this size the sign will be clearly visible to motorists when heading north along Lee Point Road. Notwithstanding the size and location, the proposed real estate sign is not expected to adversely affect the amenity of the area.

### **FINANCIAL IMPLICATIONS:**

Nil.

PAGE: 3  
 REPORT NO 11TS0099 JS:fh  
 SUBJECT: SIGN APPLICATION - DEFENCE HOUSING AUSTRALIA – PARCEL: LOT 9737 (434)  
 LEE POINT ROAD, MUIRHEAD – PROPOSAL: A TEMPORARY FREESTANDING  
 BUSINESS SIGN ON PRIVATE LAND

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### **ACTION PLAN IMPLICATIONS:**

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the ‘Evolving Darwin Strategic Directions: Towards 2020 and Beyond’:-

#### **Goal**

5 Facilitate and Maintain a Cohesive Community

#### **Outcome**

5.3 Support harmony within the community

#### **Key Strategies**

5.3.2 Develop and support programs to promote community spirit, cohesion and safety

### **LEGAL IMPLICATIONS:**

This issue is not considered confidential.

### **ENVIRONMENTAL IMPLICATIONS:**

Not Assessed

### **PUBLIC RELATIONS IMPLICATIONS:**

Not Assessed

### **COMMUNITY SAFETY IMPLICATIONS:**

Nil.

### **DELEGATION:**

Nil.

### **CONSULTATION:**

Nil.

### **PROPOSED PUBLIC CONSULTATION PROCESS:**

Nil.

### **APPROPRIATE SIGNAGE:**

Not Applicable.

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REPORT NO 11TS0099 JS:fh  
SUBJECT: SIGN APPLICATION - DEFENCE HOUSING AUSTRALIA – PARCEL: LOT 9737 (434)  
LEE POINT ROAD, MUIRHEAD – PROPOSAL: A TEMPORARY FREESTANDING  
BUSINESS SIGN ON PRIVATE LAND

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**RECOMMENDATIONS:**

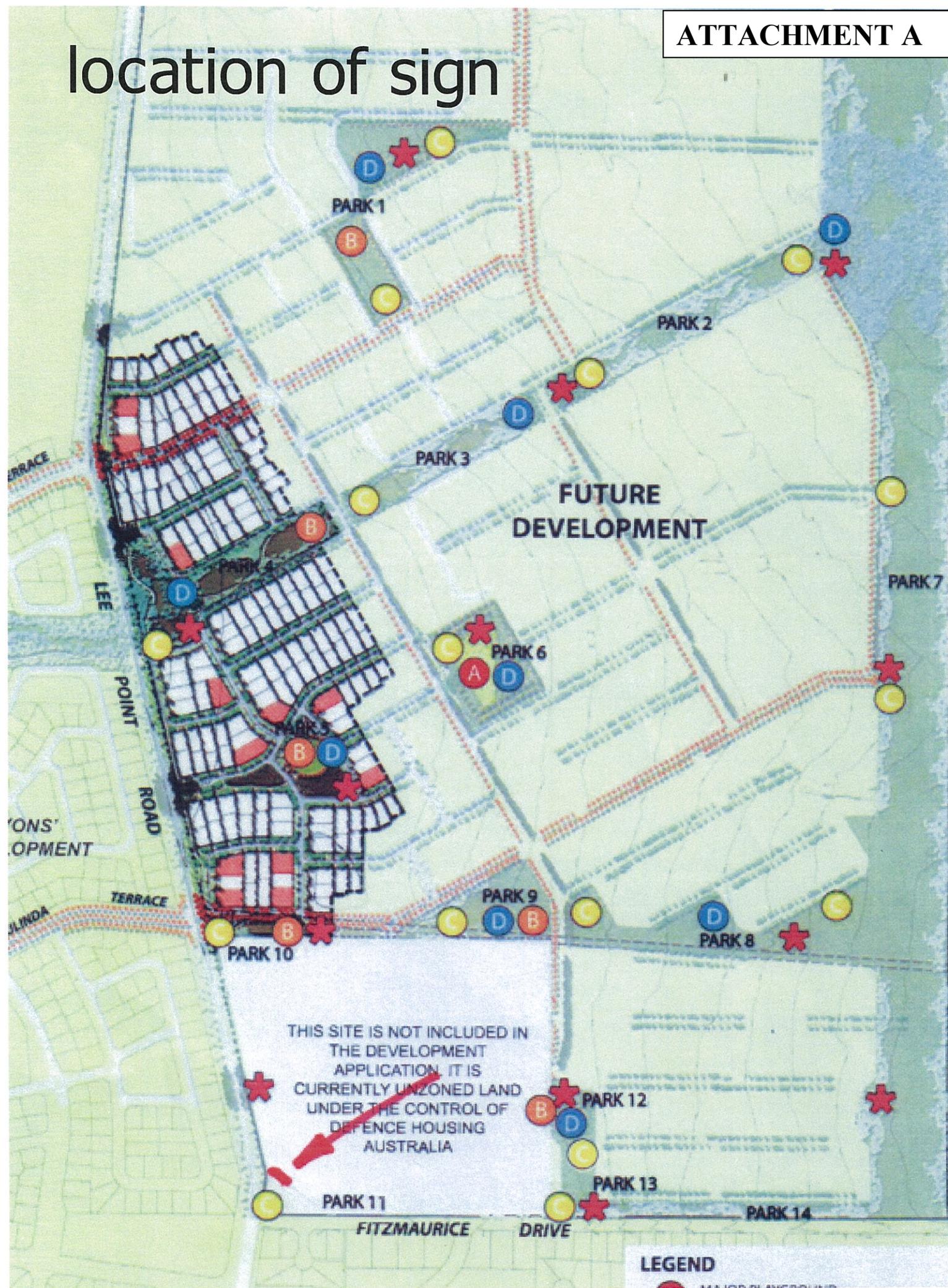
- A. THAT Report Number 11TS0099 JS:fh entitled, Sign Application – Defence Housing Australia for a Temporary, Freestanding Business Sign on Private Land located at Lot 9737 (434) Lee Point Road, Muirhead, be received and noted.
- B. THAT Council approve the application from Defence Housing Australia for a Temporary, Real Estate Sign on Private Land located at Lot 9737 (434) Lee Point Road, Muirhead, and a Permit be issued in accordance with the requirements of the Outdoor Signs Code.

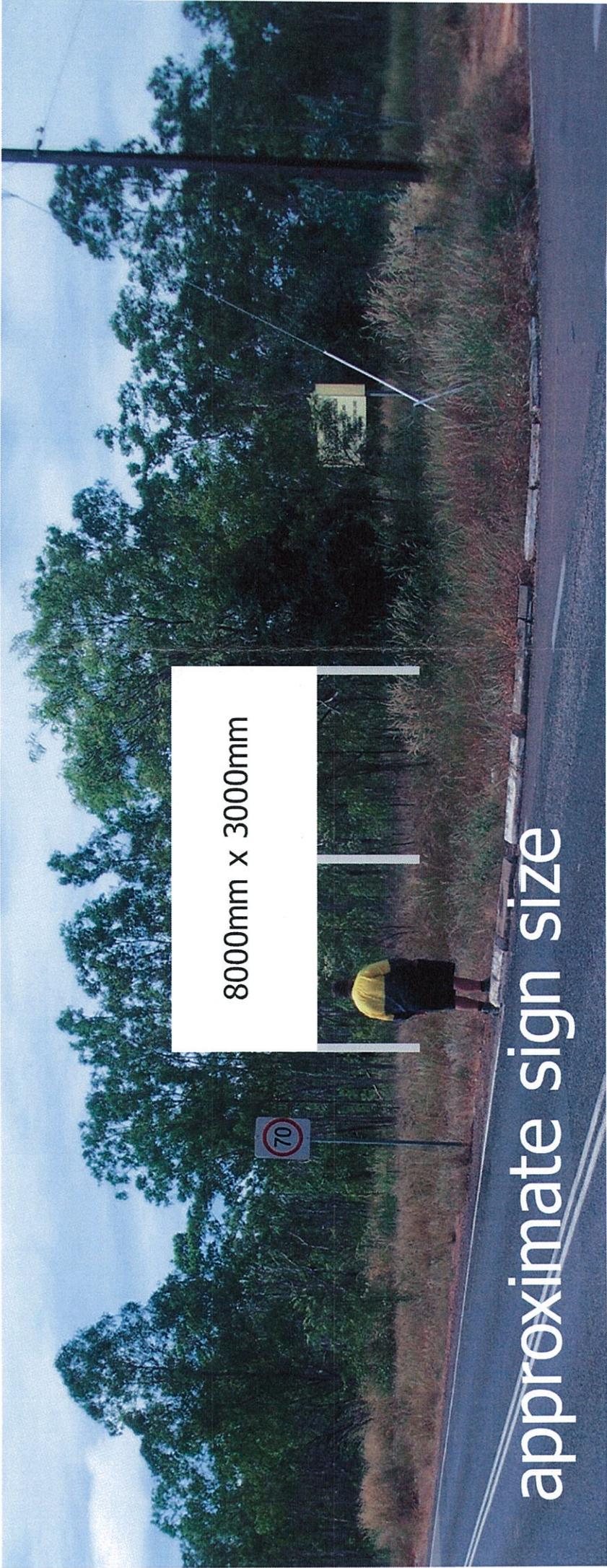
**DROSSO LELEKIS**  
**MANAGER DESIGN,**  
**PLANNING & PROJECTS**

**LUCCIO CERCARELLI**  
**GENERAL MANAGER**  
**INFRASTRUCTURE**

Any queries on this report can be directed to Cindy Robson on 8930 0528 or email [c.robson@darwin.nt.gov.au](mailto:c.robson@darwin.nt.gov.au)

# location of sign





8000mm x 3000mm

approximate sign size



approximate sign angle

24.05.2011

ENCL: YES

**DARWIN CITY COUNCIL**

DATE: 16/06/2011

**REPORT****TO:** TOWN PLANNING COMMITTEE  
MEETING/OPEN B**APPROVED:** CR**FROM:** GENERAL MANAGER INFRASTRUCTURE**APPROVED:** DL**REPORT NO:** 11TS0100 CR:fh**APPROVED:** LC**COMMON NO:** 2023238**SUBJECT:** SUBDIVISION APPLICATION – PARCEL: LOT 4571 (90) DICK WARD DRIVE TOWN OF NIGHTCLIFF – PROPOSAL: SUBDIVISION FOR A LEASE IN EXCESS OF 12 YEARS**ITEM NO: 10.2****SYNOPSIS:**

A Subdivision Application for Lot 4571 (90) Dick Ward Drive Town of Nightcliff (**Attachment A**), has been referred to Council for comment pursuant to Section 48 of the Planning Act. The following report addresses relevant Council issues and recommends that Council endorse comments provided to the Development Consent Authority by staff.

**GENERAL:****Applicant:** Mrs Kate Large**Zone:** LI (Light Industry)                      **Area:** 18,000 m<sup>2</sup>**Proposal:** Subdivision for a lease in excess of 12 years**History:****Site and Surrounds:**

The subject site is identified as allotment 4571, Town of Nightcliff, commonly known as 90 Dick Ward, Coconut Grove. The site is zoned LI (Light Industry).

The property is known as the Coconut Grove Industrial Village and features eight (8) shed-like buildings which are leased to a variety of businesses. Commercial and light industrial businesses surround the site. Further to the north/north-west are the residential areas of Coconut Grove. To the East is the Darwin International Airport and to the west is the coastline.

The proposed lease area is located in the south-east corner and is predominantly flat. Access to the subject site is via a driveway through Lot 8917 and also via Dick Ward Drive. No easements are listed on the site.

PAGE: 2  
 REPORT NO 11TS0100 CR:fh  
 SUBJECT: SUBDIVISION APPLICATION – PARCEL:LOT 4571 (90) DICK WARD DRIVE TOWN OF NIGHTCLIFF – PROPOSAL:SUBDIVISION FOR A LEASE IN EXCESS OF 12 YEARS

Matters to be taken into account (pursuant to Section 51 of the NT Planning Act 1999):

**Northern Territory Planning Scheme:**

The proposed development is in the LI (Light Industry) zone, and requires consent.

**Disability Discrimination Legislation:**

Disability Discrimination Act issues are addressed under the Building Act requirements. Council places a statement of support for equal opportunity on all responses.

**Council Issues:**

Comments to the Authority support the granting of a Development Permit in principle, provided a stormwater management plan demonstrating how stormwater will be collected on site and discharged underground into Council's drainage network. The applicant's plans fail to address this issue.

The response letter also noted that Lot 4571 is affected by the Secondary Storm Surge Area (SSSA) along the western boundary but does not directly concern the proposed lease area. The response letter indicated that Council does not generally support development in the SSSA however, as there is already an existing development on the allotment and the proposed subdivision is to facilitate a non-habitable land use, Council does not object to the proposed subdivision for a lease in excess of 12 years.

Any easements or reserves required for the purposes of stormwater drainage, roads, access or for any other purpose were required to be made available free of cost to the Darwin City Council or neighbouring property owners.

**FINANCIAL IMPLICATIONS:**

Nil.

**STRATEGIC PLAN IMPLICATIONS:**

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

**Goal 1:**

1. Achieve Effective Partnerships and Engage in Collaborative Relationships.

**Outcome**

1.1 Improve relations with all levels of Government.

**Key Strategies**

1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin.

1.1.5 Influence Government and developers to develop sustainable projects which reflect Darwin's lifestyle.

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 REPORT NO 11TS0100 CR:fh  
 SUBJECT: SUBDIVISION APPLICATION – PARCEL:LOT 4571 (90) DICK WARD DRIVE TOWN OF NIGHTCLIFF – PROPOSAL:SUBDIVISION FOR A LEASE IN EXCESS OF 12 YEARS

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1.2 Effectively engage with Community.

1.2.1 Increase involvement of the Business Community for developing solutions to local issues.

**Goal 2:**

2. Enhance Darwin's Active, Positive and Flexible Lifestyle.

**Outcome**

2.1 Improve urban enhancement around Darwin.

**Key Strategies**

2.1.1 Manage and maintain the municipal landscaping and infrastructure to a standard that meets community needs.

2.1.4 Provide a clean and liveable municipality.

**Goal 3:**

3. Assist Individuals and the Community Stay Connected with the Darwin Region.

**Outcome**

3.1 Promote the use of public spaces.

**Key Strategies**

3.1.1 Enhance public spaces and encourage greater use by the community.

3.2 Enhance transport.

3.2.1 Review transport and parking needs systems.

3.2.4 Provide parking facilities and management systems which meet the needs of the community.

**Goal 4:**

4. Create and Maintain an Environmentally Sustainable City.

**Outcome**

4.2 Improve water conservation.

**Key Strategies**

4.2.2 Manage and maintain Council's storm water management system.

**LEGAL IMPLICATIONS:**

This item is not considered "Confidential".

**PUBLIC RELATIONS IMPLICATIONS:**

Not Assessed.

**COMMUNITY SAFETY IMPLICATIONS:**

Not Assessed.

**DELEGATION:**

To the Chief Executive Officer to provide standard Development Permit conditions as appropriate.

PAGE: 4  
REPORT NO 11TS0100 CR:fh  
SUBJECT: SUBDIVISION APPLICATION – PARCEL:LOT 4571 (90) DICK WARD DRIVE TOWN  
OF NIGHTCLIFF – PROPOSAL:SUBDIVISION FOR A LEASE IN EXCESS OF 12  
YEARS

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**CONSULTATION:**

Through the Development Application statutory process.

**PROPOSED PUBLIC CONSULTATION PROCESS:**

Nil

**APPROPRIATE SIGNAGE:**

Not Applicable.

**RECOMMENDATIONS:**

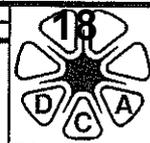
THAT the Committee resolve under delegated authority:-

- A. THAT Report Number 11TS0100 CR:fh entitled Subdivision Application, Lot 4571 (90) Dick Ward Drive Town of Nightcliff for Subdivision for a Lease in Excess of 12 Years, be received and noted.
- B. THAT the letter to the Reporting Body in **Attachment B** to Report Number 11TS0100 CR:fh be endorsed.

**DROSSO LELEKIS**  
**MANAGER DESIGN,**  
**PLANNING & PROJECTS**

**LUCCIO CERCARELLI**  
**GENERAL MANAGER**  
**INFRASTRUCTURE**

Any queries on this report can be directed to Cindy Robson on 8930 0528 or email [c.robson@darwin.nt.gov.au](mailto:c.robson@darwin.nt.gov.au)



# Development Consent Authority

Northern Territory

GPO BOX 1680  
DARWIN NT 0801

Telephone No: (08) 8999 6807  
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0368

Sir or Madam  
Darwin City Council  
GPO Box 84  
DARWIN NT 0801

Dear Sir or Madam,

## Proposed Subdivision Application

The following application has been received for assessment by the Development Consent Authority:

<b>Parcel Description</b>	Lot 04571 Town of Nightcliff
<b>Road/Street</b>	90 DICK WARD DR
<b>Town Plan Zone</b>	LI (Light Industry)
<b>Tenure Type</b>	ESTATE IN FEE SIMPLE
<b>Land Owners</b>	Biddlecombe Pty Ltd
<b>Applicant</b>	Mrs Kate Large
<b>Contact Number</b>	0749775220
<b>Purpose</b>	Subdivision for a lease in excess of 12 years

The proposal can be viewed online for a two week period from **Friday, 10th June 2011** until **Friday, 24th June 2011** at: <https://www.ntlis.nt.gov.au/planning/lta.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Friday, 24th June 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:  
[https://www.ilis.nt.gov.au/ilis/l2?pagelD=planning.application&ilis\\_entity\\_id=63910044](https://www.ilis.nt.gov.au/ilis/l2?pagelD=planning.application&ilis_entity_id=63910044)

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

If you wish to secure a third party right of appeal, when it exists, you must specify that the submission is being made under section 49 and ensure that the submission is lodged with the consent authority by 4PM CST **Friday, 24th June 2011** which is the closing date for public exhibition.

Should you require further information on this proposal please contact me on **8999 6807**.

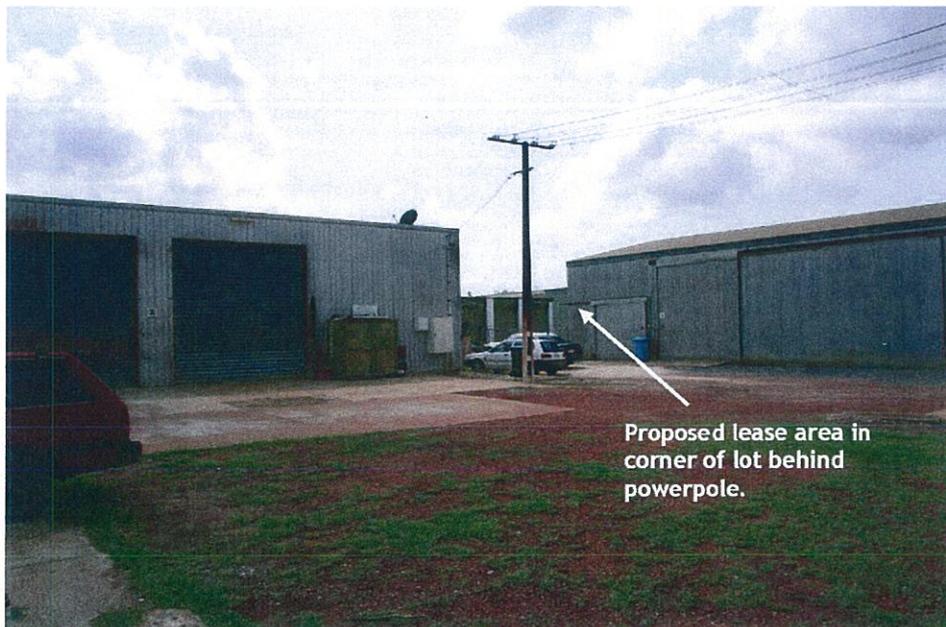
Yours faithfully

**Anguree Jansen van Rensburg**  
Development Assessment Services  
9 June 2011

### Appendix A



Figure: Tang Street entrance to the Lot 4571 facing south



Proposed lease area in corner of lot behind powerpole.

Figure 3: Photograph of the approximate location of proposed lease area facing south-east



Figure 4: Photograph of the location of proposed lease area facing south-east

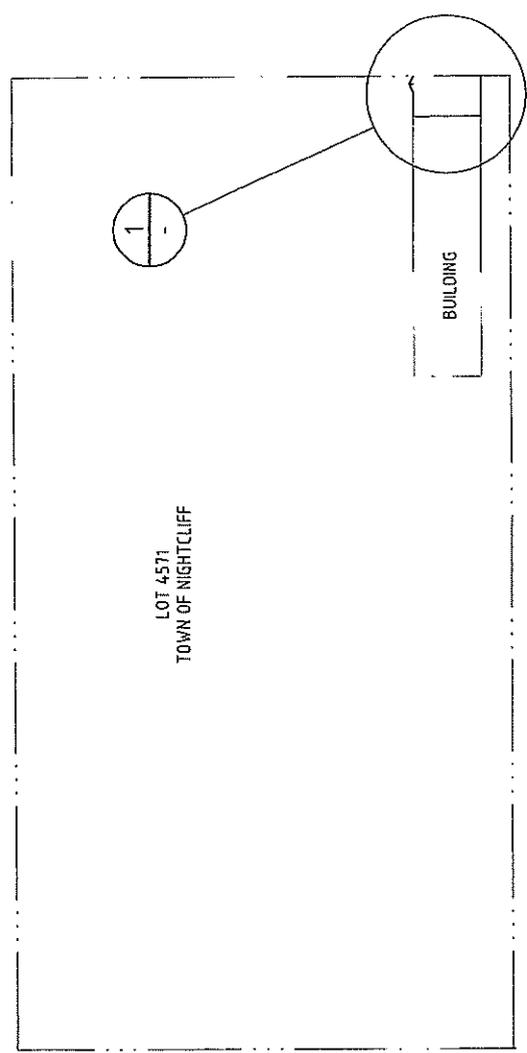


Figure 5: Photograph of the location of proposed lease area facing south

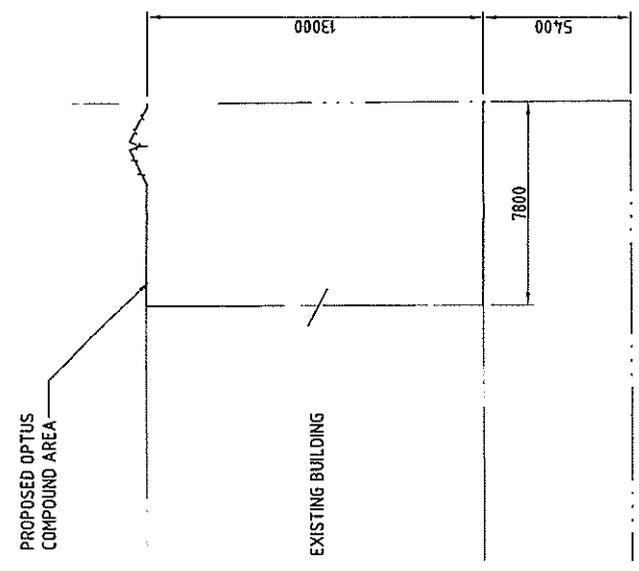


DICK WARD DRIVE

LOT 4571  
TOWN OF NIGHTCLIFF



**LOCATION PLAN**  
SCALE 1:1000



**DETAIL**  
SCALE = 1:200

**NOTE:**  
THIS DRAWING IS DIAGRAMMATIC ONLY AND SHOULD NOT BE SCALED. DIMENSIONS, CO-ORDINATES, AND LEVELS SHOWN ARE NOMINAL AND SUBJECT TO CONFIRMATION BY SURVEYOR.

**FOR APPROVAL**

<p><b>Project</b> MOBILE NETWORK AUSTRALIA SITE No:- D8020C COCONUT GROVE INDUSTRIAL VILLAGE</p>	<p><b>Client</b> <b>'yes' OPTUS</b></p>	<p><b>Client</b> Telephone: +61 8 8237 9777 Facsimile: +61 8 8237 9778 Email: <a href="mailto:ada@optus.com.au">ada@optus.com.au</a></p>	<p><b>Project</b> MOBILE NETWORK AUSTRALIA SITE No:- D8020C COCONUT GROVE INDUSTRIAL VILLAGE</p>	<p><b>Drawing Title</b> PLAN VIEW PLANNING</p>	<p><b>Design</b> PP</p>	<p><b>Drawn</b> PP</p>	<p><b>Date</b> JUNE 11</p>					
					<p><b>Verified</b></p>	<p><b>Scale</b> AS SHOWN</p>	<p><b>Project No.</b> 204473</p>					
<p><b>Revision</b> D8020C-P4 01</p>					<p>20</p>	<p>10</p>	<p>0</p>	<p>10</p>	<p>20</p>	<p>30</p>	<p>40</p>	<p>50mm</p>

**durecon**  
Aurecon Australia Pty Ltd ABN 64 805 139 878  
55 Grenfell Street Adelaide  
South Australia 5000 Australia  
Telephone: +61 8 8237 9777  
Facsimile: +61 8 8237 9778  
Email: [ada@optus.com.au](mailto:ada@optus.com.au)

**ISSUED FOR APPROVAL**  
DATE: 11/06/11

Please quote: 2023238 CR:fh  
Your reference: PA2011/0368

24 June 2011

Israel Kgosiemang  
Project Officer - Strategic Lands Planning  
Department of Lands and Planning  
GPO Box 1680  
DARWIN NT 0801

Dear Israel

**Parcel Description:** Lot 4571 (90) Dick Ward Drive Town of Nightcliff.  
**Proposed Development:** Subdivision for a lease in excess of 12 years.

Thank you for the Subdivision Application referred to this office 9 June 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**
  - a) The site contains a small portion along the western boundary that is affected by the Secondary Storm Surge Area (SSSA). Council does not generally support development in the SSSA however, as there is already an existing development on the allotment and the proposed subdivision is to facilitate a non-habitable land use, Council does not object to the proposed subdivision for a lease in excess of 12 years.

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **Council requests the Authority requires a schematic plan demonstrating all stormwater to be collected on the site and discharged underground to Council's stormwater drainage system.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged underground to Council's drainage network.

.../2

-2-

- 1). The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system.
- 2). Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into Council's stormwater drainage system. It is also necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Any easements or reserves required for the purposes stormwater drainage, roads, access or for any other purpose shall be made available free of cost to the Darwin City Council or neighbouring property owners.

In considering this application, the Reporting Body is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



**LUCCIO CERCARELLI**  
**GENERAL MANAGER INFRASTRUCTURE**

cc: Mrs Kate Large

ENCL: YES

**DARWIN CITY COUNCIL**

DATE: 02/06/2011

**REPORT****TO:** TOWN PLANNING COMMITTEE  
MEETING/OPEN B**APPROVED:** CR**FROM:** GENERAL MANAGER INFRASTRUCTURE**APPROVED:** DL**REPORT NO:** 11TS0101 CR:fh**APPROVED:** LC**COMMON  
NO:** 2019158**SUBJECT:** SUBDIVISION APPLICATION – PARCEL: PORTION 1750 (150)  
COONAWARRA ROAD HUNDRED OF BAGOT – PROPOSAL:  
SUBDIVISION TO CREATE 2 LOTS**ITEM NO: 10.3****SYNOPSIS:**

A Subdivision Application for Portion 1750 (150) Coonawarra Road Hundred of Bagot (**Attachment A**), has been referred to Council for comment pursuant to Section 48 of the Planning Act. The following report addresses relevant Council issues and recommends that Council endorse comments provided to the Development Consent Authority by staff.

**GENERAL:****Applicant:** Mr Brad Cunnington**Zone:** GI (General Industry)      **Area:** 4280 m<sup>2</sup>**Proposal:** Subdivision to create two lots**History:****Site and Surrounds:**

The subject site is identified as allotment 1750, Town of Bagot, commonly referred to as 150 Coonawarra Road, Winnellie. The site is zoned GI (General Industry) and the surrounding land uses that reflect this zoning.

Currently the site contains a large building with offices located towards the front. The building is located in the north-western portion of the site, setback six (6.0) metres from the western boundary and the attached office component setback five (5.0) metres from the road frontage at the closest point. The shed has an area of approximately 639 square metres and the office is 161 square metres. There is an entrance canopy at the front of the office and a shade structure attached to the south-eastern corner of the shed.

PAGE: 2  
 REPORT NO 11TS0101CR:FH  
 SUBJECT: SUBDIVISION APPLICATION – PARCEL: PORTION 1750 (150) COONAWARRA ROAD  
 HUNDRED OF BAGOT – PROPOSAL: SUBDIVISION TO CREATE 2 LOTS

---

The remainder of the site is predominantly vacant with the exception of bitumen hardstand in the north-eastern portion of the site and some limited landscaping along the road frontage and two trees in the south-west corner.

Access to the site is via two existing crossovers to Coonawarra Road. One is located centrally and the other towards the eastern boundary of the Coonawarra Road frontage.

The land has a gentle but consistent slope towards the southern boundary and there is a sewerage easement along the entirety of this boundary.

Matters to be taken into account (pursuant to Section 51 of the NT Planning Act 1999):

**Northern Territory Planning Scheme:**

The proposed development is in the GI (General Industry) zone, and requires consent.

**Disability Discrimination Legislation:**

Disability Discrimination Act issues are addressed under the Building Act requirements. Council places a statement of support for equal opportunity on all responses.

**Council Issues:**

Comments to the Authority support in principle the granting of a Development Permit subject to conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act.

**FINANCIAL IMPLICATIONS:**

Nil.

**STRATEGIC PLAN IMPLICATIONS:**

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

**Goal 1:**

1. Achieve Effective Partnerships and Engage in Collaborative Relationships.

**Outcome**

1.1 Improve relations with all levels of Government.

**Key Strategies**

1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin.

1.1.5 Influence Government and developers to develop sustainable projects which reflect Darwin's lifestyle.

1.2 Effectively engage with Community.

1.2.1 Increase involvement of the Business Community for developing solutions to local issues.

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 REPORT NO 11TS0101CR:FH  
 SUBJECT: SUBDIVISION APPLICATION – PARCEL: PORTION 1750 (150) COONAWARRA ROAD  
 HUNDRED OF BAGOT – PROPOSAL: SUBDIVISION TO CREATE 2 LOTS

---

**Goal 2:**

2. Enhance Darwin's Active, Positive and Flexible Lifestyle.

**Outcome**

2.1 Improve urban enhancement around Darwin.

**Key Strategies**

2.1.1 Manage and maintain the municipal landscaping and infrastructure to a standard that meets community needs.

2.1.4 Provide a clean and liveable municipality.

**Goal 3:**

3. Assist Individuals and the Community Stay Connected with the Darwin Region.

**Outcome**

3.1 Promote the use of public spaces.

**Key Strategies**

3.1.1 Enhance public spaces and encourage greater use by the community.

3.2 Enhance transport.

3.2.1 Review transport and parking needs systems.

3.2.4 Provide parking facilities and management systems which meet the needs of the community.

**Goal 4:**

4. Create and Maintain an Environmentally Sustainable City.

**Outcome**

4.2 Improve water conservation.

**Key Strategies**

4.2.2 Manage and maintain Council's storm water management system.

**LEGAL IMPLICATIONS:**

This item is not considered "Confidential".

**PUBLIC RELATIONS IMPLICATIONS:**

Not Assessed.

**COMMUNITY SAFETY IMPLICATIONS:**

Not Assessed.

**DELEGATION:**

To the Chief Executive Officer to provide standard Development Permit conditions as appropriate.

**CONSULTATION:**

Through the Development Application statutory process.

PAGE: 4  
REPORT NO 11TS0101CR:FH  
SUBJECT: SUBDIVISION APPLICATION – PARCEL: PORTION 1750 (150) COONAWARRA ROAD  
HUNDRED OF BAGOT – PROPOSAL: SUBDIVISION TO CREATE 2 LOTS

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**PROPOSED PUBLIC CONSULTATION PROCESS:**

Nil

**APPROPRIATE SIGNAGE:**

Not Applicable.

**RECOMMENDATIONS:**

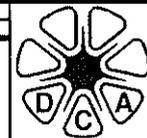
THAT the Committee resolve under delegated authority:-

- A. THAT Report Number 11TS0101 CR:fh entitled Subdivision Application for Portion 1750 (150) Coonawarra Road Hundred of Bagot for a Subdivision to Create 2 Lots, be received and noted.
- B. THAT the letter to the Reporting Body in **Attachment B** to Report Number 11TS0101 CR:fh be endorsed.

**DROSSO LELEKIS**  
**MANAGER DESIGN,**  
**PLANNING & PROJECTS**

**LUCCIO CERCARELLI**  
**GENERAL MANAGER**  
**INFRASTRUCTURE**

Any queries on this report can be directed to Cindy Robson on 8930 0528 or email [c.robson@darwin.nt.gov.au](mailto:c.robson@darwin.nt.gov.au)



# Development Consent Authority

Northern Territory

GPO BOX 1680  
DARWIN NT 0801

Telephone No: (08) 8999 6807  
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0363

Sir or Madam  
Darwin City Council  
GPO Box 84  
DARWIN NT 0801

Dear Sir or Madam,

## Proposed Subdivision Application

The following application has been received for assessment by the Development Consent Authority:

<b>Parcel Description</b>	Portion 01750 Hundred of Bagot
<b>Road/Street</b>	150 COONAWARRA RD
<b>Town Plan Zone</b>	G1 (General Industry)
<b>Tenure Type</b>	ESTATE IN FEE SIMPLE
<b>Land Owners</b>	Laurence Allan Arthur Laurence, Louise

<b>Applicant</b>	Mr Brad Cunnington
<b>Contact Number</b>	(08) 8942 2600

<b>Purpose</b>	Subdivision to create two lots
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The proposal can be viewed online for a two week period from **Friday, 3rd June 2011** until **Friday, 17th June 2011** at: <https://www.ntlis.nt.gov.au/planning/ta.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Friday, 17th June 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:  
[https://www.ilis.nt.gov.au/ilis/l2?pagelD=planning.application&ilis\\_entity\\_id=63826440](https://www.ilis.nt.gov.au/ilis/l2?pagelD=planning.application&ilis_entity_id=63826440)

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

If you wish to secure a third party right of appeal, when it exists, you must specify that the submission is being made under section 49 and ensure that the submission is lodged with the consent authority by 4PM CST **Friday, 17th June 2011** which is the closing date for public exhibition.

Should you require further information on this proposal please contact me on **8999 6807**.

Yours faithfully

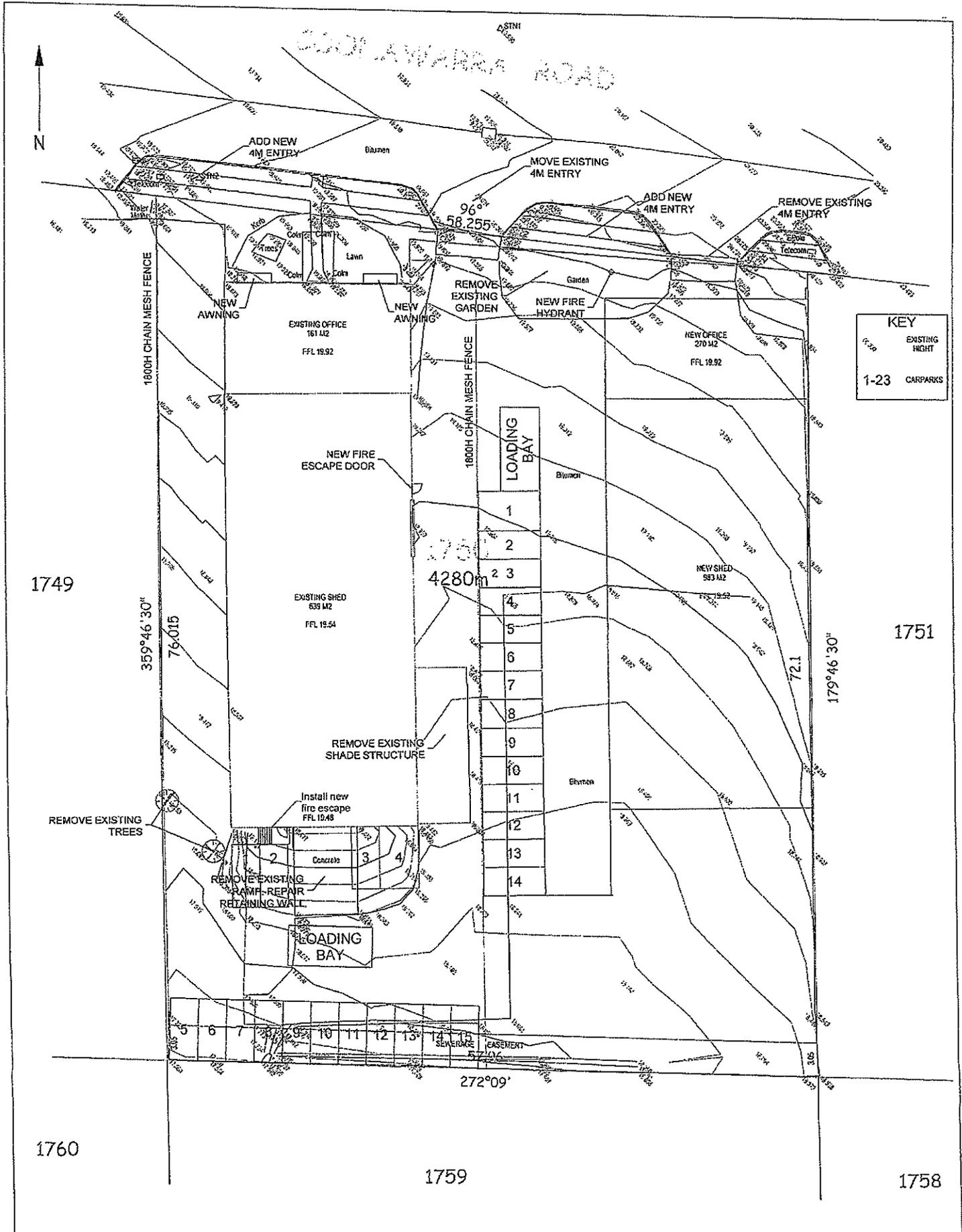


- Subject Site
- General Industry
- Main Road
- Proposed Main Road

**Locality Plan**  
ZONING

150 Coonawarra Road  
WINNELLIE

For Territory Warehouse Distribution



<b>FOSTER BROTHERS ENGINEERING P/L</b> A.B.N. 97 114 536 604 15 VERRINDER RD BERRIMAH NT EMAIL fbe1982@gmail.com MOB. 0400 257 502 Foster Brothers since 1982				DRAWING TITLE: <b>SITE LAYOUT</b>		REV: <b>01</b>		
				SITE: <b>LOT 1750 COONAWARRA ROAD</b>		SCALE: <b>1:300</b>		
REV:	AMENDMENT:	BY: CHK:	DATE:	JOB No.: <b>ALL 1101</b>	DATE: <b>09/02/2011</b>	DRAWN: <b>JF</b>	SHEET No.: <b>A 01</b>	PAGE SIZE: <b>A3</b>
								<b>30</b>

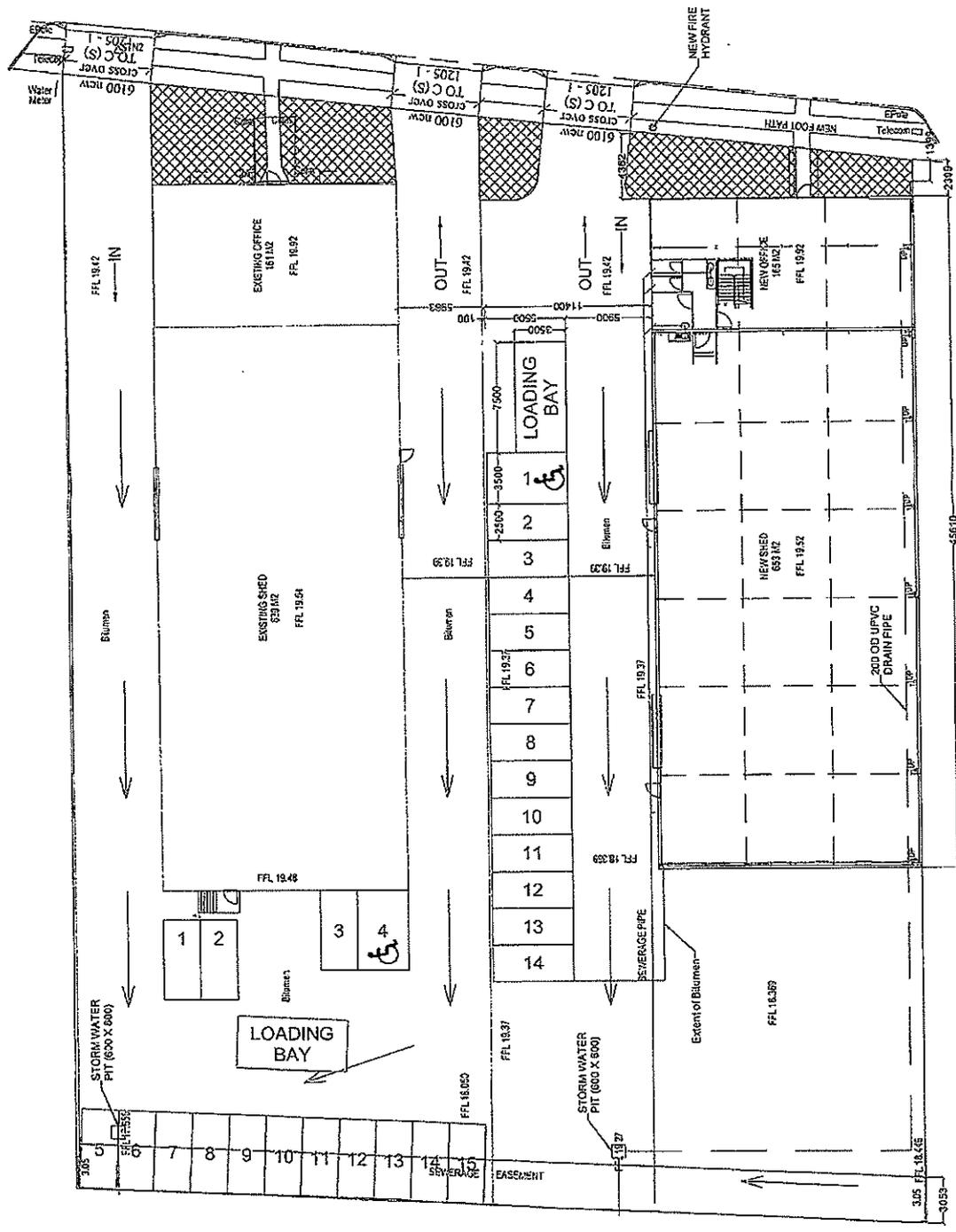
**LEGEND**

-  LANDSCAPE AREA
-  DIRECTION OF TRAFFIC
-  DRAINAGE TO STORMWATER
-  DISABLED CAR PARK
-  CAR PARK NUMBER
-  DOORS

COONAWARRA ROAD

**EXISTING SHED/OFFICE**  
 Landscape area 91.78 M2  
 Office area 161 M2  
 Shed area 639 M2

**NEW SHED/OFFICE**  
 Landscape area 85.7 M2  
 Office area 165 M2  
 (Including wc)  
 Shed area 653 M2



REV:	01
DRAWING TITLE:	GENERAL ARRANGEMENTS
JOB NO.:	ALL 1101
DATE:	09/02/2011
SHEET NO.:	A 02
SCALE:	1:300
PAGE SIZE:	A3
DRWR.:	JF

**SITE:**  
 PROPOSED SHED, OFFICE  
 LOT 1750 COONAWARRA ROAD  
 WINNELLIE

**FOSTER BROTHERS  
 ENGINEERING**  
 Shed 5/14 Mcnamara St. Winnellie NT 0821  
 Mobile 04002 57502  
 A.B.N. 97 114 530 604  
 0825265 88096659 JEM/66 1/2011

REV.	AMENDMENT:	BY:	CHK:	DATE:

Please quote: 2019158 CR:fh  
Your reference: PA2011/0363

17 June 2011

Israel Kgosiemang  
Project Officer - Strategic Lands Planning  
Department of Lands and Planning  
GPO Box 1680  
DARWIN NT 0801

Dear Israel

**Parcel Description: Portion 1750 (150) Coonawarra Road Hundred of Bagot**  
**Proposed Development: Subdivision to create 2 lots.**

Thank you for the Subdivision Application referred to this office 2 June 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

i). **Council supports in principle the granting of a Development Permit.**

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Engineering design and specifications for the proposed and affected roads, including streetlighting, stormwater drainage, vehicular access, pedestrian/cycle corridors, streetscaping and landscaping of nature strips shall be submitted for approval by the Director Technical Services, Darwin City Council and all approved works constructed to Council requirements at the applicant's expense.
- Any easements or reserves required for the purposes stormwater drainage, roads, access or for any other purpose shall be made available free of cost to the Darwin City Council or neighbouring property owners.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

.../2

-2-

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



**LUCCIO CERCARELLI**  
**GENERAL MANAGER INFRASTRUCTURE**

cc: Mr Brad Cunnington

ENCL: YES

**DARWIN CITY COUNCIL**

DATE: 25/05/2011

**REPORT****TO:** TOWN PLANNING COMMITTEE  
MEETING/OPEN B**APPROVED:** CR**FROM:** GENERAL MANAGER INFRASTRUCTURE**APPROVED:** DL**REPORT NO:** 11TS0102 CR:fh**APPROVED:** LC**COMMON NO:** 2013837**SUBJECT:** SUBDIVISION APPLICATION – PARCEL: LOT 1340 (6) CHAPMAN COURT TOWN OF NIGHTCLIFF – PROPOSAL: UNIT PLAN SUBDIVISION TO CREATE 4 UNITS**ITEM NO: 10.4****SYNOPSIS:**

A Subdivision Application for Lot 1340 (6) Chapman Court Town of Nightcliff for a Unit Plan Subdivision to Create 4 Units (**Attachment A**), has been referred to Council for comment pursuant to Section 48 of the Planning Act. The following report addresses relevant Council issues and recommends that Council endorse comments provided to the Development Consent Authority by staff.

**GENERAL:****Applicant:** Mr Kevin Dodd**Zone:** MD (Multiple Dwelling Residential) **Area:** 1,520 m<sup>2</sup>**Proposal:** Unit Plan subdivision to create 4 units**History:**

Development Permit (DP09/0223) was issued in 2009 giving consent to use and develop the land for the purpose of 4 x 3 bedroom multiple dwellings in 2 x 2 storey buildings including car stacker parking.

Variations in relation to the Northern Territory Planning Scheme clauses 6.5.2 (Parking Layout), 7.3 (Building Setbacks) and 7.6 (Communal Open Space) were noted, but Council did not object.

This application involves no new development and is primarily to facilitate the individual ownership of the respective units.

**Site and Surrounds:**

The subject site is identified as Lot 1340 Town of Nightcliff, commonly known as 6 Chapman Court, Nightcliff. The Lot is 1,520 m<sup>2</sup> and is zoned MD (Multiple Dwelling Residential).

PAGE: 2  
 REPORT NO 11TS0102 CR:fh  
 SUBJECT: SUBDIVISION APPLICATION – PARCEL: LOT 1340 (6) CHAPMAN COURT TOWN OF NIGHTCLIFF – PROPOSAL: UNIT PLAN SUBDIVISION TO CREATE 4 UNITS

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There is currently a 4 x 3 bedroom multiple dwelling in 2 x 2 storey building on the subject site. Land in the immediate vicinity is predominantly MD (Multiple Dwelling Residential). The western boundary abuts land belonging to Nightcliff Middle School.

The subject site is predominantly flat and there is an existing sewerage easement along the western and northern boundaries. Access is from an existing crossover on Chapman Road.

Matters to be taken into account (pursuant to Section 51 of the NT Planning Act 1999):

#### **Northern Territory Planning Scheme:**

The proposed development is in the MD (Multiple Dwelling Residential) zone and requires consent.

#### **Disability Discrimination Legislation:**

Disability Discrimination Act issues are addressed under the Building Act requirements. Council places a statement of support for equal opportunity on all responses.

#### **Council Issues:**

Comments to the Authority noted variations in relation to the Northern Territory Planning Scheme, clauses 6.5.2 (Parking Layout), 7.3 (Building Setbacks) and 7.6 (Communal Open Space) but in light of an existing Development Permit (DP09/0223), Council did not object.

The response letter also noted that should access be required to the existing sewerage easement on the subject site, that it be made available free of cost to the Darwin City Council or neighbouring properties.

#### **FINANCIAL IMPLICATIONS:**

Nil.

#### **STRATEGIC PLAN IMPLICATIONS:**

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

##### **Goal 1:**

1. Achieve Effective Partnerships and Engage in Collaborative Relationships.

##### **Outcome**

- 1.1 Improve relations with all levels of Government.

##### **Key Strategies**

- 1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin.
- 1.1.5 Influence Government and developers to develop sustainable projects which reflect Darwin's lifestyle.

PAGE: 3  
 REPORT NO 11TS0102 CR:fh  
 SUBJECT: SUBDIVISION APPLICATION – PARCEL: LOT 1340 (6) CHAPMAN COURT TOWN OF NIGHTCLIFF – PROPOSAL: UNIT PLAN SUBDIVISION TO CREATE 4 UNITS

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1.2 Effectively engage with Community.

1.2.1 Increase involvement of the Business Community for developing solutions to local issues.

**Goal 2:**

2. Enhance Darwin's Active, Positive and Flexible Lifestyle.

**Outcome**

2.1 Improve urban enhancement around Darwin.

**Key Strategies**

2.1.1 Manage and maintain the municipal landscaping and infrastructure to a standard that meets community needs.

2.1.4 Provide a clean and liveable municipality.

**Goal 3:**

3. Assist Individuals and the Community Stay Connected with the Darwin Region.

**Outcome**

3.1 Promote the use of public spaces.

**Key Strategies**

3.1.1 Enhance public spaces and encourage greater use by the community.

3.2 Enhance transport.

3.2.1 Review transport and parking needs systems.

3.2.4 Provide parking facilities and management systems which meet the needs of the community.

**Goal 4:**

4. Create and Maintain an Environmentally Sustainable City.

**Outcome**

4.2 Improve water conservation.

**Key Strategies**

4.2.2 Manage and maintain Council's storm water management system.

**LEGAL IMPLICATIONS:**

This item is not considered "Confidential".

**PUBLIC RELATIONS IMPLICATIONS:**

Not Assessed.

**COMMUNITY SAFETY IMPLICATIONS:**

Not Assessed.

**DELEGATION:**

To the Chief Executive Officer to provide standard Development Permit conditions as appropriate.

PAGE: 4  
REPORT NO 11TS0102 CR:fh  
SUBJECT: SUBDIVISION APPLICATION – PARCEL: LOT 1340 (6) CHAPMAN COURT TOWN OF NIGHTCLIFF – PROPOSAL: UNIT PLAN SUBDIVISION TO CREATE 4 UNITS

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**CONSULTATION:**

Through the Development Application statutory process.

**PROPOSED PUBLIC CONSULTATION PROCESS:**

Nil

**APPROPRIATE SIGNAGE:**

Not Applicable.

**RECOMMENDATIONS:**

THAT the Committee resolve under delegated authority:-

- A. THAT Report Number 11TS0102 CR:fh entitled Proposed Subdivision Application for Lot 1340 (6) Chapman Court Town of Nightcliff for a Unit Plan Subdivision to Create 4 Units, be received and noted.
- B. THAT the letter to the Reporting Body in **Attachment B** to Report Number 11TS0102 CR:fh be endorsed.

**DROSSO LELEKIS**  
**MANAGER DESIGN,**  
**PLANNING & PROJECTS**

**LUCCIO CERCARELLI**  
**GENERAL MANAGER**  
**INFRASTRUCTURE**

Any queries on this report can be directed to Cindy Robson on 8930 0528 or email [c.robson@darwin.nt.gov.au](mailto:c.robson@darwin.nt.gov.au)



# Development Consent Authority

Northern Territory

GPO BOX 1680  
DARWIN NT 0801

Telephone No: (08) 8999 6807  
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0333

Sir or Madam  
Darwin City Council  
GPO Box 84  
DARWIN NT 0801

Dear Sir or Madam,

## Proposed Subdivision Application

The attached application has been received for assessment by the Development Consent Authority:

<b>Parcel Description</b>	Lot 01340 Town of Nightcliff
<b>Road/Street</b>	6 CHAPMAN CT
<b>Town Plan Zone</b>	MD (Multiple Dwelling)
<b>Tenure Type</b>	ESTATE IN FEE SIMPLE
<b>Land Owners</b>	Cane, Lindsay Anne Cox as Trustee for The Garnet Trust, Suzan Jane Cox, Suzan Jane Ronalds, Christine Anne
<b>Applicant</b>	Mr Kevin Dodd
<b>Contact Number</b>	0889812494
<b>Purpose</b>	Unit plan subdivision to create 4 units

The proposal can be viewed online for a two week period from **Friday, 27th May 2011** until **Friday, 10th June 2011** at:

<https://www.ntlis.nt.gov.au/planning/lta.dar.list>

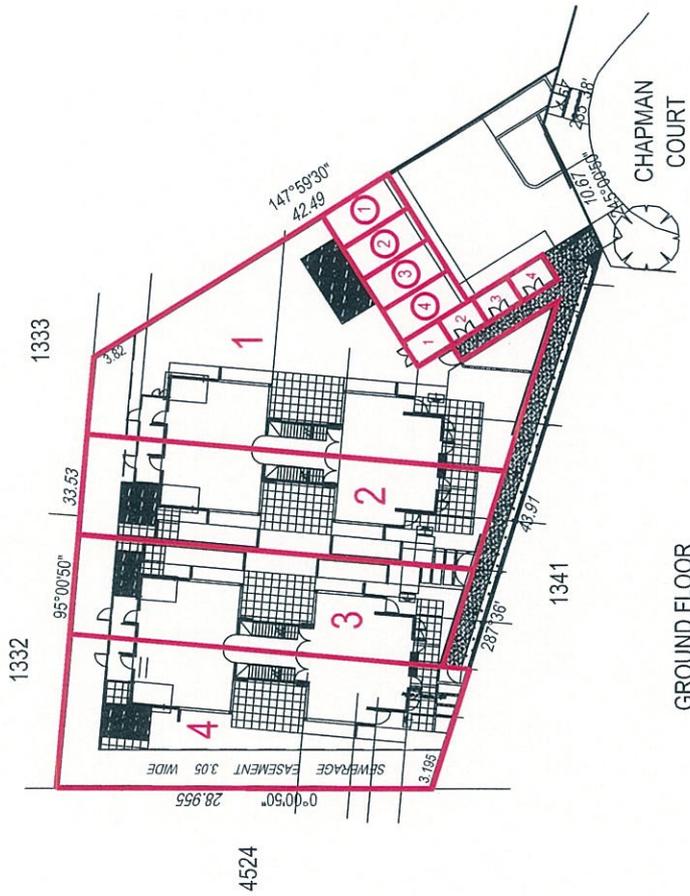
Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Friday, 10th June 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:  
[https://www.ilis.nt.gov.au/ilis/l2?pagelid=planning.application&ilis\\_entity\\_id=63661694](https://www.ilis.nt.gov.au/ilis/l2?pagelid=planning.application&ilis_entity_id=63661694)

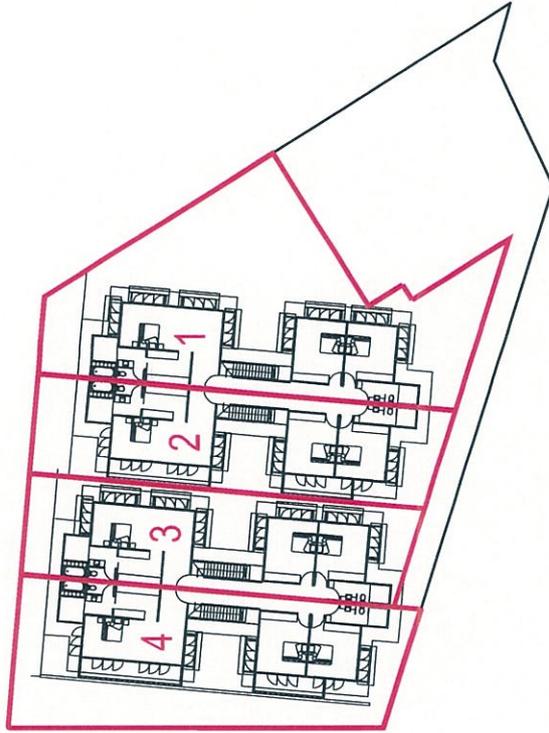
Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.



GROUND FLOOR



FIRST FLOOR

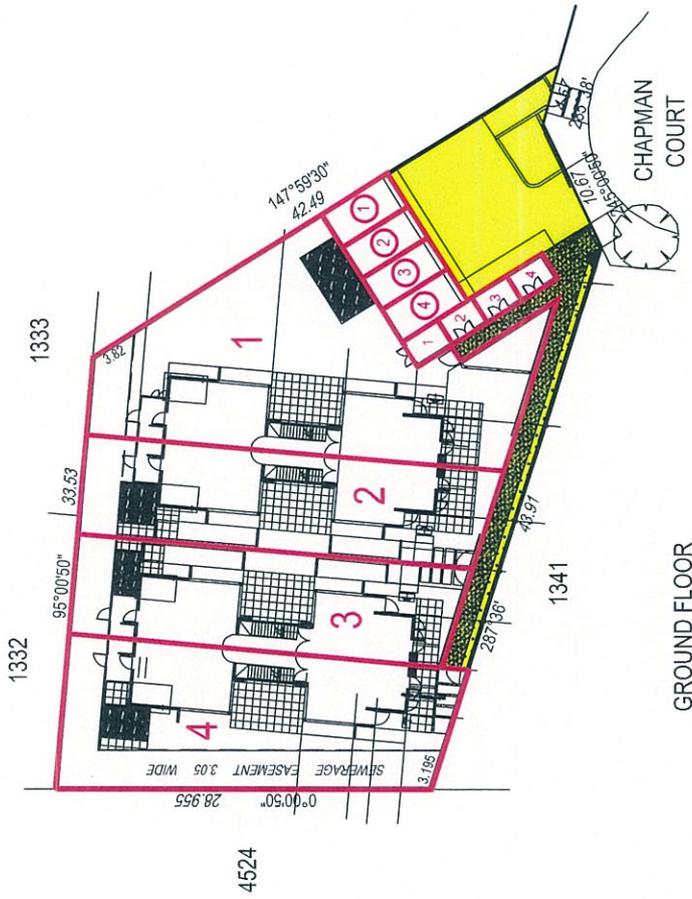
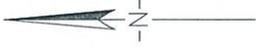


**SURVEY & PLANNING CONSULTANTS**  
 10 HARVEY STREET  
 DARWIN NT 0801  
 PH. (08) 898 7254  
 FAX. (08) 898 15205  
 darwin@eja.com.au

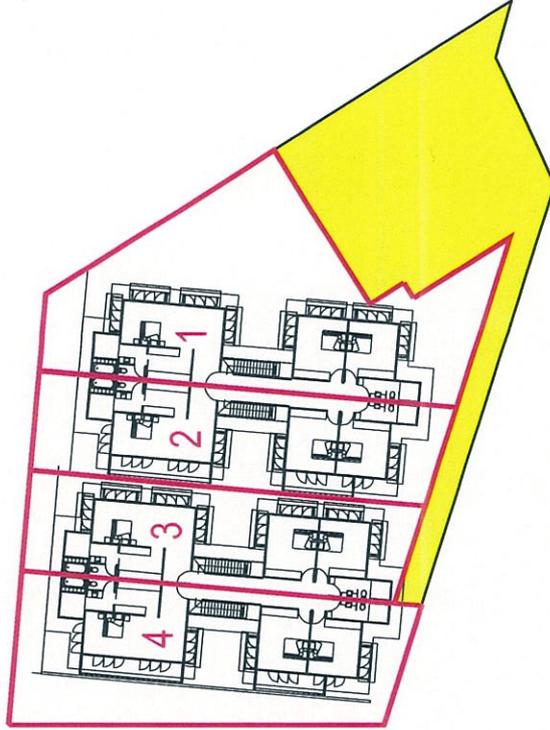
③ denotes Carparking (car stacker)  
 3 denotes Storeroom

**LOT 1340**  
**TOWN OF NIGHTCLIFF**  
**PROPOSED UNIT BOUNDARIES**  
 Client: **WARD KELLER**

Licensed Surveyor:	Scale: 1:400	(A3)
Date:	Datum:	
Drawn by: LS		
Date: 2008/11	Drawing No:	11/7137/6
Cad File: 7137-6.DWG		



GROUND FLOOR



FIRST FLOOR



**SURVEY & PLANNING CONSULTANTS**  
 10 HARVEY STREET  
 DARWIN NT 0801  
 PH. (08) 898 12454  
 FAX. (08) 898 15205  
 darwin@eja.com.au



- 3 denotes Carparking (car stacker)
- 3 denotes Storeroom
- denotes Common Property

**LOT 1340**  
**TOWN OF NIGHTCLIFF**  
**PROPOSED UNIT BOUNDARIES**

Client: **WARD KELLER**

Licensed Surveyor:	Scale: 1:400	(A3)
Date:	Datum:	
Drawn by: RM	Drawing No:	11/713717
Date: 16.05.11	Cap File:	7137-7.DWG

Please quote: 2013837 CR:fh  
Your reference: PA2011/0333

10 June2011

Doug Lesh  
Manager Urban Planning  
Department of Lands and Planning  
GPO Box 1680  
DARWIN NT 0801

Dear Doug

**Parcel Description:** Lot 1340 (6) Chapman Court Town of Nightcliff  
**Proposed Development:** Unit plan subdivision to create 4 units.

Thank you for the Development Application referred to this office 25 May 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **Council supports in principle the granting of a Development Permit and provides the following comments:**
  - a) Council notes a number of variations to the Northern Territory Planning Scheme in relation to clauses 6.5.2 (Parking Layout), 7.3 (Building Setbacks of Residential Buildings and Pergolas, Carports and the Like) and 7.6 (Communal Open Space). While Council does not necessarily support these variations, in light of an existing Development Permit (DP09/0223), it does not object.

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the Director Technical Services, Darwin City Council and at no cost to Council.

.../2

-2-

- Any gate over an access to a public road shall be placed on the subject site at least 4.5m from the face of the kerb line of the adjoining public road.
- Car parking spaces and internal driveways shall meet the requirements of the relevant Australian Standard and be linemarked and sealed with an impervious material.
- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.
- Any easements or reserves required for the purposes stormwater drainage, roads, access or for any other purpose shall be made available free of cost to the Darwin City Council or neighbouring property owners.
- Permit to Occupy shall be withheld until such time as the existing structure on the site is contained within the boundaries of the proposed allotment and until such time as Lot 1340 has been subdivided and a new title issued in respect of the proposed allotment.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



**DROSSO LELEKIS**  
**MANAGER DESIGN, PLANNING AND PROJECTS**

cc: Mr Kevin Dodd

ENCL: YES

**DARWIN CITY COUNCIL**

DATE: 30/05/2011

**REPORT****TO:** TOWN PLANNING COMMITTEE  
MEETING/OPEN B**APPROVED:** CR**FROM:** GENERAL MANAGER INFRASTRUCTURE**APPROVED:** DL**REPORT NO:** 11TS0103 CR:fh**APPROVED:** LC**COMMON NO:** 2016855**SUBJECT:** SUBDIVISION APPLICATION – PARCEL: LOT 4608 (171) BAGOT ROAD TOWN OF DARWIN. – PROPOSAL: UNIT PLAN SUBDIVISION TO CREATE 6 UNITS.**ITEM NO:10.5****SYNOPSIS:**

A Subdivision Application for Lot 4608 (171) Bagot Road Town of Darwin (**Attachment A**), has been referred to Council for comment pursuant to Section 48 of the Planning Act. The following report addresses relevant Council issues and recommends that Council endorse comments provided to the Development Consent Authority by staff.

**GENERAL:****Applicant:** Mr Warwick Bryant**Zone:** MD (Multiple Dwelling Residential)**Area:** 870 m<sup>2</sup>**Proposal:** Unit Plan Subdivision to create 6 units**History:****Site and Surrounds:**

The subject site is zoned MD (Multiple Dwelling Residential) and lots immediately adjacent are also zoned MD. The rear boundary abuts land that is zoned SD (Single Dwelling Residential) and land directly opposite, forms part of the Royal Australian Air Force (RAAF) base golf course.

The subject site is predominantly flat with an existing multiple dwelling present. The site has primary street frontage to a main arterial road in Bagot Road.

Access to the site is from an existing crossover on Bagot Road. No easements exist on the property.

Matters to be taken into account (pursuant to Section 51 of the NT Planning Act 1999):

PAGE: 2  
 REPORT NO 11TS0103 CR:fh  
 SUBJECT: SUBDIVISION application PARCEL: Lot 4608 (171) Bagot Road Town of Darwin  
 PROPOSAL: Unit plan subdivision to create 6 units

---

### **Northern Territory Planning Scheme:**

The proposed development is in the MD (Multiple Dwelling Residential) zone, and requires consent.

### **Disability Discrimination Legislation:**

Disability Discrimination Act issues are addressed under the Building Act requirements. Council places a statement of support for equal opportunity on all responses.

### **Council Issues:**

The application has been assessed against section 11.1.4 *Subdivision for the purpose of Unit Title Scheme* of the NT Planning Scheme. In accordance with the Scheme the proposal was found to have appropriately assigned common facilities within common property and divided the six (6) car parking bays evenly amongst the six (6) residential apartments.

Comments to the Authority note that Bagot Road is not under the jurisdiction of the Darwin City Council and as such there are no stormwater drainage or access implications for Darwin City Council provided, access remains from Bagot Road and stormwater flows into Bagot Road.

### **FINANCIAL IMPLICATIONS:**

Nil.

### **STRATEGIC PLAN IMPLICATIONS:**

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the ‘Evolving Darwin Strategic Directions: Towards 2020 and Beyond’:-

#### **Goal 1:**

1. Achieve Effective Partnerships and Engage in Collaborative Relationships.

#### **Outcome**

- 1.1 Improve relations with all levels of Government.

#### **Key Strategies**

- 1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin.
- 1.1.5 Influence Government and developers to develop sustainable projects which reflect Darwin’s lifestyle.
- 1.2 Effectively engage with Community.
  - 1.2.1 Increase involvement of the Business Community for developing solutions to local issues.

#### **Goal 2:**

2. Enhance Darwin’s Active, Positive and Flexible Lifestyle.

PAGE: 3  
 REPORT NO 11TS0103 CR:fh  
 SUBJECT: SUBDIVISION application PARCEL: Lot 4608 (171) Bagot Road Town of Darwin  
 PROPOSAL: Unit plan subdivision to create 6 units

---

### **Outcome**

2.1 Improve urban enhancement around Darwin.

#### **Key Strategies**

2.1.1 Manage and maintain the municipal landscaping and infrastructure to a standard that meets community needs.

2.1.4 Provide a clean and liveable municipality.

### **Goal 3:**

3. Assist Individuals and the Community Stay Connected with the Darwin Region.

#### **Outcome**

3.1 Promote the use of public spaces.

#### **Key Strategies**

3.1.1 Enhance public spaces and encourage greater use by the community.

3.2 Enhance transport.

3.2.1 Review transport and parking needs systems.

3.2.4 Provide parking facilities and management systems which meet the needs of the community.

### **Goal 4:**

4. Create and Maintain an Environmentally Sustainable City.

#### **Outcome**

4.2 Improve water conservation.

#### **Key Strategies**

4.2.2 Manage and maintain Council's storm water management system.

### **LEGAL IMPLICATIONS:**

This item is not considered "Confidential".

### **PUBLIC RELATIONS IMPLICATIONS:**

Not Assessed.

### **COMMUNITY SAFETY IMPLICATIONS:**

Not Assessed.

### **DELEGATION:**

To the Chief Executive Officer to provide standard Development Permit conditions as appropriate.

### **CONSULTATION:**

Through the Development Application statutory process.

### **PROPOSED PUBLIC CONSULTATION PROCESS:**

Nil

PAGE: 4  
REPORT NO 11TS0103 CR:fh  
SUBJECT: SUBDIVISION application PARCEL: Lot 4608 (171) Bagot Road Town of Darwin  
PROPOSAL: Unit plan subdivision to create 6 units

---

**APPROPRIATE SIGNAGE:**

Not Applicable.

**RECOMMENDATIONS:**

THAT the Committee resolve under delegated authority:-

- A. THAT Report Number 11TS0103 CR:fh entitled Subdivision Application for Lot 4608 (171) Bagot Road Town of Darwin, Unit Plan Subdivision to Create 6 Units, be received and noted.
- B. THAT the letter to the Reporting Body in **Attachment B** to Report Number 11TS0103 CR:fh be endorsed.

**DROSSO LELEKIS**  
**MANAGER DESIGN,**  
**PLANNING & PROJECTS**

**LUCCIO CERCARELLI**  
**GENERAL MANAGER**  
**INFRASTRUCTURE**

Any queries on this report can be directed to Cindy Robson on 8930 0528 or email [c.robson@darwin.nt.gov.au](mailto:c.robson@darwin.nt.gov.au)



## ***Development Consent Authority***

Northern Territory

GPO BOX 1680  
DARWIN NT 0801

Telephone No: (08) 8999 6807  
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0346

Sir or Madam  
Darwin City Council  
GPO Box 84  
DARWIN NT 0801

Dear Sir or Madam,

### **Proposed Subdivision Application**

The attached application has been received for assessment by the Development Consent Authority:

<b>Parcel Description</b>	Lot 04608 Town of Darwin
<b>Road/Street</b>	171 BAGOT RD
<b>Town Plan Zone</b>	MD (Multiple Dwelling)
<b>Tenure Type</b>	ESTATE IN FEE SIMPLE
<b>Land Owners</b>	Kypreos, Evdoxia Kypreos, John
<b>Applicant</b>	Mr Warwick Bryant
<b>Contact Number</b>	0889447888
<b>Purpose</b>	Unit plan subdivision to create 6 units

The proposal can be viewed online for a two week period from **Monday, 13th June 2011** until **Friday, 17th June 2011** at: <https://www.ntlis.nt.gov.au/planning/lta.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Monday, 13th June 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:  
[https://www.ilis.nt.gov.au/ilis/l2?pagelid=planning.application&ilis\\_entity\\_id=63699277](https://www.ilis.nt.gov.au/ilis/l2?pagelid=planning.application&ilis_entity_id=63699277)

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

Should you require further information on this proposal please contact me on **8999 6807**.

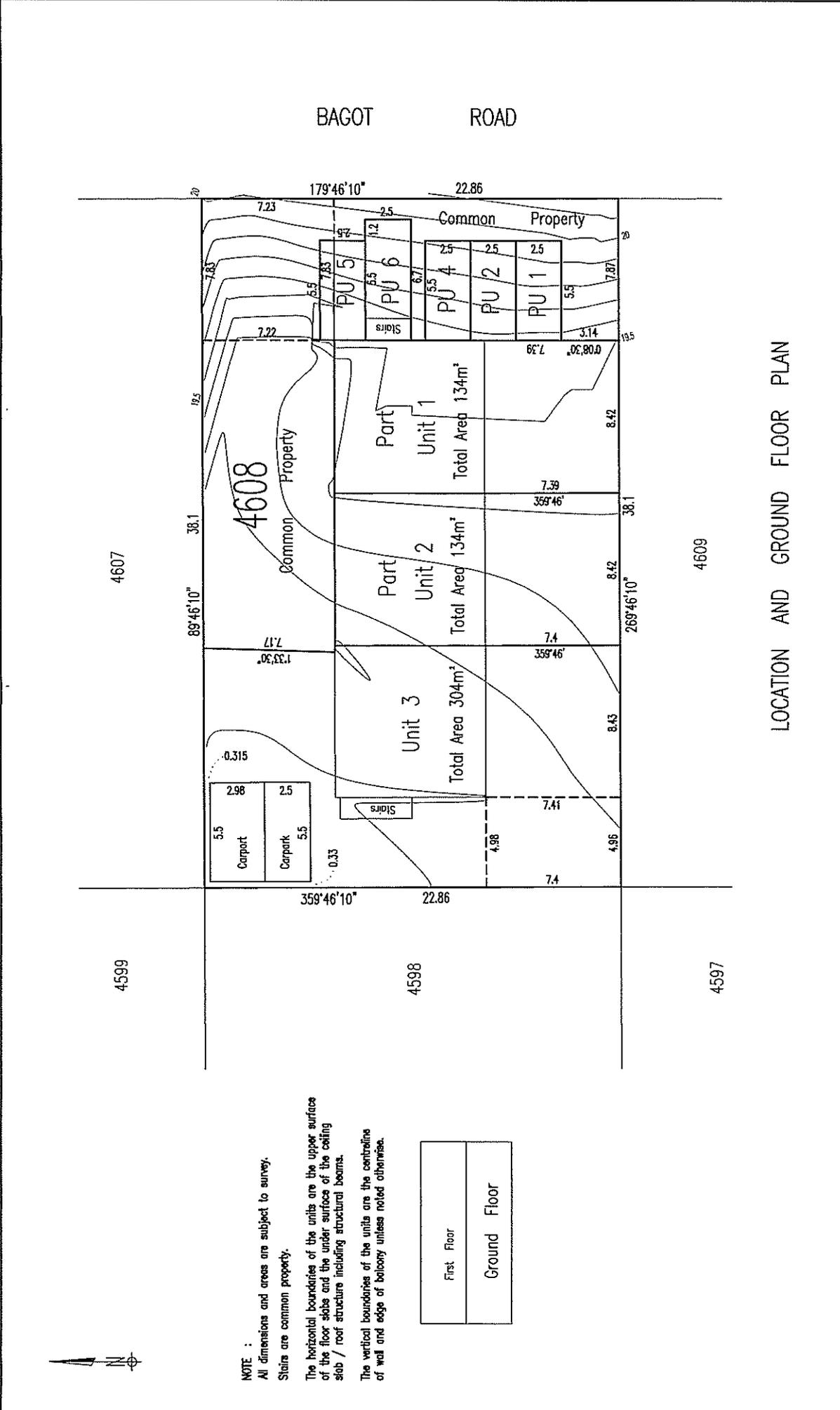
Yours faithfully

**Anguree Jansen van Rensburg**  
Development Assessment Services

30 May 2011

Attach.





**NOTE :**  
 All dimensions and areas are subject to survey.  
 Stairs are common property.  
 The horizontal boundaries of the units are the upper surfaces of the floor slabs and the under surfaces of the ceiling slab / roof structure including structural beams.  
 The vertical boundaries of the units are the centreline of wall and edge of balcony unless noted otherwise.

First Floor
Ground Floor

LOCATION AND GROUND FLOOR PLAN

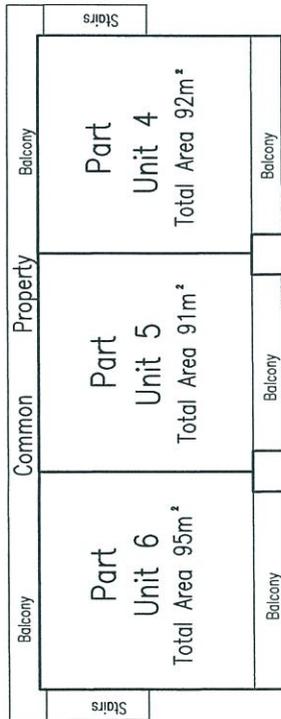
	UNIT 2, 141 MITCHELL ST DARWIN GPO BOX 3072 DARWIN NT 0801 PHONE (08) 8944 7888 FAX (08) 8944 7820 EMAIL <a href="mailto:fyfejma@fyfe.com.au">fyfejma@fyfe.com.au</a>	CLIENT: MEDHAT GABRIEL LEVEL DATUM: AHD CO-ORD DATUM: LOCAL SURVEYOR: P.G.B. DRAFTSMAN: R.M.T. 21/03/11 CHECKED: A.E.F.	PROPOSED UNIT TITLE SUBDIVISION LOT 4608 TOWN OF DARWIN 171 BAGOT ROAD, LUDMILLA	PLAN No: 28974 / 01	REV. 0
	SCALE 1: 200 	BSI MANAGEMENT SYSTEMS <small>AS/NZS 15000:1:2005</small>			



**NOTE :**

- All dimensions and areas are subject to survey.
- Stairs are common property.
- The horizontal boundaries of the units are the upper surfaces of the floor slabs and the under surface of the ceiling slab / roof structure including structural beams.
- The vertical boundaries of the units are the centreline of wall and edge of balcony unless noted otherwise.

First Floor
Ground Floor



**FIRST FLOOR PLAN**

**FIFE JMA**  
 LICENSED SURVEYORS  
 UNIT 2, 141 MITCHELL ST  
 DARWIN  
 GPO BOX 3072  
 DARWIN NT 0801  
 PHONE (08) 8944 7888  
 FAX (08) 8944 7820  
 EMAIL: [fjfe@fife.com.au](mailto:fjfe@fife.com.au)

15 metres

SCALE 1: 200

**BSI MANAGEMENT SYSTEMS**  
AS/NZS ISO9001:2008

CLIENT :	MEDHAT GABRIEL
LEVEL DATUM :	AHD
CO-ORD DATUM :	LOCAL
SURVEYOR :	P.G.B.
DRAFTSMAN :	R.M.T. 21/03/11
CHECKED :	A.E.F.

PROPOSED UNIT TITLE SUBDIVISION  
 LOT 4608  
 TOWN OF DARWIN  
 171 BAGOT ROAD, LUDMILLA

PLAN No:	28974 / 02
REV.	0



# Darwin City Council

Website: [www.darwin.nt.gov.au](http://www.darwin.nt.gov.au)

Please quote: 2016855 CR:fh  
Your reference: PA2011/0346

17 June 2011

Doug Lesh  
Manager Urban Planning  
Department of Lands and Planning  
GPO Box 1680  
DARWIN NT 0801

Dear Doug

**Parcel Description:** Lot 4608 (171) Bagot Road Town of Darwin.  
**Proposed Development:** Unit plan subdivision to create 6 units.

Thank you for the Development Application referred to this office 30 May 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

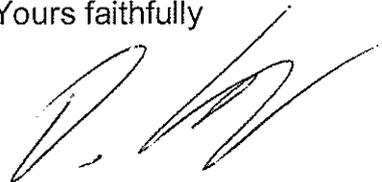
The following issues are raised for consideration by the Authority:

- i). **Council supports in principle the granting of a Development Permit and offers the following comments:**
  - a) It is noted that Bagot Road is not under the jurisdiction of the Darwin City Council and as such there are no stormwater drainage or access implications for Darwin City Council provided access remains from Bagot Road and stormwater flows into Bagot Road.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



**DROSSO LELEKIS**  
**MANAGER DESIGN & PLANNING**

cc: Mr Warwick Bryant

ENCL: YES

**DARWIN CITY COUNCIL**

DATE: 09/05/2011

**REPORT****TO:** TOWN PLANNING COMMITTEE  
MEETING/OPEN B**APPROVED:** CR**FROM:** GENERAL MANAGER INFRASTRUCTURE**APPROVED:** DL**REPORT NO:** 11TS0107 CR:fh**APPROVED:** LC**COMMON NO:** 2002379**SUBJECT:** PLANNING SCHEME AMENDMENT - **PARCEL:** PART SECTION 3464 & SECTION 3465 (25) & (39) AMY JOHNSON AVENUE WINNELLIE, HUNDRED OF BAGOT - **PROPOSAL:** REZONE FROM ZONES PS (PUBLIC OPEN SPACE) AND CP (COMMUNITY PURPOSES) TO ZONE SC (SERVICE COMMERCIAL)**ITEM NO: 10.6****SYNOPSIS:**

A Planning Scheme Amendment for Part Section 3464 & Section 3465 (25) & (39) Amy Johnson Avenue Winnellie, Hundred Of Bagot (**Attachment A**) has been referred to Council for comment pursuant to Section 48 of the Planning Act. The following report addresses relevant Council issues and recommends that Council endorse comments provided to the Development Consent Authority by staff.

**GENERAL:****Applicant:** Department of Lands and Planning, Northern Territory Government**Zone:** PS (Public Open Space) & CP (Community Purpose)**Area:** Part Section 3464 is 4146m<sup>2</sup> & 2880m<sup>2</sup>; Section 3465 is 5437 m<sup>2</sup>**Proposal:** Rezone from Zones PS (Public Open Space) & CP (Community Purpose) to Zone SC (Service Commercial)**History:**

In 2007 a part section of 3464 (rezoned General Industry in 1993) was sold in order to facilitate a consolidation of Lots 1557 and 1558 for the purpose of creating a ten (10) lot subdivision for industrial allotments. Council's response letter to the subdivision raised concerns about the proximity of the cul-de-sac head to the intersection of Farrell Crescent and the general road width.

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 REPORT NO: 11TS0107 CR:FH  
 SUBJECT: PLANNING SCHEME AMENDMENT - PARCEL: PART SECTION 3464 & SECTION 3465 (25) & (39) AMY JOHNSON AVENUE WINNELLIE, HUNDRED OF BAGOT - PROPOSAL: REZONE FROM ZONES PS (PUBLIC OPEN SPACE) AND CP (COMMUNITY PURPOSES) TO ZONE SC (SERVICE COMMERCIAL)

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### **Site and Surrounds:**

The subject sites are identified as Part Section 3464 and Section 3465, Town of Bagot, more commonly referred to as 25 and 39 Amy Johnstone Avenue, Winnellie. The proposed part sections are as follows:

<u>Section 3464</u>	-	2880m <sup>2</sup> and 4146m <sup>2</sup>
<u>Section 3465</u>	-	5437m <sup>2</sup>

Section 3464 is zoned PS (Public Open Space) and Section 3465 is zoned CP (Community Purpose). The proposed rezoning is SC (Service Commercial).

The proposed allotments are currently vacant with no permanent structures other than some immature trees and low lying shrubs. Land in the immediate vicinity is zoned GI (General Industry) and surrounding land uses reflect this. There are no existing crossovers for the proposed allotments and no easements are listed on any of the allotments.

Section 3464 accommodates an existing vegetated creek line which has been interrupted by the extension of Amy Johnson Avenue through to Tiger Brennan Drive. The portion of Section 3464 to be rezoned is cleared of vegetation. This area, if rezoned and then subdivided from the remaining portion of Section 3464, would be landlocked and therefore it is assumed that this portion of land would eventually be amalgamated or leased to adjoining lots facing Farrell Crescent.

Section 3465 is currently zoned CP (Community Purpose). The land is lightly vegetated with no further improvements. This section of land previously had a narrow street frontage to the Stuart Highway prior to being reduced for the Amy Johnson Avenue extension.

If this land were rezoned, it is assumed that an application to consolidate it with adjoining Section 4507 (facing Farrell Crescent) would be made.

Matters to be taken into account (pursuant to Section 51 of the NT Planning Act 1999):

### **Northern Territory Planning Scheme:**

The proposed rezonings are in the PS(Public Open Space) and CP (Community Purpose) zones, and require consent.

### **Disability Discrimination Legislation:**

Disability Discrimination Act issues are addressed under the Building Act requirements. Council places a statement of support for equal opportunity on all responses.

### **Council Issues:**

Comments to the Authority objected to the rezonings on the basis that there is no strategic direction to guide development in the area. While the proposed rezonings would not be

PAGE: 3  
 REPORT NO: 11TS0107 CR:FH  
 SUBJECT: PLANNING SCHEME AMENDMENT - PARCEL: PART SECTION 3464 & SECTION 3465 (25) & (39) AMY JOHNSON AVENUE WINNELLIE, HUNDRED OF BAGOT - PROPOSAL: REZONE FROM ZONES PS (PUBLIC OPEN SPACE) AND CP (COMMUNITY PURPOSES) TO ZONE SC (SERVICE COMMERCIAL)

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out of character with the existing built form within the area, the current zonings of PS (Public Open Space) and CP (Community Purpose) represent land which may be of value to the community in the future.

The land is owned by the Northern Territory Government and the application makes no clear indication of whether they will sell or lease the land to either new or existing tenants. There are no existing crossovers to any of the proposed allotments, with the smaller part section of Section 3464 being entirely land locked and no access/egress points being identified in the plans. Access for Section 3465 and the larger part of section 3464 could be achieved from Amy Johnson Avenue, however, there is a significant road reserve located along the eastern boundary of both allotments. Stuart Highway and Amy Johnson Avenue are both Northern Territory Government roads.

The allotments contain no Darwin City Council Stormwater Infrastructure and will require approval from the Northern Territory Government for any proposed stormwater connections or discharge plans.

### **FINANCIAL IMPLICATIONS:**

Nil.

### **STRATEGIC PLAN IMPLICATIONS:**

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

#### **Goal 1:**

1. Achieve Effective Partnerships and Engage in Collaborative Relationships.

#### **Outcome**

1.1 Improve relations with all levels of Government.

#### **Key Strategies**

1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin.

1.1.5 Influence Government and developers to develop sustainable projects which reflect Darwin's lifestyle.

1.2 Effectively engage with Community.

1.2.1 Increase involvement of the Business Community for developing solutions to local issues.

#### **Goal 2:**

2. Enhance Darwin's Active, Positive and Flexible Lifestyle.

#### **Outcome**

2.1 Improve urban enhancement around Darwin.

#### **Key Strategies**

2.1.1 Manage and maintain the municipal landscaping and infrastructure to a standard that meets community needs.

2.1.4 Provide a clean and liveable municipality.

PAGE: 4  
 REPORT NO: 11TS0107 CR:FH  
 SUBJECT: PLANNING SCHEME AMENDMENT - PARCEL: PART SECTION 3464 & SECTION 3465 (25) & (39) AMY JOHNSON AVENUE WINNELLIE, HUNDRED OF BAGOT - PROPOSAL: REZONE FROM ZONES PS (PUBLIC OPEN SPACE) AND CP (COMMUNITY PURPOSES) TO ZONE SC (SERVICE COMMERCIAL)

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**Goal 3:**

3. Assist Individuals and the Community Stay Connected with the Darwin Region.

**Outcome**

3.1 Promote the use of public spaces.

**Key Strategies**

3.1.1 Enhance public spaces and encourage greater use by the community.

3.2 Enhance transport.

3.2.1 Review transport and parking needs systems.

3.2.4 Provide parking facilities and management systems which meet the needs of the community.

**Goal 4:**

4. Create and Maintain an Environmentally Sustainable City.

**Outcome**

4.2 Improve water conservation.

**Key Strategies**

4.2.2 Manage and maintain Council's storm water management system.

**LEGAL IMPLICATIONS:**

This item is not considered "Confidential".

**PUBLIC RELATIONS IMPLICATIONS:**

Not Assessed.

**COMMUNITY SAFETY IMPLICATIONS:**

Not Assessed.

**DELEGATION:**

To the Chief Executive Officer to provide standard Development Permit conditions as appropriate.

**CONSULTATION:**

Through the Development Application statutory process.

**PROPOSED PUBLIC CONSULTATION PROCESS:**

Nil

**APPROPRIATE SIGNAGE:**

Not Applicable.

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REPORT NO: 11TS0107 CR:FH  
SUBJECT: PLANNING SCHEME AMENDMENT - PARCEL: PART SECTION 3464 & SECTION 3465 (25) & (39) AMY JOHNSON AVENUE WINNELLIE, HUNDRED OF BAGOT - PROPOSAL: REZONE FROM ZONES PS (PUBLIC OPEN SPACE) AND CP (COMMUNITY PURPOSES) TO ZONE SC (SERVICE COMMERCIAL)

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**RECOMMENDATIONS:**

THAT the Committee resolve under delegated authority:-

- A. THAT Report Number 11TS0107 CR:fh entitled Planning Scheme Amendment for Part Section 3464 & Section 3465 (25) & (39) Amy Johnson Avenue Winnellie, Hundred Of Bagot - Rezone from Zones PS (Public Open Space) and CP (Community Purposes) to Zone SC (Service Commercial), be received and noted.
- B. THAT the letter to the Reporting Body in **Attachment B** to Report Number 11TS0107 CR:fh be endorsed.

**DROSSO LELEKIS**  
**MANAGER DESIGN,**  
**PLANNING & PROJECTS**

**LUCCIO CERCARELLI**  
**GENERAL MANAGER**  
**INFRASTRUCTURE**

Any queries on this report can be directed to Cindy Robson on 8930 0528 or email [c.robson@darwin.nt.gov.au](mailto:c.robson@darwin.nt.gov.au)



**EXISTING PLANNING SCHEME AMENDMENT PA2011/0034**  
 Rezone part Section 3464 and Section 3465  
 Hundred of Bagot  
 From Zones PS (Public Open Space) and  
 CP (Community Purposes)  
 to Zone SC (Service Commercial)



Northern Territory Government

Department of Lands & Planning



Scale 1: 5000 @ A4



File: PA2011 / 0034  
 Date: 4/05/2011  
 Drawing Name: Prop Section 6010 Bagot.dgn

Please quote: 2002379 CR:fh  
Your reference: PA2011/0034

20 May 2011

Phillippa Bushby  
Project Officer - Strategic Lands Planning  
Department of Lands and Planning  
GPO Box 1680  
DARWIN NT 0801

Dear Phillippa

**Parcel Description:** Part Section 3464 & Section 3465 (25) & (39) Amy Johnson Avenue Winnellie, Hundred of Bagot  
**Proposed Development:** Rezone from Zones PS (Public Open Space) and CP (Community Purposes) to Zone SC (Service Commercial)

Thank you for the Development Application referred to this office 6 May 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **Council objects to the granting of a Development Permit for the following reasons:**
  - a). The Northern Territory Planning Scheme does not provide strategic direction with regard to managing the development of urban land and as such, it is difficult to gauge whether or not this proposal would result in an appropriate form of development.

Should the Northern Territory Government develop a strategic direction to guide future development in the area, which includes the rezoning of land, it may be possible to support a rezoning. However, currently there is no strategic direction or indication of the potential impacts the rezoning may have on the wider community.

On the basis that there is no strategic direction to increase density in the area, Council cannot support this application.

.../2

-2-

In considering this application, the Reporting Body is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



**DROSSO LELEKIS**  
**MANAGER DESIGN, PLANNING AND PROJECTS**

cc: Department of Lands and Planning

ENCL: YES

## DARWIN CITY COUNCIL

DATE: 24/05/2011

## REPORT

TO: TOWN PLANNING COMMITTEE  
MEETING/OPEN B

APPROVED: CR

FROM: GENERAL MANAGER INFRASTRUCTURE

APPROVED: DL

REPORT NO: 11TS0082 CR:fh

APPROVED: LC

COMMON NO: 2010667

**SUBJECT:** PROPOSED PLANNING SCHEME AMENDMENT PA2011/0061 -  
**PROPOSAL:** UNDER SECTION 13(2)(B) OF THE PLANNING ACT,  
 THE MINISTER FOR LANDS AND PLANNING HAS INITIATED AN  
 AMENDMENT TO THE NT PLANNING SCHEME THAT AIMS TO  
 CLARIFY THE MEASUREMENT OF RESIDENTIAL BUILDING  
 HEIGHT

**ITEM NO: 10.7****SYNOPSIS:**

A Proposed Planning Scheme Amendment PA2011/0061, under Section 13(2)(B) of the Planning Act, whereupon, the Minister for Lands and Planning has initiated an Amendment to the NT Planning Scheme that aims to clarify the measurement of residential building height (**Attachment A**), has been referred to Council for comment pursuant to Section 48 of the Planning Act. The following report addresses relevant Council issues and recommends that Council endorse comments provided to the Development Consent Authority by staff.

**GENERAL:**

**Applicant:** Minister for Lands and Planning, Northern Territory Government

**Proposal:**

To amend to the Northern Territory Planning Scheme to clarify the measurement of building height as outlined in the scheme..

The Department of Lands and Planning has identified the following issues with sub-clauses three and five of sub-clause 7.1 – *Residential Density and Height Limitations*:

- *“Sub-clause three does not clearly define if building height should be measured from ground level of the site before construction or from the floor level of the proposed building; and*
- *Sub-clause five does not clearly articulate that a seven metre height limit applies to habitable room floor space.*

PAGE: 2  
 REPORT NO: 11TS0082 CR:fh  
 SUBJECT: PROPOSED PLANNING SCHEME AMENDMENT PA2011/0061 - **PROPOSAL**: UNDER SECTION 13(2)(B) OF THE PLANNING ACT, THE MINISTER FOR LANDS AND PLANNING HAS INITIATED AN AMENDMENT TO THE NT PLANNING SCHEME THAT AIMS TO CLARIFY THE MEASUREMENT OF RESIDENTIAL BUILDING HEIGHT

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The proposed Scheme amendment aims to address these matters by:

- *Defining ‘ground level’ in the Planning Scheme as the ground surface level that exists on a site prior to the commencement of earth or construction works associated with the development of a building;*
- *Clarifying that height is measured above ground level in the zone purpose statements in clauses 5.2, 5.3, and 5.4, and within the general building height controls at clauses 6.1 and 6.2*
- *Clarifying that a single dwelling is not to contain any part of a room (habitable or otherwise), verandah or balcony 7m above ground level without consent (clause 7.1, sub-clause five)*
- *Clarifying that where a room does not have a horizontal ceiling, a normal ceiling envelop of 2.7m shall be applied to the subject storey. Anything above the 2.7m envelop will be considered air space and should not be inhabited, unless consent is otherwise granted (clause 7.1, sub-clause five);*
- *Clarifying that a topographical survey may be required to determine ground level (clauses 6.1 and 7.1.2); and*
- *Improving the useability of Clause 7.1 by separating building height and density requirements.”*

Matters to be taken into account (pursuant to Section 51 of the NT Planning Act 1999):

#### **Northern Territory Planning Scheme:**

The proposed scheme amendment requires consent.

#### **Disability Discrimination Legislation:**

Disability Discrimination Act issues are addressed under the Building Act requirements. Council places a statement of support for equal opportunity on all responses.

#### **Discussion:**

The Minister for Lands and Planning has initiated an amendment to the Northern Territory Planning Scheme 2009 that aims to clarify the measurement of building height in the Scheme.

Currently the Northern Territory Planning Scheme provides no definition for ‘ground level’. This omission creates difficulties when interpreting zone purpose statements in relation to building height in clauses 5.2 *Zone MD – Multiple Dwelling Residential*, 5.3 *Zone MR – Medium Density Residential*, and 5.4 *High Density Residential*. In their current form, clauses 5.2, 5.3 and 5.4 only offer a storey limit for building height and make no clear provisions for how that exact height is measured. The proposed

PAGE: 3  
 REPORT NO: 11TS0082 CR:fh  
 SUBJECT: PROPOSED PLANNING SCHEME AMENDMENT PA2011/0061 - **PROPOSAL**: UNDER SECTION 13(2)(B) OF THE PLANNING ACT, THE MINISTER FOR LANDS AND PLANNING HAS INITIATED AN AMENDMENT TO THE NT PLANNING SCHEME THAT AIMS TO CLARIFY THE MEASUREMENT OF RESIDENTIAL BUILDING HEIGHT

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amendments stipulate that the storey limit that is given in each respective zone is to be measured from 'ground level', as defined in clause 3.0 – *Definitions*.

To improve the useability of clause 7.1 *Residential Density and Height Limitations* the proposed amendment splits the existing clause 7.1 into two sub-clauses, one for Residential Density and another for Height Limitations.

Proposed sub-clause five of 7.1.2. clarifies that a single dwelling is not to contain any part of a room (habitable or otherwise), verandah or balcony seven metres above ground level, without consent. Additionally, it clarifies that where a room does not have a horizontal ceiling, a normal ceiling envelope of 2.7 metres shall be applied to the subject storey. Anything above the 2.7 metre envelope will be considered air space and should not be inhabited, unless consent is otherwise granted in clause 7.1, sub-clause five.

The proposed amendment also introduces the following minor changes to the Scheme:

- The words 'ground level' are in bold writing to denote that it is now a defined term;
- For the proposed *Table A to clause 7.1.1 Dwelling Density in Certain Zones* a note in the margin indicates that clause 11.1 refers to minimum lot sizes and other associated requirements.
- For the proposed *Table E to clause 7.1.1 Dwelling Density in Zone C for Residential Buildings* a note in the margin indicates that clause 7.9 limits residential development at the ground floor level in Zone C.
- In relation to clauses 6.1 *General Height Control* and 7.1.2 *Residential Height Limitations*, a proposed note in the margin indicates that a topographical survey may be required to determine 'accurate ground level' of the site.

### **Council Issues:**

The definition of 'ground level' provides greater clarification for the assessment of measuring building heights under the scheme.

The proposed amendments improve the useability of Clause 7.1 by separating building height and density requirements into individual clauses to address existing issues with how this section of the Scheme is interpreted.

The proposed note in the margin to Clauses 6.1 and 7.1.2 indicating that a topographical survey may be required to determine 'accurate ground level' informs the applicant that this may be requested as a part of any application.

The proposed amendments will provide more rigour to areas of the Planning Scheme that were previously open to interpretation. By creating these more stringent controls, users of the Scheme are able to more clearly interpret the Scheme thus creating a more efficient and effective development process.

PAGE: 4  
 REPORT NO: 11TS0082 CR:fh  
 SUBJECT: PROPOSED PLANNING SCHEME AMENDMENT PA2011/0061 - **PROPOSAL**: UNDER SECTION 13(2)(B) OF THE PLANNING ACT, THE MINISTER FOR LANDS AND PLANNING HAS INITIATED AN AMENDMENT TO THE NT PLANNING SCHEME THAT AIMS TO CLARIFY THE MEASUREMENT OF RESIDENTIAL BUILDING HEIGHT

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### **FINANCIAL IMPLICATIONS:**

Nil.

### **STRATEGIC PLAN IMPLICATIONS:**

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

#### **Goal 1:**

1. Achieve Effective Partnerships and Engage in Collaborative Relationships.

#### **Outcome**

1.1 Improve relations with all levels of Government.

#### **Key Strategies**

1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin.

1.1.5 Influence Government and developers to develop sustainable projects which reflect Darwin's lifestyle.

1.2 Effectively engage with Community.

1.2.1 Increase involvement of the Business Community for developing solutions to local issues.

#### **Goal 2:**

2. Enhance Darwin's Active, Positive and Flexible Lifestyle.

#### **Outcome**

2.1 Improve urban enhancement around Darwin.

#### **Key Strategies**

2.1.1 Manage and maintain the municipal landscaping and infrastructure to a standard that meets community needs.

2.1.4 Provide a clean and liveable municipality.

#### **Goal 3:**

3. Assist Individuals and the Community Stay Connected with the Darwin Region.

#### **Outcome**

3.1 Promote the use of public spaces.

#### **Key Strategies**

3.1.1 Enhance public spaces and encourage greater use by the community.

3.2 Enhance transport.

3.2.1 Review transport and parking needs systems.

3.2.4 Provide parking facilities and management systems which meet the needs of the community.

PAGE: 5  
REPORT NO: 11TS0082 CR:fh  
SUBJECT: PROPOSED PLANNING SCHEME AMENDMENT PA2011/0061 - **PROPOSAL**: UNDER SECTION 13(2)(B) OF THE PLANNING ACT, THE MINISTER FOR LANDS AND PLANNING HAS INITIATED AN AMENDMENT TO THE NT PLANNING SCHEME THAT AIMS TO CLARIFY THE MEASUREMENT OF RESIDENTIAL BUILDING HEIGHT

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**Goal 4:**

4. Create and Maintain an Environmentally Sustainable City.

**Outcome**

4.2 Improve water conservation.

**Key Strategies**

4.2.2 Manage and maintain Council's storm water management system.

**LEGAL IMPLICATIONS:**

This item is not considered "Confidential".

**PUBLIC RELATIONS IMPLICATIONS:**

Not Assessed.

**COMMUNITY SAFETY IMPLICATIONS:**

Not Assessed.

**DELEGATION:**

To the Chief Executive Officer to provide standard Development Permit conditions as appropriate.

**CONSULTATION:**

Through the Development Application statutory process.

**PROPOSED PUBLIC CONSULTATION PROCESS:**

Nil

**APPROPRIATE SIGNAGE:**

Not Applicable.

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REPORT NO: 11TS0082 CR:fh  
SUBJECT: PROPOSED PLANNING SCHEME AMENDMENT PA2011/0061 - **PROPOSAL**: UNDER SECTION 13(2)(B) OF THE PLANNING ACT, THE MINISTER FOR LANDS AND PLANNING HAS INITIATED AN AMENDMENT TO THE NT PLANNING SCHEME THAT AIMS TO CLARIFY THE MEASUREMENT OF RESIDENTIAL BUILDING HEIGHT

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**RECOMMENDATIONS:**

THAT the Committee resolve under delegated authority:-

- A. THAT Report Number 11TS0082 CR:fh entitled A Proposed Planning Scheme Amendment PA2011/0061, Under Section 13(2) (B) of the Planning Act, whereupon, the Minister for Lands and Planning has initiated an Amendment to the NT Planning Scheme That Aims to Clarify the Measurement of Residential Building Height, be received and noted.
- B. THAT the letter to the Reporting Body in **Attachment B** to Report Number 11TS0082 CR:fh be endorsed.

**DROSSO LELEKIS**  
**MANAGER DESIGN,**  
**PLANNING & PROJECTS**

**LUCCIO CERCARELLI**  
**GENERAL MANAGER**  
**INFRASTRUCTURE**

Any queries on this report can be directed to Cindy Robson on 8930 0528 or email [c.robson@darwin.nt.gov.au](mailto:c.robson@darwin.nt.gov.au)

## NORTHERN TERRITORY OF AUSTRALIA

PROPOSAL TO AMEND NT PLANNING SCHEME  
PA2011/0061

The Minister for Lands and Planning has initiated an amendment to the NT Planning Scheme that aims to clarify the measurement of residential building height.

Attached are:

- the Notice of Exhibition under section 17 of the *Planning Act*;
- extracts from the NT Planning Scheme followed by the corresponding clauses with the proposed changes highlighted.

The exhibition period is from Friday 20 May 2011 to Friday 17 June 2011.

Written submissions about the proposed planning scheme amendment are to be received by 4.00pm on Friday, 17 June 2011 and made to:

Michael Holmes  
Senior Planner  
Strategic Lands Planning  
Department of Lands and Planning  
GPO Box 1680  
DARWIN NT 0801; or

Email: [planning@nt.gov.au](mailto:planning@nt.gov.au)

Fax: (08) 8999 7189 or

Hand delivered to:

- Ground Floor, Cavenagh House, 38 Cavenagh Street, Darwin;
- Level 1, Alice Plaza, Todd Mall, Alice Springs;
- Level 1, Government Centre, 5 First Street, Katherine; and
- Regional Office, Leichhardt Street, Tennant Creek.

For more information please telephone 8999 8963.

NORTHERN TERRITORY OF AUSTRALIA

*Planning Act*

NOTICE OF EXHIBITION OF PROPOSAL  
TO AMEND NT PLANNING SCHEME  
PA2011/0061

I, GERALD FRANCIS MCCARTHY, the Minister for Lands and Planning give notice under section 17 of the *Planning Act* (the Act), of the following:

- (a) a proposal to amend the NT Planning Scheme, numbered PA2011/0061 as referred to in (e), is to be exhibited under Division 3 of Part 2 of the Act;
- (b) the amendment is to be exhibited at the following offices of the Department of Lands and Planning:
- Ground Floor, Cavenagh House, 38 Cavenagh Street, Darwin;
  - Level 1, Alice Plaza, Todd Mall, Alice Springs;
  - Level 1, Government Centre, 5 First Street, Katherine; and
  - Regional Office, Leichhardt Street, Tennant Creek.
- (c) the period of exhibition is for 28 days, commencing upon first newspaper publication of the notice required by section 17(1);
- (d) written submissions in respect of this exhibition should be made to:
- Michael Holmes  
Senior Planner  
Strategic Lands Planning  
Department of Lands and Planning  
GPO Box 1680  
DARWIN NT 0801 or
- Fax: (08) 8999 7189 or
- Email: [planning@nt.gov.au](mailto:planning@nt.gov.au)
- (e) the proposed amendment to the NT Planning Scheme aims to clarify the measurement of building height by:
- defining 'ground level' in the NT Planning Scheme as the ground surface level that exists on a site prior to the commencement of earth or construction works associated with the development of a building;

- clarifying that height is measured above ground level in the zone purpose statements in clauses 5.2, 5.3 and 5.4, and within the general building height controls at clauses 6.1 and 6.2;
- clarifying that a single dwelling is not to contain any part of a room (habitable or otherwise), verandah or balcony seven metres above ground level, without consent (clause 7.1, sub-clause five);
- clarifying that where a room does not have a horizontal ceiling, a normal ceiling envelop of 2.7 metres shall be applied to the subject storey. Anything above the 2.7 metre envelop will be considered air space and should not be inhabited, unless consent is otherwise granted in clause 7.1, sub-clause five;
- clarifying that a topographical survey may be required to determine ground level (clauses 6.1 and 7.1.2); and
- improving the useability of clause 7.1, by separating building height and density requirements.

Dated *20th April* 2011.



Gerald Francis McCarthy  
Minister for Lands and Planning

## **Proposed Northern Territory Planning Scheme Amendment - Clarification of Residential Building Height Measurement**

The Minister for Planning and Lands is seeking comments on a proposal that will clarify the measurement of building height. Comments can be made during the exhibition period from Friday 20 May 2011 until Friday 17 June 2011.

The Department of Lands and Planning has been informed that sub-clauses three and five of clause 7.1 – Residential Density and Height Limitation are difficult to use as:

- sub-clause three does not clearly define if building height should be measured from ground level of the site before construction or from the floor level of the proposed building; and
- sub-clause five does not clearly articulate that a seven metre height limit applies to habitable room floor space.

This proposal aims to address these matters by:

- defining "ground level" in the Planning Scheme as the ground surface level that exists on a site prior to the commencement of earth or construction works associated with the development of a building;
- clarifying that height is measured above ground level in the zone purpose statements in clauses 5.2, 5.3 and 5.4, and within the general building height controls at clauses 6.1 and 6.2;
- clarifying that a single dwelling is not to contain any part of a room (habitable or otherwise), verandah or balcony 7m above ground level without consent (clause 7.1, sub-clause five);
- clarifying that where a room does not have a horizontal ceiling, a normal ceiling envelop of 2.7m shall be applied to the subject storey. Anything above the 2.7m envelop will be considered air space and should not be inhabited, unless consent is otherwise granted clause 7.1, sub-clause five);
- clarifying that a topographical survey may be required to determine ground level (clauses 6.1 and 7.1.2); and
- improving the useability of Clause 7.1 by separating building height and density requirements.

The following pages include extracts from the NT Planning Scheme followed by the corresponding clauses with proposed changes in red.

### Introduction of a new definition of Ground Level to clause 3

A definition of Ground Level has been introduced to clause 3 in order to clarify that building height measurements are taken from the ground surface level.

**“ground level”** means the ground surface level that exists on a site prior to the commencement of earth or construction works associated with the development of a building;

Clauses 6.1 and 7.1 refer to the measurement of residential building height.

**Extract of the current purpose statements for Zone MD (Multiple Dwelling Residential), Zone MR (Medium Density Residential) and Zone HR (High Density Residential)**

**5.2 ZONE MD – MULTIPLE DWELLING RESIDENTIAL**

1. The primary purpose of Zone MD is to provide for a range of housing options to a maximum height of two **storeys**.
2. The scale, character and architectural style of infill development should be compatible with the streetscape and surrounding development.

Undefined uses are prohibited in this zone. See clause 2.2(3) & (4).

Demountable structures require consent.

Clause 6.14 refers to land subject to inundation.

Clause 7.10.2 refers to caravans.

Clauses 11.1.1 and 11.1.2 refer to subdivision lot size and 11.2 to subdivision standards.

Clause 13.5 refers to the erection of mobile telecommunication structures.

**5.3 ZONE MR – MEDIUM DENSITY RESIDENTIAL**

1. The primary purpose of Zone MR is to provide for a range of housing options to a maximum height of four **storeys**.
2. The availability or future availability of services, size of lots and proximity to major roads, schools and other community facilities should be sufficient to support **multiple dwelling** residential development.
3. The scale, character and architectural style of infill development should be compatible with the streetscape and surrounding development.

Undefined uses are prohibited in this zone. See clause 2.2(3) & (4).

Demountable structures require consent.

Clause 6.2 limits the height of buildings within the Municipality of Alice Springs.

Clause 6.14 refers to land subject to inundation.

Clause 7.1 limits the height of residential buildings in certain circumstances.

Clause 7.10.2 refers to caravans.

Clauses 11.1.1 and 11.1.2 refer to subdivision lot size and 11.2 to subdivision standards.

Clause 13.5 refers to the erection of mobile telecommunication structures.

#### 5.4 ZONE HR – HIGH DENSITY RESIDENTIAL

1. The primary purpose of Zone HR is to provide high density housing options close to major roads, schools and other community facilities.
2. The availability of services should be sufficient to accommodate high density residential development.
3. Development is generally not expected to exceed eight storeys.

Undefined uses are prohibited in this zone. See clause 2.2(3) & (4).

Demountable structures require consent.

Clause 6.14 refers to land subject to inundation.

Clause 7.10.2 refers to caravans.

Clauses 11.1.1 and 11.1.2 refer to subdivision lot size and 11.2 to subdivision standards.

Clause 13.5 refers to the erection of mobile telecommunication structures.

## Revised purpose statements for Zone MD (Multiple Dwelling Residential), Zone MR (Medium Density Residential) and Zone HR (High Density Residential)

The purpose statements for Zone MD, MR and HR have been amended to clarify that residential building height is measured above ground level.

### 5.2 ZONE MD – MULTIPLE DWELLING RESIDENTIAL

1. The primary purpose of Zone MD is to provide for a range of housing options to a maximum height of two **storeys** above **ground level**.
2. The scale, character and architectural style of infill development should be compatible with the streetscape and surrounding development.

Undefined uses are prohibited in this zone. See clause 2.2(3) & (4).

**Demountable structures** require consent.

Clause 6.14 refers to land subject to inundation.

Clause 7.10.2 refers to caravans.

Clauses 11.1.1 and 11.1.2 refer to subdivision lot size and 11.2 to subdivision standards.

Clause 13.5 refers to the erection of mobile telecommunication structures.

### 5.3 ZONE MR – MEDIUM DENSITY RESIDENTIAL

1. The primary purpose of Zone MR is to provide for a range of housing options to a maximum height of four **storeys** above **ground level**.
2. The availability or future availability of services, size of lots and proximity to major roads, schools and other community facilities should be sufficient to support **multiple dwelling** residential development.
3. The scale, character and architectural style of infill development should be compatible with the streetscape and surrounding development.

Undefined uses are prohibited in this zone. See clause 2.2(3) & (4).

**Demountable structures** require consent.

Clause 6.2 limits the height of buildings within the Municipality of Alice Springs.

Clause 6.14 refers to land subject to inundation.

Clause 7.1 limits the height of **residential buildings** in certain circumstances.

Clause 7.10.2 refers to caravans.

Clauses 11.1.1 and 11.1.2 refer to subdivision lot size and 11.2 to subdivision standards.

Clause 13.5 refers to the erection of mobile telecommunication structures.

**5.4 ZONE HR – HIGH DENSITY RESIDENTIAL**

1. The primary purpose of Zone HR is to provide high density housing options close to major roads, schools and other community facilities.
2. The availability of services should be sufficient to accommodate high density residential development.
3. Development is generally not expected to exceed eight storeys above ground level.

Undefined uses are prohibited in this zone. See clause 2.2(3) & (4).

Demountable structures require consent.

Clause 6.14 refers to land subject to inundation.

Clause 7.10.2 refers to caravans.

Clauses 11.1.1 and 11.1.2 refer to subdivision lot size and 11.2 to subdivision standards.

Clause 13.5 refers to the erection of mobile telecommunication structures.

Extract of current clauses 6.1 and 6.2

6.1 GENERAL HEIGHT CONTROL

Amendment 22 gazetted 11.07.2007 amends paragraph 2 to include reference to Zone TC.

Amendment 87 gazetted 09.09.2009 amends clause 6.1 to remove the height limit for education establishments in Zones CP and CL

1. The purpose of this clause is to ensure that the height of buildings in a zone is consistent with development provided for by that zone.
2. This clause does not apply within Zones CB or DV or TC or to **education establishments** within zones CL or CP or, subject to clause 7.1, Zone C
3. The height of any point of a building is to be measured from ground level vertically below that point and includes the height of a mound specifically provided or made to elevate the building.
4. Unless expressly provided by this Planning Scheme, the height of any part of a building is not to exceed 8.5m above the ground, unless it is:
  - (a) a flag pole, aerial or antenna; or
  - (b) for the housing of equipment relating to the operation of a lift.

Clause 6.2 limits the height of buildings within the Municipality of Alice Springs.

Clause 6.3 controls the height of buildings in central Darwin.

Clause 7.1 controls the height of dwellings in some zones.

The NT Defence (Areas Control) Regulations restrict building height for land in the vicinity of RAAF Base Darwin.

6.2 BUILDING HEIGHTS IN ALICE SPRINGS

Amendment 97 gazetted 14.10.2009 omits and substitutes clause 6.2

1. The purpose of this clause is to maintain the low-rise character of development in Alice Springs.
2. Despite anything to the contrary in this Planning Scheme, the height of a building within the Municipality of Alice Springs is not to exceed the height specified in the table to this clause except for **education establishments** in Zone CP.
3. The height of any building or structure forming part of an **education establishment** is not to exceed three storeys or 14m.
4. The height of a building is to be determined as in sub-clause 6.1.
5. The consent authority must not **consent** to development that is not in accordance with this clause.

Clause 6.1 controls building heights generally.

Clause 7.1 controls the height of dwellings in some zones.

**TABLE TO CLAUSE 6.2**

Zone	Maximum Building Height
CB, C, SC, TC and MR	3 storeys to a maximum of 14m
All other zones	2 storeys to a maximum of 8.5m

**Revisions to clauses 6.1 and 6.2**

A note in the margin indicates that a topographical survey may be required to accurately determine the ground level of the site. The term 'ground level' appears in bold denoting that it is now a defined term.

**6.1 GENERAL HEIGHT CONTROL**

1. The purpose of this clause is to ensure that the height of buildings in a zone is consistent with development provided for by that zone.
2. This clause does not apply within Zones CB or DV or TC or to **education establishments** within zones CL or CP or, subject to clause 7.1, Zone C
3. The height of any point of a **residential building** is to be measured from **ground level** vertically below that point and includes the height of a mound specifically provided or made to elevate the building.
4. Unless expressly provided by this Planning Scheme, the height of any part of a building is not to exceed 8.5m above the **ground level**, unless it is:
  - (c) a flag pole, aerial or antenna; or
  - (d) for the housing of equipment relating to the operation of a lift.

Clause 6.2 limits the height of buildings within the Municipality of Alice Springs.

Clause 6.3 controls the height of buildings in central Darwin.

A topographical survey may be required to accurately determine ground level.

Clause 7.1 controls the height of dwellings in some zones.

The NT Defence (Areas Control) Regulations restrict building height for land in the vicinity of RAAF Base Darwin.

**6.2 BUILDING HEIGHTS IN ALICE SPRINGS**

1. The purpose of this clause is to maintain the low-rise character of development in Alice Springs.
2. Despite anything to the contrary in this Planning Scheme, the height of a building within the Municipality of Alice Springs is not to exceed the height specified in the table to this clause except for **education establishments** in Zone CP.
3. The height of any building or structure forming part of an **education establishment** is not to exceed three storeys or 14m above **ground level**.
4. The height of a building is to be determined as in sub-clause 6.1.
5. The consent authority must not **consent** to development that is not in accordance with this clause.

Clause 6.1 controls building heights generally.

Clause 7.1 controls the height of dwellings in some zones.

A topographical survey may be required to accurately determine ground level.

Structures below ground level should consider the Alice Springs Town Basin aquifer.

<b>TABLE TO CLAUSE 6.2</b>	
<b>Zone</b>	<b>Maximum Building Height Above Ground Level</b>
CB, C, SC, TC and MR	3 storeys to a maximum of 14m
All other zones	2 storeys to a maximum of 8.5m

## Extract of current clause 7.0

### 7.0 RESIDENTIAL DEVELOPMENT PERFORMANCE CRITERIA

#### 7.1 RESIDENTIAL DENSITY AND HEIGHT LIMITATIONS

1. The purpose of this clause is to ensure that residential development is:
  - (a) of a density compatible with the existing and planned provision of reticulated services and community facilities which will service the area;
  - (b) consistent with land capability; and
  - (c) of a height compatible with adjoining or nearby existing development or development reasonably anticipated.
2. The height of any point of a **residential building** is to be measured from ground level vertically below that point and includes the height of a mound specifically provided or made to elevate the building.
3. The maximum number of **dwellings** and, subject to clause 6.2, the height of **residential buildings** that may be constructed on a **site** are to be determined in accordance with tables A, B, C or D (as the case requires) to this clause.
4. A **residential building** in Zone MR that:
  - (a) abuts land in Zone SD; or
  - (b) has frontage to a street with a reservation width not exceeding 18m on the opposite side of which is land in Zone SD;
  - (c) is not to exceed a height of 3 **storeys** above ground level; or
  - (d) subject to clause 6.2, in any other circumstance 4 **storeys** above ground level.

The consent authority must not **consent** to a development that is not in accordance with this sub-clause.
5. **Single dwellings** in Zones SD, MD, CL, CV, RR, RL, FD and T are not to contain any space capable of being occupied in that part of the building that exceeds a height of 7m without **consent**.

Clause 6.1 limits the height of buildings generally.

Clause 6.2 limits the height of buildings in Alice Springs.

TABLE A TO CLAUSE 7.1 – DWELLING DENSITY IN CERTAIN ZONES		
Zone	Dwelling Density	Maximum Number of Storeys Above Ground Level for Residential Buildings
SD and for a single dwelling in Zones CL, CV and T	1 single dwelling per lot and may include a dependant unit.	2 – to a maximum height of 8.5m
MD and for multiple dwellings in Zones CL, T	1 or 2 storeys 1 per 300m <sup>2</sup>	2 – to a maximum height of 8.5m
RR	1 per 0.4ha or 1ha in Litchfield Shire	2 – to a maximum height of 8.5m
RL	1 per 2ha	2 – to a maximum height of 8.5m
R	1 per 8ha or 40ha in the Alice Springs and Tennant Creek municipalities.	2 – to a maximum height of 8.5m
C	1 storey 1 per 400m <sup>2</sup> 2 storeys 1 per 200m <sup>2</sup> 3 storeys 1 per 133m <sup>2</sup>	3

Clause 11.1.2 allows for provision of higher densities of single dwellings as part of integrated residential developments in Zone SD.

Clause 11.4.5 refers to lot sizes in Zone RR.

TABLE B TO CLAUSE 7.1 – DWELLING DENSITY IN ZONE MR OTHER THAN IN ALICE SPRINGS			
Number of Storeys	1 or 2 Bedrooms	3 Bedrooms	4 Bedrooms
1	155m <sup>2</sup>	180m <sup>2</sup>	215m <sup>2</sup>
2	125m <sup>2</sup>	170m <sup>2</sup>	210m <sup>2</sup>
3	95m <sup>2</sup>	130m <sup>2</sup>	180m <sup>2</sup>
4 (maximum)	85m <sup>2</sup>	130m <sup>2</sup>	140m <sup>2</sup>

Clause 7.1(a) limits building heights in certain circumstances.

Amendment 122  
gazetted 31.03.2010  
omits and substitutes  
Table C to clause 7.1

<b>TABLE C TO CLAUSE 7.1 – DWELLING DENSITY IN ZONES MR AND TC IN ALICE SPRINGS</b>	
<b>Number of Storeys</b>	<b>Dwelling Density</b>
1	400m <sup>2</sup>
2	200m <sup>2</sup>
3 (maximum)	133m <sup>2</sup>

Clause 6.2  
limits building  
heights in Alice  
Springs.

<b>TABLE D TO CLAUSE 7.1 – DWELLING DENSITY IN ZONE HR</b>			
<b>Number of Storeys</b>	<b>1 or 2 Bedrooms</b>	<b>3 Bedrooms</b>	<b>4 Bedrooms</b>
1	125m <sup>2</sup>	170m <sup>2</sup>	210m <sup>2</sup>
2	95m <sup>2</sup>	130m <sup>2</sup>	160m <sup>2</sup>
3	85m <sup>2</sup>	130m <sup>2</sup>	160m <sup>2</sup>
4	80m <sup>2</sup>	110m <sup>2</sup>	130m <sup>2</sup>
5	75m <sup>2</sup>	105m <sup>2</sup>	130m <sup>2</sup>
6	75m <sup>2</sup>	100m <sup>2</sup>	125m <sup>2</sup>
7	70m <sup>2</sup>	100m <sup>2</sup>	120m <sup>2</sup>
8+	70m <sup>2</sup>	95m <sup>2</sup>	120m <sup>2</sup>

The consent authority may **consent** to a development application for a building that exceeds 8 storeys in height in Zone HR only if it is satisfied that special circumstances justify the giving of **consent**.

## Revisions to clause 7.1

Clause 7.1 has been split into a sub-clause for density requirements and a sub-clause for building height. This is aimed at improving the useability and understanding of these requirements. The term 'ground level' appears in bold denoting that it is now a defined term.

### 7.0 RESIDENTIAL DEVELOPMENT PERFORMANCE CRITERIA

#### 7.1.1 RESIDENTIAL DENSITY LIMITATIONS

1. The purpose of this clause is to ensure that residential development is:
  - (a) of a density compatible with the existing and planned provision of reticulated services and community facilities which will service the area; and
  - (b) consistent with land capability.
2. The maximum number of **dwelling**s that may be constructed on a **site** are to be determined in accordance with tables A, B, C, D and E (as the case requires) to this clause.

Clause 6.1 limits the height of buildings generally.

Clause 6.2 limits the height of buildings in Alice Springs.

TABLE A TO CLAUSE 7.1.1 – DWELLING DENSITY IN CERTAIN ZONES	
Zone	Dwelling Density
SD, RR, RL, R and for a single dwelling in CL, CV and T	1 <b>single dwelling</b> per lot and may include a <b>dependant unit</b> .
MD and for <b>multiple dwellings</b> in CL and T	1 per 300m <sup>2</sup>

Clause 11.1.2 allows for provision of higher densities of single dwellings as part of integrated residential developments in Zone SD.

Clause 11.1 refers to minimum lot sizes and other associated requirements.

TABLE B TO CLAUSE 7.1.1 – DWELLING DENSITY IN ZONE MR OTHER THAN IN ALICE SPRINGS			
Number of Storeys Above Ground Level	1 or 2 Bedrooms	3 Bedrooms	4 Bedrooms
1	155m <sup>2</sup>	180m <sup>2</sup>	215m <sup>2</sup>
2	125m <sup>2</sup>	170m <sup>2</sup>	210m <sup>2</sup>
3	95m <sup>2</sup>	130m <sup>2</sup>	180m <sup>2</sup>
4	85m <sup>2</sup>	130m <sup>2</sup>	140m <sup>2</sup>

Clause 7.1(a) limits building height in certain circumstances.

TABLE C TO CLAUSE 7.1.1 – DWELLING DENSITY IN ZONES MR AND TC IN ALICE SPRINGS	
Number of Storeys Above Ground Level	Dwelling Density
1	400m <sup>2</sup>
2	200m <sup>2</sup>
3	133m <sup>2</sup>

Clause 6.2 limits building height in Alice Springs.

Amendment 122 gazetted 31.03.2010 omits and substitutes Table C to clause 7.1

<b>TABLE D TO CLAUSE 7.1.1 – DWELLING DENSITY IN ZONE HR</b>			
<b>Number of Storeys Above Ground Level</b>	<b>1 or 2 Bedrooms</b>	<b>3 Bedrooms</b>	<b>4 Bedrooms</b>
1	125m <sup>2</sup>	170m <sup>2</sup>	210m <sup>2</sup>
2	95m <sup>2</sup>	130m <sup>2</sup>	160m <sup>2</sup>
3	85m <sup>2</sup>	130m <sup>2</sup>	160m <sup>2</sup>
4	80m <sup>2</sup>	110m <sup>2</sup>	130m <sup>2</sup>
5	75m <sup>2</sup>	105m <sup>2</sup>	130m <sup>2</sup>
6	75m <sup>2</sup>	100m <sup>2</sup>	125m <sup>2</sup>
7	70m <sup>2</sup>	100m <sup>2</sup>	120m <sup>2</sup>
8+	70m <sup>2</sup>	95m <sup>2</sup>	120m <sup>2</sup>

<b>TABLE E TO CLAUSE 7.1.1 – DWELLING DENSITY IN ZONE C FOR RESIDENTIAL BUILDINGS</b>	
<b>Number of Storeys Above Ground Level for Residential Buildings</b>	<b>Dwelling Density</b>
1 storey	1 per 400m <sup>2</sup>
2 storeys	1 per 200m <sup>2</sup>
3 storeys	1 per 133m <sup>2</sup>

Clause 7.9 limits residential development at the ground floor level in Zone C.

### 7.1.2 RESIDENTIAL HEIGHT LIMITATIONS

1. The purpose of this clause is to ensure that residential development is of a height that:
  - (a) is compatible with adjoining or nearby existing development or development reasonably anticipated; and
  - (b) does not unduly overlook adjoining properties.
2. The height of any point of a **residential building** is to be measured from **ground level** vertically below that point and includes the height of a mound specifically provided or made to elevate the building.
3. Subject to clause 6.2, the height of **residential buildings** that may be constructed on a **site** are to be determined in accordance with the table to this clause.
4. A **residential building** in Zone MR that:
  - (a) abuts land in Zone SD; or
  - (b) has frontage to a street with a reservation width not exceeding 18m on the opposite side of which is land in Zone SD;
  - (c) is not to exceed a height of 3 **storeys** above **ground level**; or
  - (d) subject to clause 6.2, in any other circumstance 4 **storeys** above **ground level**.

The consent authority must not **consent** to a development that is not in accordance with this sub-clause.
5. **Single dwellings** in Zones SD, MD, CL, CV, RR, RL, FD and T are not to contain any part of a room (habitable or otherwise), verandah or balcony 7m above **ground level** without **consent**. Where a room does not have a horizontal ceiling, a normal ceiling envelop of 2.7m shall be applied to the subject **storey**. Anything above the 2.7m envelop will be considered air space and should not be inhabited, unless **consent** is otherwise granted.

Clause 6.1 limits the height of buildings generally.

Clause 6.2 limits the height of buildings in Alice Springs.

A topographical survey may be required to accurately determine ground level.

Zone	Maximum Number of Storeys Above Ground Level for Residential Buildings
SD and for a <b>single dwelling</b> in Zones CL, CV and T	2 – to a maximum height of 8.5m
MD and for <b>multiple dwellings</b> in Zones CL, T	2 – to a maximum height of 8.5m
MR other than in Alice Springs	4 maximum
MR and TC in Alice Springs	3 maximum
HR	8+*
RR	2 – to a maximum height of 8.5m
RL	2 – to a maximum height of 8.5m
R	2 – to a maximum height of 8.5m
C	3
<p>* The consent authority may <b>consent</b> to a development application for a building that exceeds 8 <b>storeys</b> in height in Zone HR only if it is satisfied that special circumstances justify the giving of <b>consent</b>.</p>	

Clause 6.2 limits building heights in Alice Springs.

Clause 7.9 limits residential development on the ground floor in Zone C.

30 June 2011

Michael Holmes  
Senior Planner – Strategic Lands Planning  
Department of Lands and Planning  
GPO Box 1680  
DARWIN NT 0801

Dear Michael

**Subject: Proposed Planning Scheme Amendment PA2011/0061**  
**Proposal: Under section 13 (2) (B) of the Planning Act, the Minister for Lands and Planning has initiated an amendment to the Northern Territory Planning Scheme that aims to clarify the measurement of residential building height.**

Thank you for the proposed Scheme amendment referred to this office 19 May 2011, concerning the above. This matter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

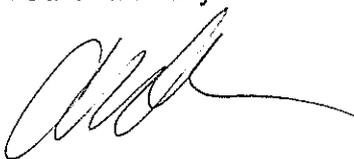
Council wishes to advise the Reporting Body that it supports the proposed amendments to the Northern Territory Planning Scheme. The proposed amendments will provide more rigour to areas of the Planning Scheme that were previously open to interpretation.

Council supports the ongoing review of the Northern Territory Planning Scheme and will continue to offer its support for amendments that will better serve planning outcomes and the wider community.

In considering this application, the Reporting Body is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



**CINDY ROBSON**  
**STRATEGIC TOWN PLANNER**

**OPEN SECTION**

PAGE

TP7/7

Town Planning Committee Meeting – Wednesday, 6 July 2011**11 INFORMATION ITEMS****11.1 Minutes of the Development Consent Authority Meetings- Meeting No. 165 – Friday, 8 April 2011, Meeting No. 166 – Thursday, 21 April May 2011, Meeting No. 167 – Friday, 6 May 2011 and Meeting No. 168 – Friday, 20 May 2011**

Document No. 2020863 (08/04/11) Common No. 1863114

Document No. 2020862 (21/04/11) Common No. 1863114

Document No. 2032592 (06/05/11) Common No. 1863114

Document No. 2032593 (20/05/11) Common No. 1863114

**COMMITTEE'S DECISION**

THAT the Committee resolve under delegated authority:

- A. THAT the Minutes of the Development Consent Authority Meeting No. 165 held on Friday, 8 April 2011, Document Number. 2020863, be received and noted.
- B. THAT the Minutes of the Development Consent Authority Meeting No. 166 held on Thursday, 21 April May 2011, Document Number. 2020862, be received and noted.
- C. THAT the Minutes of the Development Consent Authority Meeting No. 167 held on Friday, 6 May 2011, Document Number. 2032592, be received and noted.
- D. THAT the Minutes of the Development Consent Authority Meeting No. 168 held on Friday, 20 May 2011, Document Number. 2032593, be received and noted.

DECISION NO.20\() (06/07/11)

***The Minutes of the Development Consent Authority Meeting, are distributed as a separate attachment.***

**OPEN SECTION**

PAGE

TP7/8

Town Planning Committee Meeting – Wednesday, 6 July 2011**11 INFORMATION ITEMS****11.2 Various Letters sent to Development Assessment Services under Delegated Authority**  
Common No. 1962248**COMMITTEE'S DECISION**

THAT the Committee resolve under delegated authority that the following letters sent to Development Assessment Services, be received and noted:-

- i) Parcel Description: Lot 0504 (6) Verbena Street Town of Nightcliff Proposed Development: Garage addition to an existing single dwelling with a reduced side setback - Common Number 2016961 CR:fh dated 13 June 2011
- ii) Parcel Description: Lot 0927 (8) Eagle Court Town of Sanderson Proposed Development: Extension to an existing single dwelling with a reduced side setback - Common Number 2017408 CR:fh dated 13 June 2011
- iii) Parcel Description: Lot 1159 (11) Sanderling Street Town of Sanderson Proposed Development: Shed Addition to an existing single dwelling with a reduced side setback - Common Number 2017382 CR:fh dated 13 June 2011
- iv) Parcel Description: Lot 1406 (42) Sergision Circuit Town of Nightcliff Proposed Development: Garage addition to an existing single dwelling with a reduced side setback - Common Number 2015659 CR:fh dated 10 June 2011
- v) Parcel Description: Lot 3248 (8) Seabright Crescent Town of Nightcliff Proposed Development: Carport and Shed addition to an existing single dwelling with a reduced side setback - Common Number 2011387 CR:fh dated 3 June 2011
- vi) Parcel Description: Section 3942 (430) Stuart Highway Hundred of Bagot Proposed Development: 30m high telecommunications facility with associated antennas and equipment shelter - Common Number 2011313 CR:fh dated 3 June 2011
- vii) Parcel Description: Lots 4554, 6191, 8634 & 9585, (356) & (362) Bagot Road, (14) Kelsey Crescent, (15) Fitzgerald Street Millner, Town of Nightcliff Proposed Development: Changes to DP09/0215 change of use of proposed Building 2 for showroom and office; alterations and change of use of proposed Building 1 for showroom and reconfiguration of car parking, new carports and façade upgrades in 3 stages - Common Number 2003304 CR:fh dated 20 May 2011
- viii) Parcel Description: Lot 4951 (4) Radford Court Town of Nightcliff Proposed Development: Verandah addition to an existing single dwelling with a reduced side setback - Common Number 2017085 CR:fh dated 13 June 2011
- ix) Parcel Description: Lot 5264 (28) Adcock Crescent Town of Nightcliff Proposed Development: Extension to an existing single dwelling with a reduced front and side setback - Common Number 2019172CR:fh dated 17 June 2011

*(Continued on next page...)*

**OPEN SECTION**

PAGE

TP7/9

Town Planning Committee Meeting – Wednesday, 6 July 2011**11 INFORMATION ITEMS****11.2 Various Letters sent to Development Assessment Services under Delegated Authority**  
Common No. 1962248*(...Continued from previous page)*

- x) Parcel Description: Lot 6027 (32) Clarence Street Town of Sanderson Proposed Development: Shed to an existing dwelling with reduced side and rear setback - Common Number 2020205 CR:fh dated 20 June 2011
- xi) Parcel Description: Section 6042 (12) Mel Road Hundred of Bagot Proposed Development: Offices and Warehouse in a 2 Storey Building - Common Number 2015670 CR:fh dated 10 June 2011
- xii) Parcel Description: Lot 6610 (8) Swan Crescent Town of Darwin Proposed Development: Part change of use from warehouse to office and the addition of a mezzanine floor (Unit 3) - Common Number 2005547 CR:fh dated 27 May 2011
- xiii) Parcel Description: Lot 9623 (13) Sovereign Court Town of Nightcliff Proposed Development: Shade sail addition to an existing multiple dwellings with a reduced side setback (Unit 3) - Common Number 2015447 CR:fh dated 10 June 2011
- xiv) Parcel Description: Lots 10373 & 10504 (5) Damirrinda Street Town of Nightcliff Proposed Development: 2x3 Bedroom multiple dwellings in a single storey building. (Proposed Lot 10504) - Common Number 2019074 CR:fh dated 17 June 2011
- xv) Parcel Description: Lots 10373 & 10505 (7) Damirrinda Street Town of Nightcliff Proposed Development: 2x3 Bedroom multiple dwellings in a single storey building. (Proposed Lot 10505) - Common Number 2019092 CR:fh dated 17 June 2011

DECISION NO.20\()

(06/07/11)

Please quote: 2016961 CR:fh  
Your reference: PA2011/0338

13 June 2011

Doug Lesh  
Manager Urban Planning  
Department of Lands and Planning  
GPO Box 1680  
DARWIN NT 0801

Dear Doug

**Parcel Description:** Lot 0504 (6) Verbena Street Town of Nightcliff  
**Proposed Development:** Garage addition to an existing single dwelling with a reduced side setback.

Thank you for the Development Application referred to this office 30 May 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

- i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**
  - a). Council notes a variation to the Northern Territory Planning Scheme provisions in relation to Table A of Clause 7.3 – Minimum Building Setbacks for Residential Buildings. While Council does not necessarily support these variations, in light of the existing built form within the area, it does not object
- ii). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **Council requests the Authority requires a schematic plan demonstrating all stormwater to be collected on the site and discharged underground to Council's stormwater drainage system.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged underground to Council's drainage network.

.../2

- 1). The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system.
- 2). Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into Council's stormwater drainage system. It is also necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.
- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the Director Technical Services, Darwin City Council and at no cost to Council.
- Sight lines shall be provided at crossovers to public streets to the satisfaction of the Director Technical Services, Darwin City Council. No fence or tree exceeding 0.6 metres in height shall be planted in front of the sight line.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the Director Technical Services, Darwin City Council.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



**DROSSO LELEKIS**  
**MANAGER DESIGN & PLANNING**

cc: Mr Andy Matthewson

# Development Consent Authority

Northern Territory

GPO BOX 1680  
DARWIN NT 0801

Telephone No: (08) 8999 6807  
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0338

Sir or Madam  
Darwin City Council  
GPO Box 84  
DARWIN NT 0801

Dear Sir or Madam,

## Proposed Development Application

The attached application has been received for assessment by the Development Consent Authority:

<b>Parcel Description</b>	Lot 00504 Town of Nightcliff
<b>Road/Street</b>	6 VERBENA ST
<b>Town Plan Zone</b>	SD (Single Dwelling)
<b>Tenure Type</b>	ESTATE IN FEE SIMPLE
<b>Land Owners</b>	Crawley, Louise Jessie Trigwell, Paul James
<b>Applicant</b>	Mr Andy Matthewson
<b>Contact Number</b>	89327076
<b>Purpose</b>	Garage addition to an existing single dwelling with a reduced side setback

The proposal can be viewed online for a two week period from **Monday, 30th May 2011** until **Monday, 13th June 2011** at: <https://www.ntlis.nt.gov.au/planning/ta.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Monday, 13th June 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:  
[https://www.ilis.nt.gov.au/ilis/l2?pagelD=planning.application&ilis\\_entity\\_id=63672148](https://www.ilis.nt.gov.au/ilis/l2?pagelD=planning.application&ilis_entity_id=63672148)

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

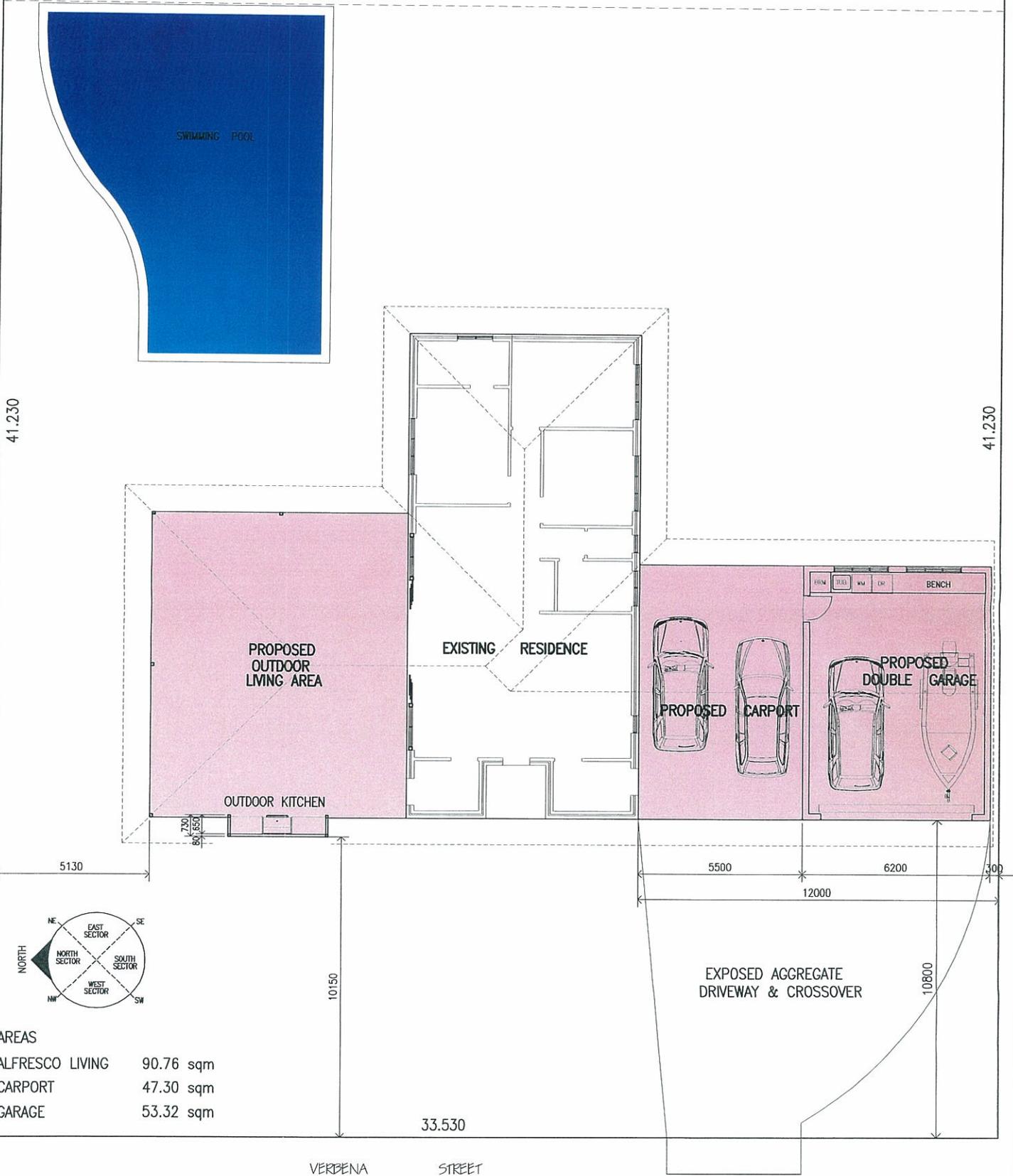
Should you require further information on this proposal please contact me on **8999 6807**.

Yours faithfully

**Anguree Jansen van Rensburg**  
Development Assessment Services

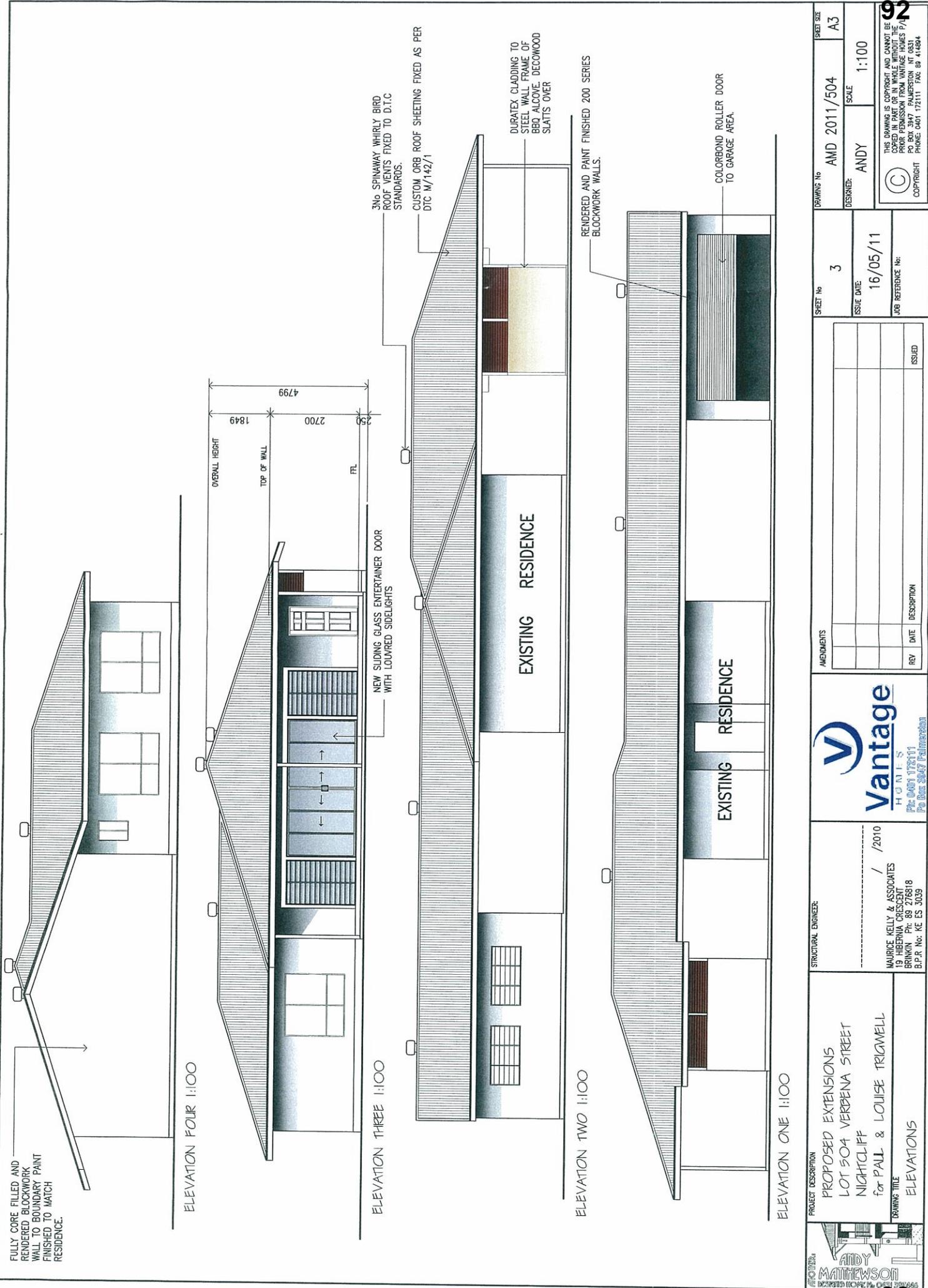
30 May 2011

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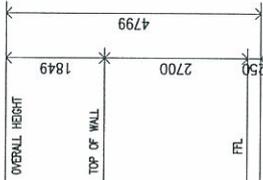
AREAS	
ALFRESCO LIVING	90.76 sqm
CARPORT	47.30 sqm
GARAGE	53.32 sqm

	<b>PROJECT DESCRIPTION</b> PROPOSED EXTENSIONS LOT 504 VERBENA STREET NIGHTCLIFF for PAUL & LOUISE TRIGWELL	<b>STRUCTURAL ENGINEER:</b>  MAURICE KELLY & ASSOCIATES 19 HIBERNIA CRESCENT BRINKM Ph: 09 276818 B.P.R No: KE ES 3039	SHEET No 1	DRAWING No AMD 2011/504	SHEET SIZE A3	
	<b>DRAWING TITLE</b> SITE PLAN	/ / 2011	ISSUE DATE: 16/05/11	DESIGNED: ANDY	SCALE 1:125	THIS DRAWING IS COPYRIGHT AND CANNOT BE COPIED IN PART OR IN WHOLE WITHOUT THE PRIOR PERMISSION FROM VANTAGE HOMES P/L PO BOX 3047 PALMERSTON N 0831 PHONE: 0401 172111
	COPYRIGHT		JOB REFERENCE No:	91		



FULLY CORE FILLED AND RENDERED BLOCKWORK WALL TO BOUNDARY PAINT FINISHED TO MATCH RESIDENCE.

ELEVATION FOUR 1:100



ELEVATION THREE 1:100

ELEVATION TWO 1:100

ELEVATION ONE 1:100

<p><b>Vantage</b> HOMES PO Box 3847 Palmerston</p>	STRUCTURAL ENGINEER: MAURICE KELLY & ASSOCIATES 19 HEBERNIA CRESCENT BRINKIN PH: 89 276818 B.P.R. No: KE ES 3039	PROJECT DESCRIPTION: PROPOSED EXTENSIONS LOT 504 VERBENA STREET NIGHTCLIFF For PAUL & LOUISE TRIGWELL	SHEET No: 3 ISSUE DATE: 16/05/11 JOB REFERENCE No:	DRAWING No: AMD 2011/504 DESIGNED: ANDY SCALE: 1:100	SHEET SIZE: A3				
	AMENDMENTS: <table border="1"> <thead> <tr> <th>NO</th> <th>DATE</th> <th>DESCRIPTION</th> <th>ISSUED</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO	DATE	DESCRIPTION	ISSUED				
NO	DATE	DESCRIPTION	ISSUED						

Please quote: 2017408 CR:fh  
Your reference: PA2011/0351

13 June 2011

Doug Lesh  
Manager Urban Planning  
Department of Lands and Planning  
GPO Box 1680  
DARWIN NT 0801

Dear Doug

**Parcel Description: Lot 0927 (8) Eagle Court Town of Sanderson**  
**Proposed Development: Extension to an existing single dwelling with a reduced side setback**

Thank you for the Development Application referred to this office 30 May 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**
  - a). Council notes a variation to the Northern Territory Planning Scheme provisions in relation to Table A of Clause 7.3 – Minimum Building Setbacks for Residential Buildings. While Council does not necessarily support these variations, in light of the existing built form within the area, it does not object.
- ii). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **Council requests the Authority requires a schematic plan demonstrating all stormwater to be collected on the site and discharged underground to Council's stormwater drainage system.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged underground to Council's drainage network.

.../2

- 1). The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system.
- 2). Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into Council's stormwater drainage system. It is also necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the Director Technical Services, Darwin City Council.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



**DROSSO LELEKIS**  
**MANAGER DESIGN & PLANNING**

cc: Mr David Ian Sach



# Development Consent Authority

Northern Territory

GPO BOX 1680  
DARWIN NT 0801

Telephone No: (08) 8999 6807  
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0351

Sir or Madam  
Darwin City Council  
GPO Box 84  
DARWIN NT 0801

Dear Sir or Madam,

## Proposed Development Application

The attached application has been received for assessment by the Development Consent Authority:

<b>Parcel Description</b>	Lot 00927 Town of Sanderson
<b>Road/Street</b>	8 EAGLE CT
<b>Town Plan Zone</b>	SD (Single Dwelling)
<b>Tenure Type</b>	ESTATE IN FEE SIMPLE
<b>Land Owners</b>	Leonne Margaret Sach Sach, David Ian
<b>Applicant</b>	Mr David Ian Sach
<b>Contact Number</b>	08 89456823
<b>Purpose</b>	Extension to an existing single dwelling with a reduced side setback.

The proposal can be viewed online for a two week period from **Monday, 30th May 2011** until **Monday, 13th June 2011** at: <https://www.ntlis.nt.gov.au/planning/ita.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Monday, 13th June 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:  
[https://www.ilis.nt.gov.au/ilis/l2?pagelD=planning.application&ilis\\_entity\\_id=63714349](https://www.ilis.nt.gov.au/ilis/l2?pagelD=planning.application&ilis_entity_id=63714349)

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

Should you require further information on this proposal please contact me on **8999 6807**.

Yours faithfully

**Anguree Jansen van Rensburg**  
Development Assessment Services

30 May 2011  
Attach.



Please quote: 2017382 CR:fh  
Your reference: PA2011/0330

13 June 2011

Doug Lesh  
Manager Urban Planning  
Department of Lands and Planning  
GPO Box 1680  
DARWIN NT 0801

Dear Doug

**Parcel Description:** Lot 1159 (11) Sanderling Street Town of Sanderson.  
**Proposed Development:** Shed addition to an existing single dwelling with a reduced side setback.

Thank you for the Development Application referred to this office 30 May 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **Council requests the Authority requires a schematic plan demonstrating all stormwater to be collected on the site and discharged underground to Council's stormwater drainage system.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged underground to Council's drainage network.
  - 1). The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system.
  - 2). Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of

.../2

-2-

it into Council's stormwater drainage system. It is also necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the Director Technical Services, Darwin City Council.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



**DROSSO LELEKIS**  
**MANAGER DESIGN, PLANNING AND PROJECTS**

cc: Mr Rodney Warren Jessup



# ***Development Consent Authority***

Northern Territory

GPO BOX 1680  
DARWIN NT 0801

Telephone No: (08) 8999 6807  
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0330

Sir or Madam  
Darwin City Council  
GPO Box 84  
DARWIN NT 0801

Dear Sir or Madam,

## **Proposed Development Application**

The attached application has been received for assessment by the Development Consent Authority:

<b>Parcel Description</b>	Lot 01159 Town of Sanderson
<b>Road/Street</b>	11 SANDERLING ST
<b>Town Plan Zone</b>	SD (Single Dwelling)
<b>Tenure Type</b>	ESTATE IN FEE SIMPLE
<b>Land Owners</b>	Thompson, Christopher Gray
<b>Applicant</b>	Mr Rodney Warren Jessup
<b>Contact Number</b>	08 89883071
<b>Purpose</b>	Shed addition to an existing single dwelling with a reduced side setback

The proposal can be viewed online for a two week period from **Monday, 30th May 2011** until **Monday, 13th June 2011** at: <https://www.ntlis.nt.gov.au/planning/lta.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Monday, 13th June 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:  
[https://www.ilis.nt.gov.au/ilis/l2?pageld=planning.application&ilis\\_entity\\_id=63648825](https://www.ilis.nt.gov.au/ilis/l2?pageld=planning.application&ilis_entity_id=63648825)

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Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

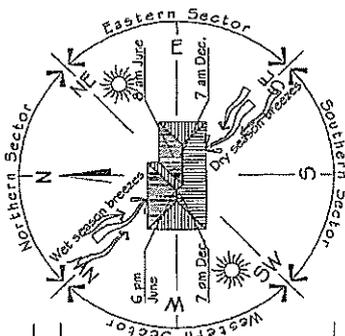
Should you require further information on this proposal please contact me on **8999 6807**.

Yours faithfully

**Anguree Jansen van Rensburg**  
Development Assessment Services

30 May 2011  
Attach.





**DOOR & WINDOW SCHEDULE**

MARK	SIZE (w x h)	TYPE	Glass
W1	1200 X 1000	2 bay louvre window	
W2	1200 X 1000	2 bay louvre window	
W3	600 X 1000	1 bay louvre window	
W4	2740 X 1000	4 bay louvre window - to fit opening	
W5	900 X 1000	1 bay louvre window - to fit opening	
W6	2550 X 1000	4 bay louvre window - to fit opening	
W7	900 X 1000	1 bay louvre window	
D1	900 X 2100	820 Single external swinging door	
D2	900 X 2100	820 Single external swinging door	

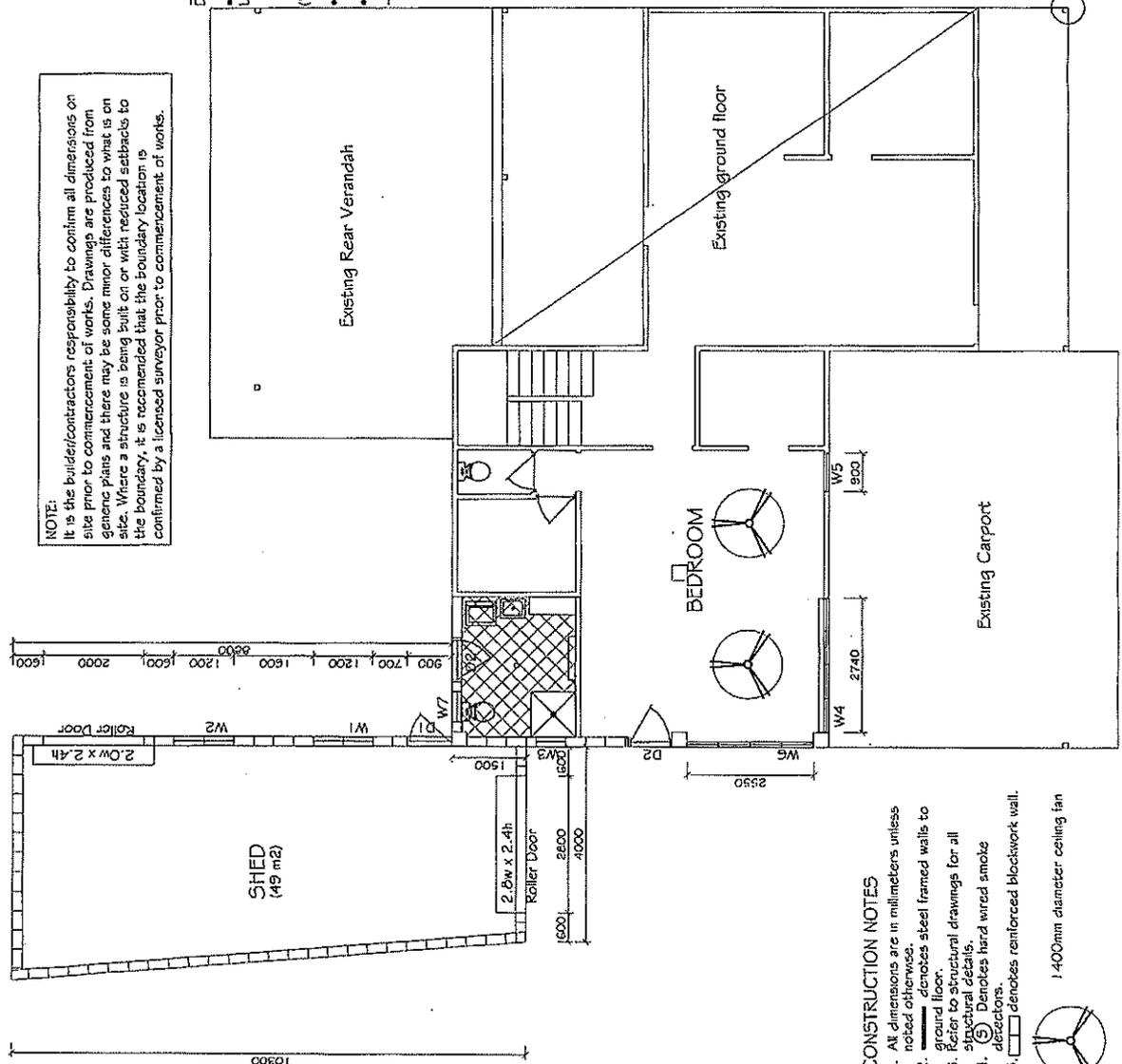
**DESIGN CRITERIA**

- Design wind pressures for glazing:  
Ultimate design Wind pressure: Window location in building  
4.0 kPa : 0 - 1.4m\*\*  
3.3 kPa : 1.4 - 2.8m\*\*  
3.0 kPa : > 2.8m\*\*  
(\*\*) distance from external corner to centre of glass
- Water Penetration resistance test pressure - 200Pa
- All glazing and framing to comply with AS 1288 and AS 2047, and be certified by manufacturer.

**BUILDING NOTES**

- Unless notes otherwise:
- All new building works to comply with the Building Code of Australia - BCA 2008 Volume Two (BCA 2008).
  - Termite treatment to AS 3600: Under slab and perimeter irrigation system. All treated and commissioned by approved pest control specialist. Requires a Termite Treatment Certificate and a notice located inside electrical metre box describing the treatment used and the date for re-treatment.
  - Walls and floors to wet areas to comply with AS3740 - waterproofing of wet areas within residential buildings. Wet areas to have approved membrane or approved waterproof material, installed strictly in accordance with the manufacturers printed instructions for installation. Membrane and waterproofing material to be 1500mm high in showers and showerpans, 1500mm high to splashbacks over sinks, basins and troughs. Wet area membrane to be inspected by certifier and a Waterproofing Certificate provided by the applicant/builder.
  - Windows and doors to comply with AS 2047 and/or AS 1288 as appropriate. Refer window schedule for window design criteria.
  - Provide all ceiling / soiling to all external walls and main floor area for cook, tape and test all ceilings, joints including around all window and door openings.
  - Provide hardwired smoke detectors in accordance with BCA 2008 Part 3.7.2 - Smoke Alarms.
  - Where distance from toilet pan to the nearest part of the doorway is less than 1200mm, inward swinging door to be fitted with lift off hinges, (alternatively sliding or outward opening door). Refer BCA 2008 Cl. 3.6.3.3 Construction of sanitary compartments.

**NOTE:**  
It is the builder/contractors responsibility to confirm all dimensions on site prior to commencement of works. Drawings are produced from generic plans and there may be some minor differences to what is on site. Where a structure is being built on or with reduced setbacks to the boundary, it is recommended that the boundary location is confirmed by a licensed surveyor prior to commencement of works.



**CONSTRUCTION NOTES**

- All dimensions are in millimeters unless noted otherwise.
- denotes steel framed walls to ground floor.
- Refer to structural drawings for all structural details.
- Denotes hard wired smoke detectors.
- denotes reinforced blockwork wall.

1400mm diameter ceiling fan



**101 LAYOUT PLAN**

SCALE 1:100

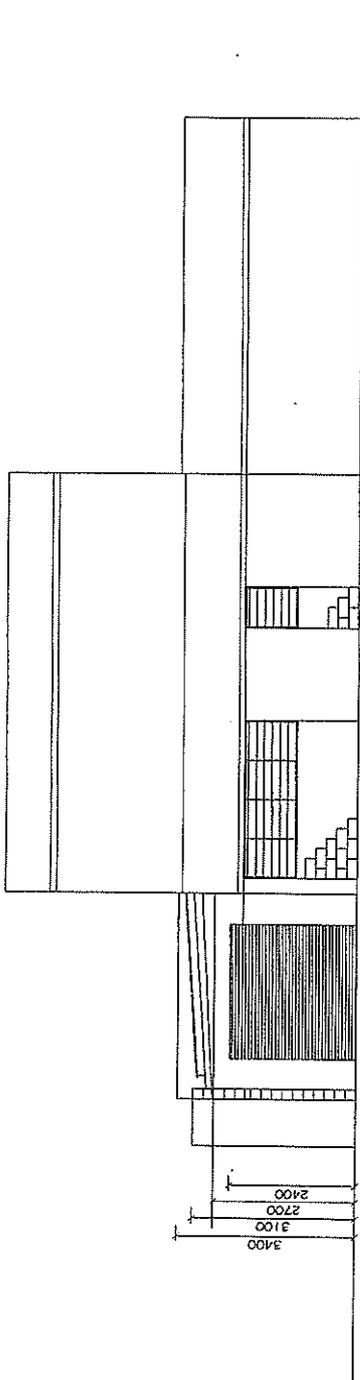
**JB DRAFTING**  
BUILDING DESIGN AND DRAFTING  
RESIDENTIAL COMMERCIAL INDUSTRIAL  
Phone: 8988 3071 / 0407834229  
Fax: 8988 3072  
PO BOX 1037 PALMERSTON NT 0831  
EMAIL: jb.drafting@bigpond.com

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JB Drafting (NT) Pty Ltd

Client: Thompson  
Drawing Title: LAYOUT PLAN

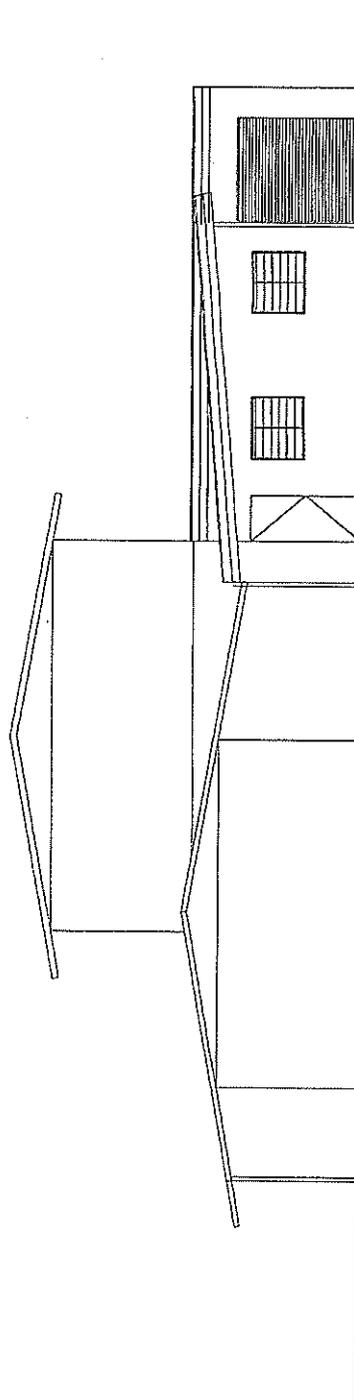
Address: Lot 1159 (11) Sandering circ  
Walepa, NT  
Drawing No. JBD-636-DO1

Rev	Description	Date	Init



FRONT ELEVATION

SCALE 1:100



EASTERN SIDE ELEVATION

SCALE 1:100

**JB DRAFTING**

BUILDING DESIGN AND DRAFTING  
RESIDENTIAL, COMMERCIAL, INDUSTRIAL

Phone: 888 3071 / 0497834229

Fax: 888 3072

PO BOX 1037 PALMERSTON NT 0831

EMAIL: [jb.drafting@bigpond.com](mailto:jb.drafting@bigpond.com)

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Client

Thompson

Drawing Title

ELEVATIONS

Address

Lct 1159 (1) Sandering circ

Wollagi NT

Drawing No

JBC-636-002

Rev

Description

Date

File

Please quote: 2015659 CR:fh  
Your reference: PA2011/0324

10 June 2011

Doug Lesh  
Manager Urban Planning  
Department of Lands and Planning  
GPO Box 1680  
DARWIN NT 0801

Dear Doug

**Parcel Description:** Lot 1406 (42) Sergison Circuit Town of Nightcliff  
**Proposed Development:** Carport additions to existing multiple dwellings with reduced side setbacks.

Thank you for the Development Application referred to this office 27 May 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

- i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**
  - a). Council notes a variation to the Northern Territory Planning Scheme provisions in relation to Table A of Clause 7.3 – Minimum Building Setbacks for Residential Buildings. While Council does not necessarily support these variations, in light of the existing built form within the area, it does not object
- ii). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **Council requests the Authority requires a schematic plan demonstrating all stormwater to be collected on the site and discharged underground to Council's stormwater drainage system.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged underground to Council's drainage network.

.../2

- 1). The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system.
- 2). Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into Council's stormwater drainage system. It is also necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the Director Technical Services, Darwin City Council.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



**DROSSO LELEKIS**  
**MANAGER DESIGN & PLANNING**

cc: Mr Rodney Warren Jessup



# Development Consent Authority

Northern Territory

GPO BOX 1680  
DARWIN NT 0801

Telephone No: (08) 8999 6807  
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0324

Sir or Madam  
Darwin City Council  
GPO Box 84  
DARWIN NT 0801

Dear Sir or Madam,

## Proposed Development Application

The following application has been received for assessment by the Development Consent Authority:

<b>Parcel Description</b>	Lot 01406 Town of Nightcliff
<b>Road/Street</b>	42 SERGISON CCT
<b>Town Plan Zone</b>	MR (Medium Density)
<b>Tenure Type</b>	ESTATE IN FEE SIMPLE
<b>Land Owners</b>	The Proprietors - Units Plan No. 85/56
<b>Applicant</b>	Mr Rodney Warren Jessup
<b>Contact Number</b>	08 89883071
<b>Purpose</b>	Carport additions to existing multiple dwellings with reduced side setbacks.

The proposal can be viewed online for a two week period from **Friday, 27th May 2011** until **Friday, 10th June 2011** at: [https://www.ntlis.nt.gov.au/planning/lta\\_dar.list](https://www.ntlis.nt.gov.au/planning/lta_dar.list)

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Friday, 10th June 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:  
[https://www.ilis.nt.gov.au/ilis/l2?pageId=planning.application&ilis\\_entity\\_id=63632215](https://www.ilis.nt.gov.au/ilis/l2?pageId=planning.application&ilis_entity_id=63632215)

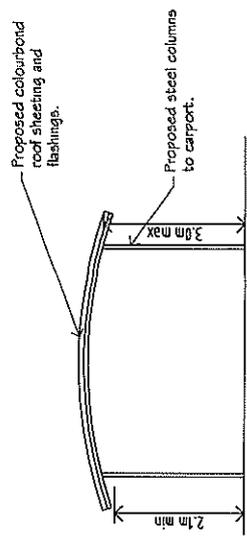
Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

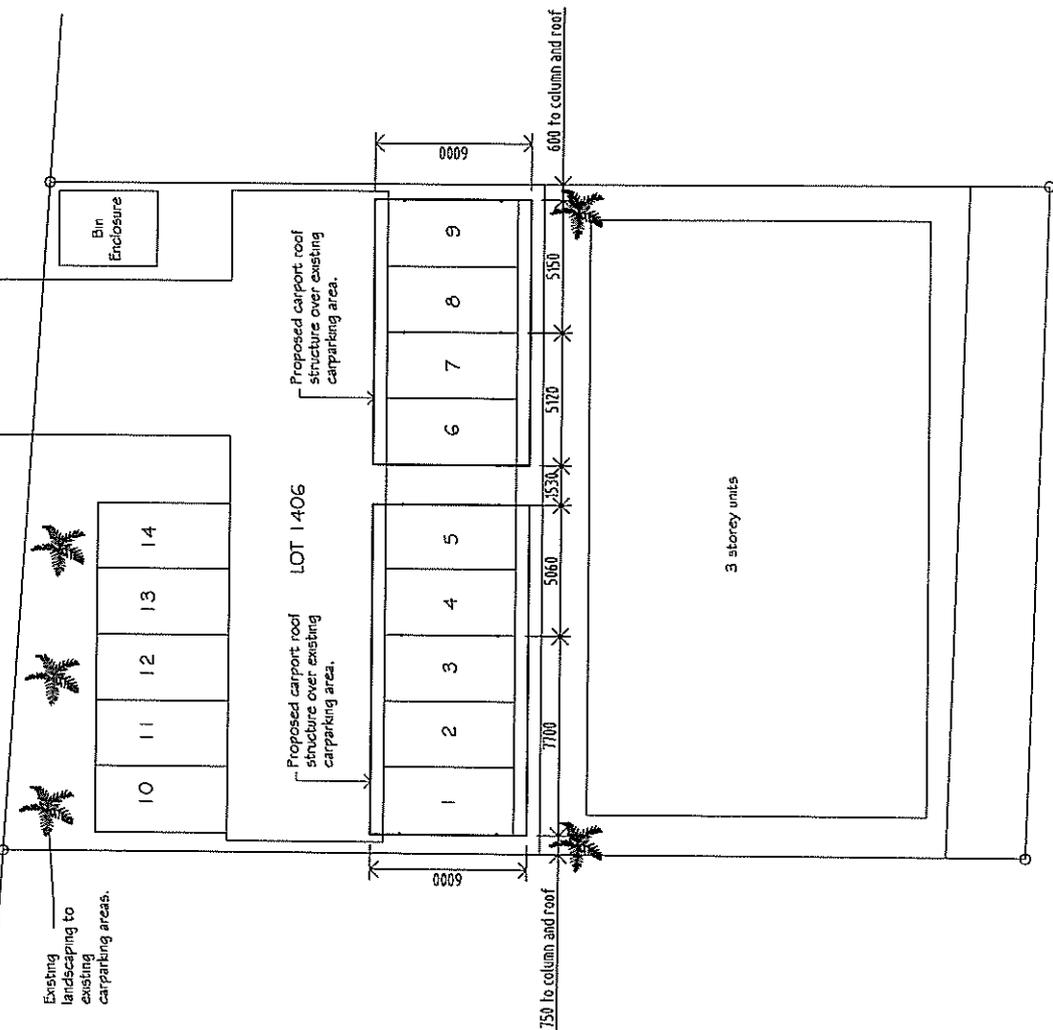
If you wish to secure a third party right of appeal, when it exists, you must specify that the submission is being made under section 49 and ensure that the submission is lodged with the consent authority by 4PM CST **Friday, 10th June 2011** which is the closing date for public exhibition.

# SERGISON CIRCUIT



**CARPORT ELEVATION**

SCALE 1:100



## SITE- LOT 1406

SCALE 1:200

SCHEDULE OF AREAS  
New Carport areas: 139m2

### CONSTRUCTION NOTES

1. Builder is to ensure that all setback requirements are adhered to during the course of construction and is to consult with the Building Certifier if any changes arise.
2. All dimensions are in millimetres unless noted otherwise.

**JB DRAFTING**  
BUILDING DESIGN AND DRAFTING  
RESIDENTIAL, COMMERCIAL, INDUSTRIAL  
Phone: 89 834 222 / 0407834229  
Fax: 08 89 834 322  
PO BOX 1037 PALMERSTON NT 0831  
EMAIL: [jb.drafting@bigpond.com](mailto:jb.drafting@bigpond.com)

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Client: LIFESTYLE ENTERPRISE  
Drawing Title: SITE LAYOUT PLAN

Address: Lot 1406 (42) SERGISON CIRC,  
RAPID CREEK NT  
Drawing No: JBD-663-001

Rev	Description	Date
1	APPROVAL	JUL 09

Please quote: 2011387 CR:fh  
Your reference: PA2011/0320

3 June 2011

Doug Lesh  
Manager Urban Planning  
Department of Lands and Planning  
GPO Box 1680  
DARWIN NT 0801

Dear Doug

**Parcel Description: Lot 3248 (8) Seabright Crescent Town of Nightcliff**  
**Proposed Development: Carport and shed addition to an existing single dwelling with a reduced side setback**

Thank you for the Development Application referred to this office 20 May 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**
  - a) Council notes a number of variations to the Northern Territory Planning Scheme provisions in relation to Table A of Clause 7.3 – Minimum Building Setbacks for Residential Buildings. While Council does not necessarily support these variations, in light of the existing built form within the area, it does not object.
- ii) **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **Council requests the Authority requires a schematic plan demonstrating all stormwater to be collected on the site and discharged underground to Council's stormwater drainage system.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged underground to Council's drainage network.

.../2

- 1). The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system.
- 2). Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into Council's stormwater drainage system. It is also necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the Director Technical Services, Darwin City Council.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

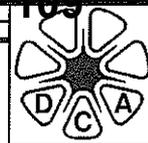
If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours sincerely,



**DROSSO LELEKIS**  
**MANAGER DESIGN, PLANNING AND PROJECTS**

cc: Lisa Peters



# Development Consent Authority

Northern Territory

GPO BOX 1680  
DARWIN NT 0801

Telephone No: (08) 8999 6807  
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0320

Sir or Madam  
Darwin City Council  
GPO Box 84  
DARWIN NT 0801

Dear Sir or Madam,

## Proposed Development Application

The attached application has been received for assessment by the Development Consent Authority:

<b>Parcel Description</b>	Lot 03248 Town of Nightcliff
<b>Road/Street</b>	8 SEABRIGHT CRES
<b>Town Plan Zone</b>	SD (Single Dwelling)
<b>Tenure Type</b>	ESTATE IN FEE SIMPLE
<b>Land Owners</b>	Peters, Lisa

<b>Applicant</b>	Lisa Peters
<b>Contact Number</b>	lester.peaches@hotmail.com

<b>Purpose</b>	carport and shed addition to an existing single dwelling with a reduced side setback
----------------	--

The proposal can be viewed online for a two week period from **Friday, 20th May 2011** until **Friday, 3rd June 2011** at: [https://www.ntlis.nt.gov.au/planning/ta\\_dar\\_list](https://www.ntlis.nt.gov.au/planning/ta_dar_list)

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Friday, 3rd June 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:  
[https://www.ilis.nt.gov.au/ilis/l2?pageId=planning.application&ilis\\_entity\\_id=63609690](https://www.ilis.nt.gov.au/ilis/l2?pageId=planning.application&ilis_entity_id=63609690)

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

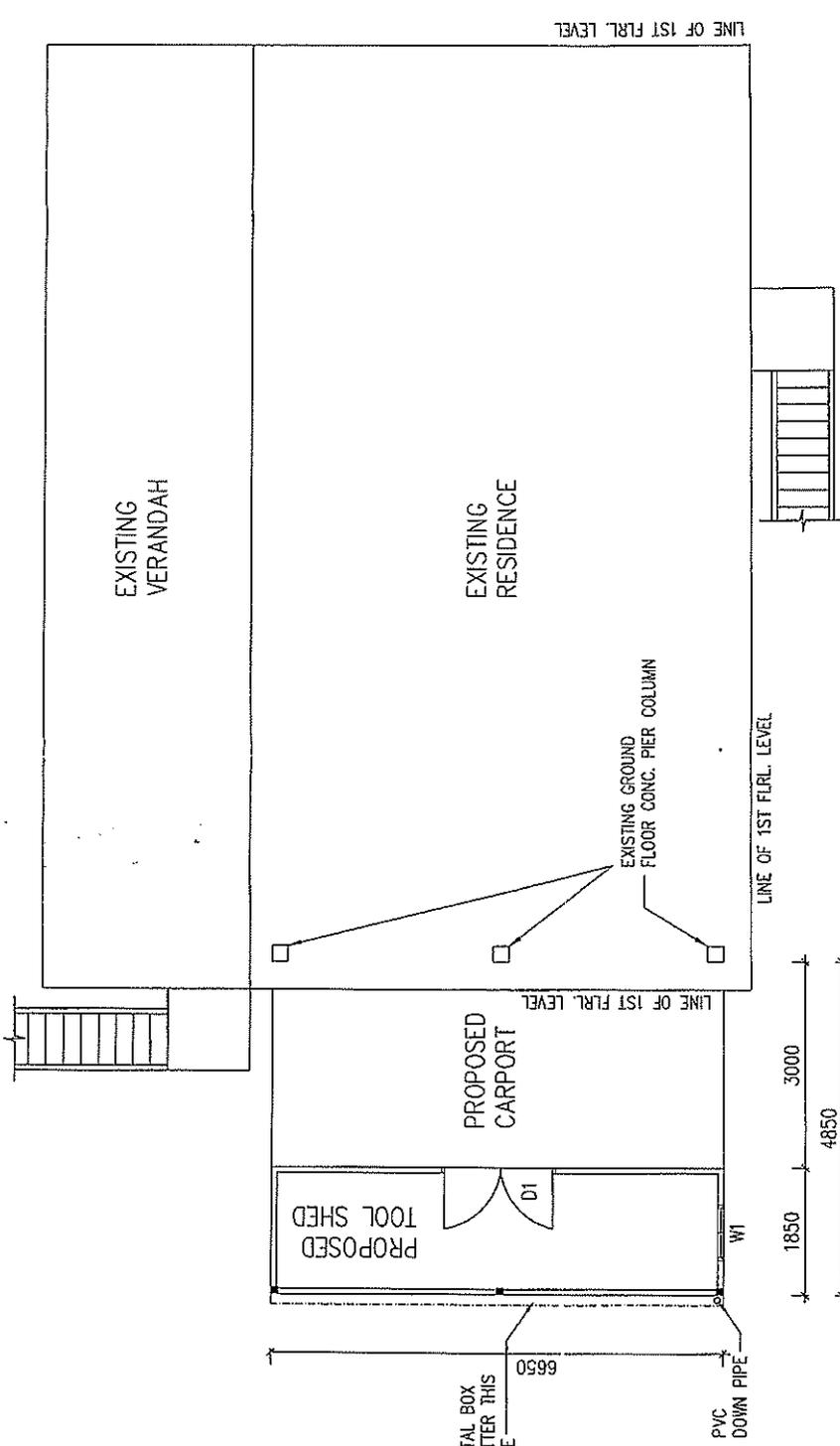
Should you require further information on this proposal please contact me on **8999 6807**.

Yours faithfully

**Anguree Jansen van Rensburg**  
Development Assessment Services

20 May 2011





**GROUND FLOOR PLAN**  
SCALE 1:75



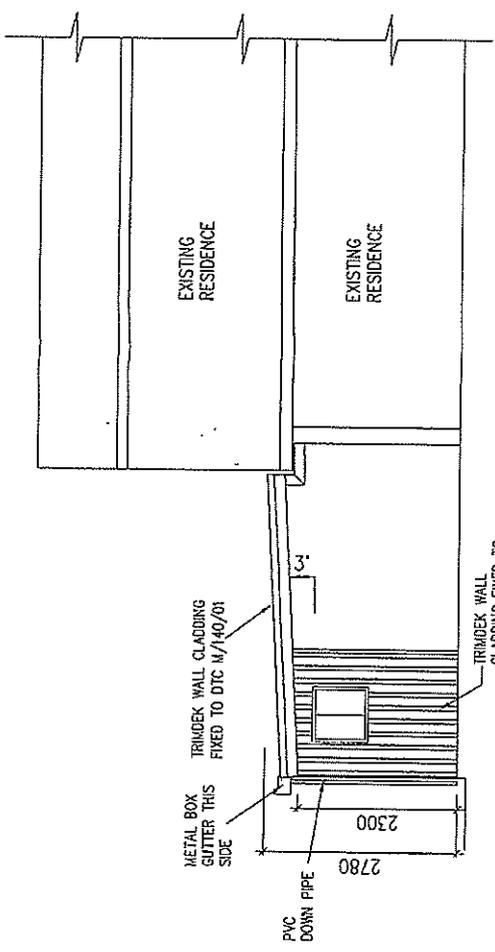
**DOOR AND WINDOW SCHEDULE**

- W1 = 800W x 800H SLIDING GLASS WINDOW
- D1 = 2-820W x 2040 SOLID TIMBER DOOR

NO OBJECTION IF BUILT SIDE BOUNDARY AS PER PLAN

OWNER: *P. Opreka* LOT NO. \_\_\_\_\_  
 SIGNATURE: *[Signature]*  
 DATE: 5-5-11  
 PHONE: 0889876983  
 METAL BOX BUTTER THIS SIDE  
 6650  
 PVC DOWN PIPE

	145 FARRAR BLVD. FARRAR, PALMERSTON NT. 0830 PH: 08 85313036 FAX: 08 89728545 MOB. 0412 827 560 EMAIL: add_mom_eng@optusnet.com.au	PROPOSED EXTENSION TO EXISTING RESIDENCE LOT 3248 SEABRIGHT CRESCENT JINGILI N.T.	DRAWING NO. RF SHEET NO. 2/3	DATE 24/03/11 DRAWN BY	111



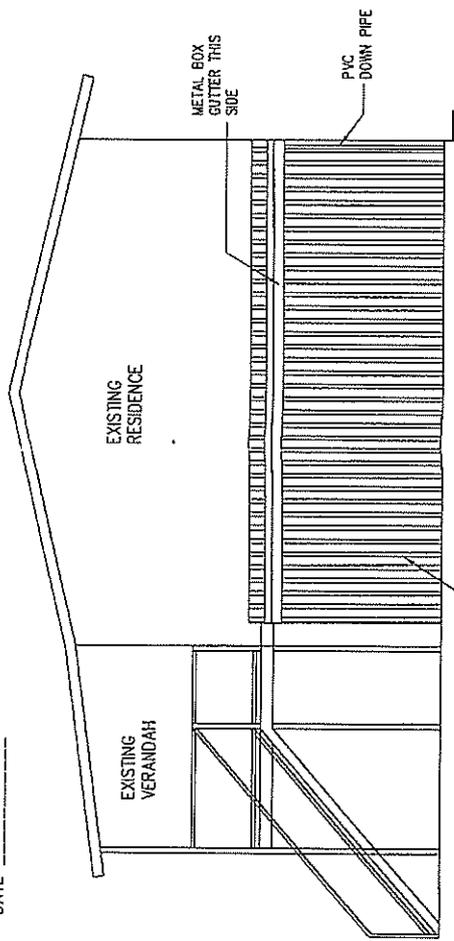
ELEVATION 1  
SCALE 1:75

NO OBJECTION IF BUILT SIDE BOUNDARY AS PER PLAN

LOT No. \_\_\_\_\_ OWNER \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

PHONE \_\_\_\_\_



ELEVATION 2  
SCALE 1:75

**ROOFING**

145 FARRAR BLVD.  
 FARRAR, PALMERSTON NT, 0830  
 PH: 08 85130339 / FAX: 08 85226345  
 MOB: 04-12 827 593  
 EMAIL: ADD. mont\_fe@hotmail.com

PROPOSED EXTENSION  
 TO EXISTING RESIDENCE  
 LOT 3248 SEABRIGHT CRESCENT  
 JINGILI N. T.

APPROX. DATE	24/03/11
APPROX. No.	RF
APPROX. No.	3/3
APPROX. No.	

Please quote: 2011313 CR:fh  
Your reference: PA2011/0323

3 June 2011

Doug Lesh  
Manager Urban Planning  
Department of Lands and Planning  
GPO Box 1680  
DARWIN NT 0801

Dear Doug

**Parcel Description:** Section 3942 (430) Stuart Highway Hundred of Bagot  
**Proposed Development:** 30m high telecommunications facility with associated antennas and equipment shelter

Thank you for the Development Application referred to this office 20 May 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

No issues are raised for this Development Application in relation to matters that fall within the responsibility of Darwin City Council.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the Director Technical Services, Darwin City Council.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



**CINDY ROBSON**  
**STRATEGIC TOWN PLANNER**

cc: Ms Lynette Brandwood



# Development Consent Authority

Northern Territory

GPO BOX 1680  
DARWIN NT 0801

Telephone No: (08) 8999 6807  
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0323

Sir or Madam  
Darwin City Council  
GPO Box 84  
DARWIN NT 0801

Dear Sir or Madam,

## Proposed Development Application

The following application has been received for assessment by the Development Consent Authority:

<b>Parcel Description</b>	Section 03942 Hundred of Bagot
<b>Road/Street</b>	430 STUART HWY
<b>Town Plan Zone</b>	SC (Service Commercial)
<b>Tenure Type</b>	ESTATE IN FEE SIMPLE
<b>Land Owners</b>	Jamieson Pty Ltd as trustee for the Peter Jamieson Family Trust, Peter
<b>Applicant</b>	Ms Lynette Brandwood
<b>Contact Number</b>	0883641956
<b>Purpose</b>	30m high telecommunications facility with associated antennas and equipment shelter

The proposal can be viewed online for a two week period from **Friday, 20th May 2011** until **Friday, 3rd June 2011** at: <https://www.ntlis.nt.gov.au/planning/lta.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Friday, 3rd June 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:  
[https://www.ilis.nt.gov.au/ilis/l2?pageId=planning.application&ilis\\_entity\\_id=63630970](https://www.ilis.nt.gov.au/ilis/l2?pageId=planning.application&ilis_entity_id=63630970)

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

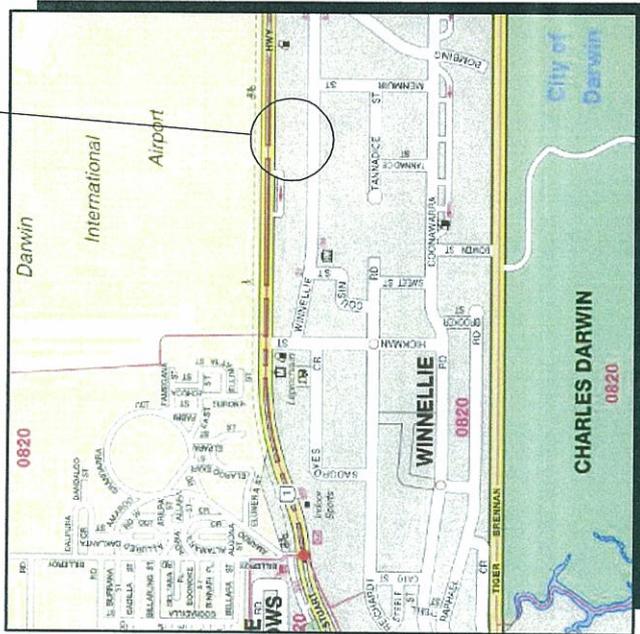
Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

If you wish to secure a third party right of appeal, when it exists, you must specify that the submission is being made under section 49 and ensure that the submission is lodged with the consent authority by 4PM CST **Friday, 3rd June 2011** which is the closing date for public exhibition.

# VHA BTS Site 5733F

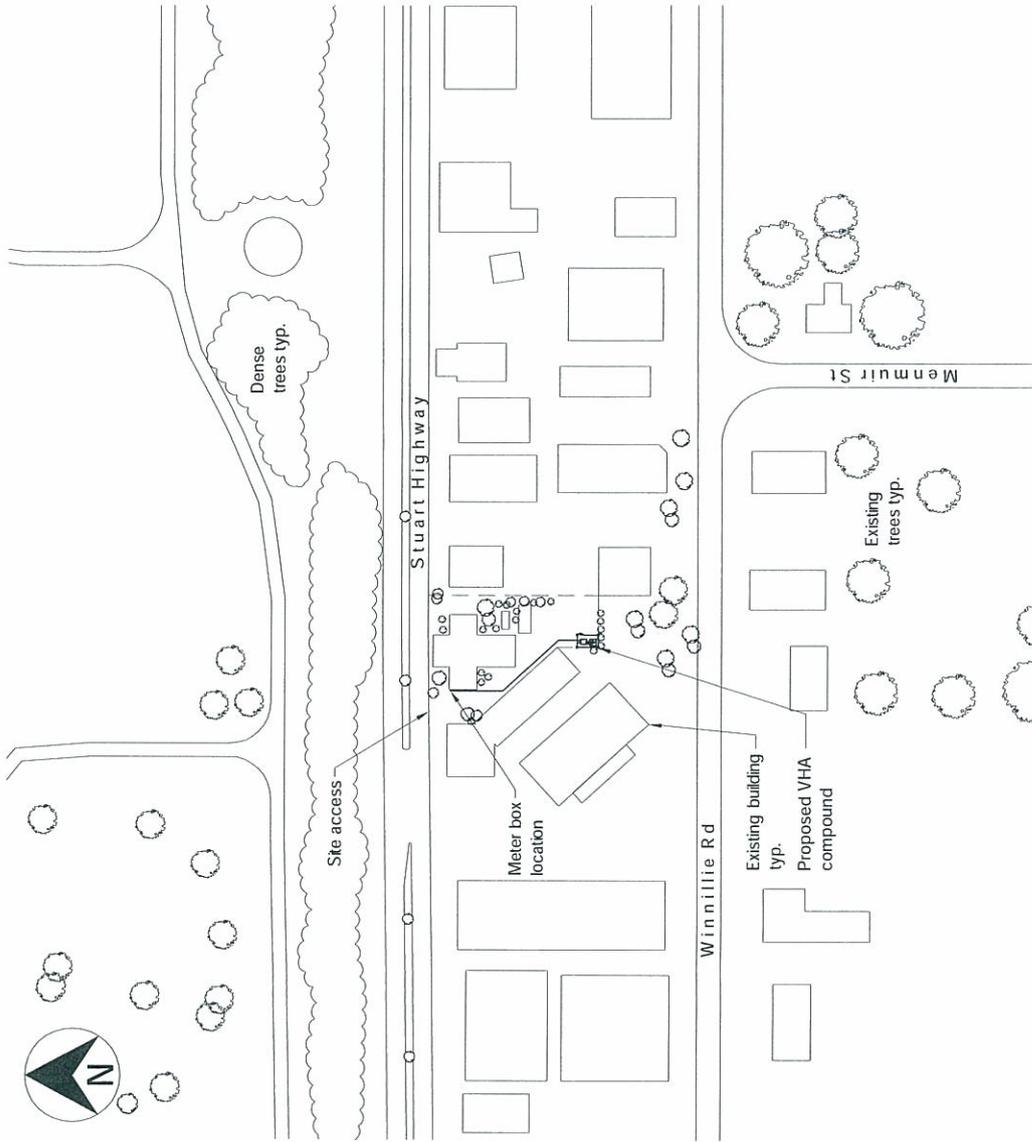
Map Reference: South Australia & Northern Territory  
Country Road Atlas (6th Edition)  
350  
Map Page: H 10  
Map Grid Reference:



Map reproduced with permission of UGD  
Copyright Universal Publishers Pty. Ltd 08 10/05

## Site Locality Plan

Not to Scale

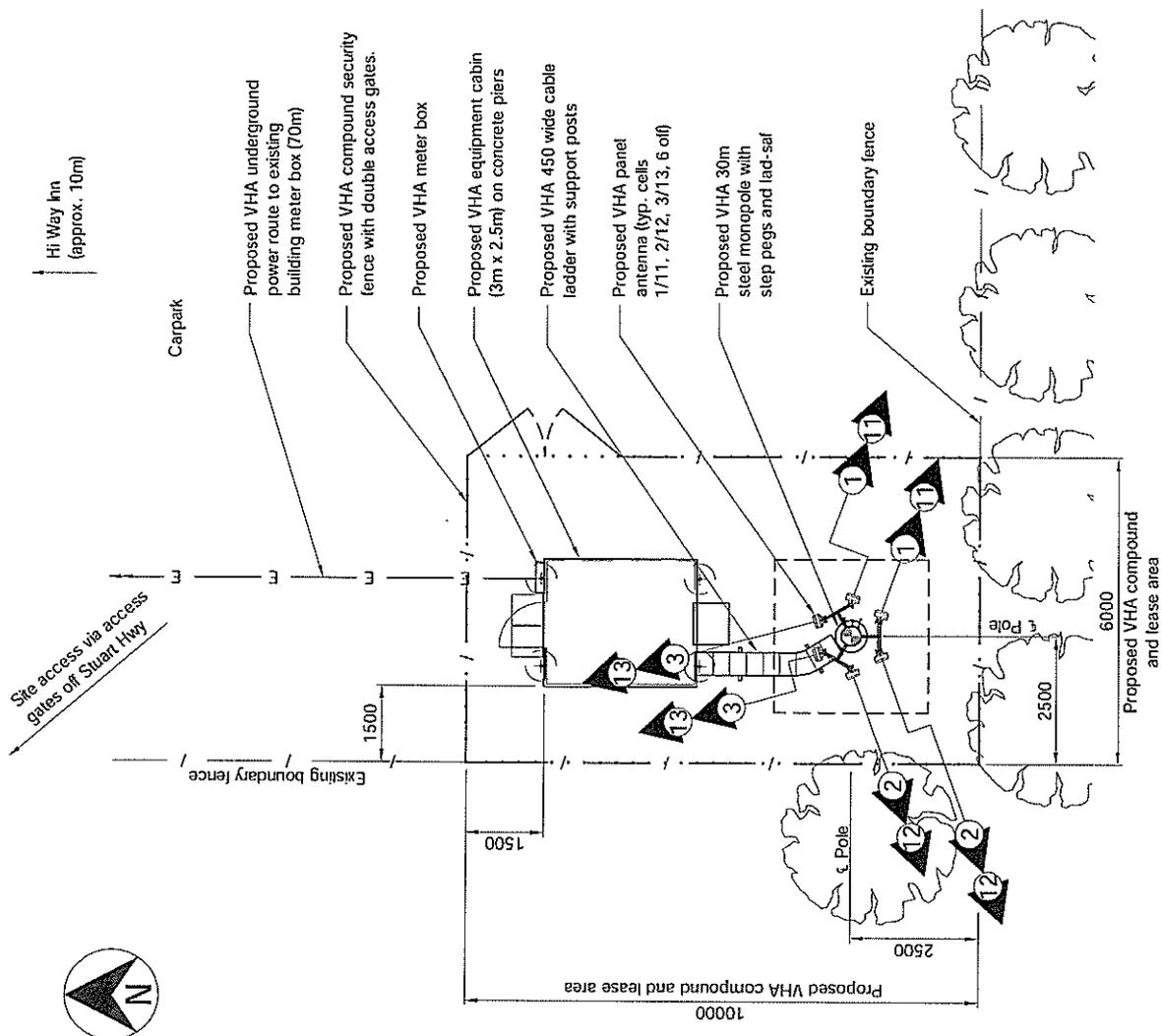


## Site Plan

Scale 1:2500

<p><b>115</b></p>		<p><b>115</b></p>	
<p>REV A</p>		<p>DRAWING NO: 5733F-G1</p>	
<p>PRELIMINARY</p>		<p>DRAWING STATUS</p>	
<p>TITLE</p>		<p>SITE AND LOCALITY PLANS</p>	
<p>VHA</p>		<p>VHA SITE 5733F</p>	
<p>WINNELLIE</p>		<p>HIWAY INN MOTEL, 430 STUART HIGHWAY</p>	
<p>WINNELLIE, NT 0820</p>		<p>WINNELLIE, NT 0820</p>	
<p>Intelligent Solutions™</p>		<p>TCI, Level 1, 118-120 Pacific Highway, St Leonards, NSW 2065 PO Box 125, St Leonards, NSW 1590 T 02 9478 9999 F 02 9478 9900 www.tci.com.au</p>	
<p>DATE</p>		<p>SIGNATURE</p>	
<p>10.03.11</p>		<p>TM</p>	
<p>10.03.11</p>		<p>VW</p>	
<p>10.03.11</p>		<p>APPROVED</p>	
<p>10.03.11</p>		<p>SS</p>	
<p>PRELIMINARY ISSUE</p>		<p>REVISION DESCRIPTION</p>	
<p>DATE</p>		<p>DRAWN</p>	

A3



### Antenna Configuration

Cell 1	Cell 11	Cell 2	Cell 12	Cell 13	Cell 13	RT Dish A
Symbol	①	②	⑬	③	③	Ⓐ
Orientation	110°	250°	345°			TBC
Antenna Type	Kathrein 742 266	Ø600				
Antenna Height	29.5m	29.5m	29.5m	29.5m	29.5m	TBC
No. of Antennas	2 off	1 off				
No. of TMA	1 off	N/A				
Feeder Type	4 x AVA5-50	LDF4-50				
Feeder Length (Approx.)	35m	35m	35m	35m	35m	TBC
Status	Proposed	Proposed	Proposed	Proposed	Proposed	Proposed
Destination Site Number						TBC
Destination Site Name						TBC

Datum Point	AMG Co-ordinates	Zone	Ground Level
④	E 704 075.79	52	EL 0.0m
	N 8 625 612.25		

### Notes:

- All orientations are in degrees relative to A.M.G. North.
- TMA mounted behind panel antennas for each cell.

### Site Setout Plan

Scale 1:100

Antenna Type	Antenna Size
Kathrein 742 266	2516H x 262W x 139D

REV	DATE	DESCRIPTION	BY	CHKD
0	01/01/11	PRELIMINARY ISSUE		
1	02/27/11	PRELIMINARY ISSUE		

NO.	DATE	SCALE	STATUS	BY	CHKD
01	01/01/11		TM		
02	01/03/11		VW		
03	01/03/11		JY		
04	02/27/11		JY		

Intelligent Solutions™  
 TCI Level 1, 118-120 Princes Highway,  
 St Leonards, NSW 2065  
 PO Box 125, St Leonards, NSW 1590  
 T 02 8478 9539 F 02 8478 8900  
 WWW.INTELLIGENT.COM.AU

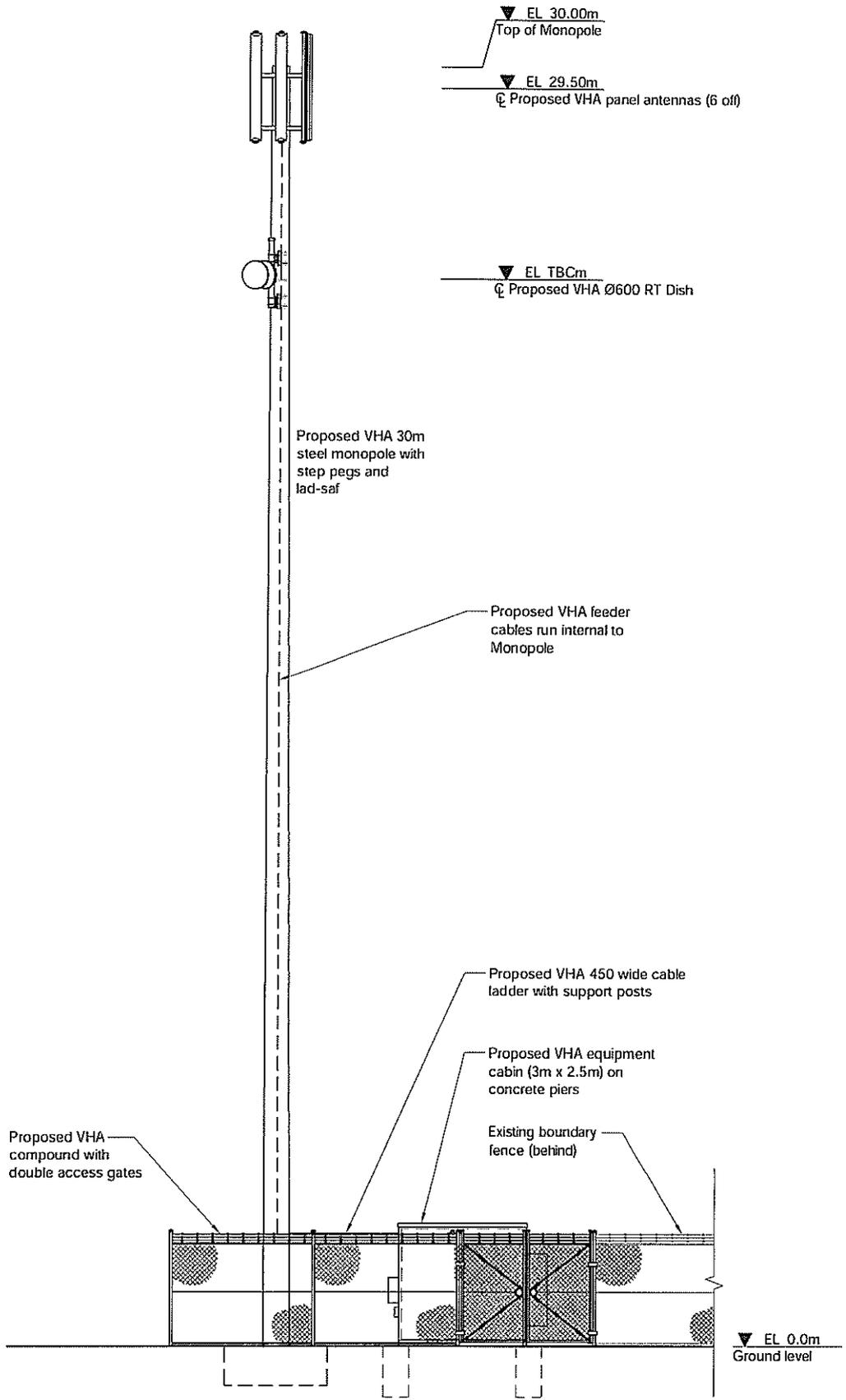
VHA SITE 5733F  
 WINNELLIE  
 HIWAY INN MOTEL, 430 STUART HIGHWAY  
 WINNELLIE, NT 0820

TITLE  
 SITE SETOUT PLAN  
 DRAWING STATUS  
 PRELIMINARY  
 DRAWING NO.  
 5733F-G2

116  
 REV  
 B

**Note:**

Proposed VHA antenna access is via step-peg and 'Lad-Saf' by rigger qualified personnel only or EWP.



**Eastern Elevation**

Scale 1:100

REV	DATE	DESCRIPTION	BY	CHKD
8	03/01/11	PRELIMINARY ISSUE		
7	03/01/11	PRELIMINARY ISSUE		
6	03/01/11	PRELIMINARY ISSUE		
5	03/01/11	PRELIMINARY ISSUE		
4	03/01/11	PRELIMINARY ISSUE		
3	03/01/11	PRELIMINARY ISSUE		
2	03/01/11	PRELIMINARY ISSUE		
1	03/01/11	PRELIMINARY ISSUE		

**tsi**  
Intelligent Solutions™

TCL Level 1, 118-120 Pacific Highway,  
St Leonards, NSW 2055  
PO Box 125, St Leonards, NSW 1590  
1 02 9478 9999 f 02 9478 8900  
tsi@tsi.com.au

**VHA**  
VHA SITE 5733F  
WINNELLIE  
HINWAY INN MOTEL, 430 STUART HIGHWAY  
WINNELLIE, NT 0820

DATE	03/01/11
SCALE	1:100
DRAWING STATUS	PRELIMINARY
DRAWING NO.	5733F-G3

Antenna Type	Antenna Size
Kathrein 742 266	2516H x 262W x 139D

Please quote: 2003304 CR:fh  
Your reference: PA2011/0291

20 May 2011

Doug Lesh  
Manager Urban Planning  
Department of Lands and Planning  
GPO Box 1680  
DARWIN NT 0801

Dear Doug

**Parcel Description:** Lots 4554, 6191, 8634 & 9585 , (356) & (362) Bagot Road, (14) Kelsey Crescent, (15) Fitzgerald Street Millner, Town of Nightcliff

**Proposed Development:** Changes to DP09/0215 change of use of proposed Building 2 for showroom and office; alterations and change of use of proposed Building 1 for showroom and reconfiguration of car parking, new carports and facade upgrades in 3 stages.

Thank you for the Development Application referred to this office 6 May 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**

a). **Signage**

Any proposed signage for the site is subject to a separate approval and shall be assessed under Darwin City Council Policy Number 42 – Outdoor Advertising Signs Code.

A copy of Council's Policy Number 42 – Outdoor Advertising Signs Code is available on Council's website or by contacting Council's Infrastructure Department.

.../2

b). **Awnings**

Drawing number SK1 indicates an awning along Fitzgerald Street associated with Building 1. Notwithstanding the approved plans, any proposed awning or building structure is subject to Council's approval and shall meet all Council's requirements to the satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.

A copy of the Awnings, Balconies and Verandas on Council Property – Policy No.37 may be viewed on Council's website or by contacting Council's Infrastructure department.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.
- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the Director Technical Services, Darwin City Council and at no cost to Council.
- Kerb crossovers and driveways to the site shall be provided and disused crossovers removed, public footpath and cycleways shall be provided, stormwater shall be collected and discharged into Council's drainage network, and reinstatement works carried out, all to the requirements and satisfaction of the Director Technical Services, Darwin City Council and at no cost to Council.
- Sight lines shall be provided at crossovers to public streets to the satisfaction of the Director Technical Services, Darwin City Council. No fence or tree exceeding 0.6 metres in height shall be planted in front of the sight line.
- Any gate over an access to a public road shall be placed on the subject site at least 4.5m from the face of the kerb line of the adjoining public road.
- Car parking spaces and internal driveways shall meet the requirements of the relevant Australian Standard and be linemarked and sealed with an impervious material.
- The total number of required disabled car parking bays shall be met on site.

...3

- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the Director Technical Services, Darwin City Council.
- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.
- Further subject to conditions of subdivision to the satisfaction of service authorities.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully

A handwritten signature in black ink, appearing to be 'Cindy Robson', written in a cursive style.

**CINDY ROBSON**  
**STRATEGIC TOWN PLANNER**

cc: Mr Mark Bell

# Development Consent Authority

Northern Territory

GPO BOX 1680  
 DARWIN NT 0801

Telephone No: (08) 8999 6807  
 Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0291  
 PS : FJS

Sir or Madam  
 Darwin City Council  
 GPO Box 84  
 DARWIN NT 0801

Dear Sir or Madam

## Proposed Development Application

The following application has been received for assessment by the Development Consent Authority:

<b>Parcel Description</b>	Lot 4554 Town of Nightcliff
<b>Road/Street</b>	362 BAGOT RD
<b>Town Plan Zone</b>	C (Commercial)
<b>Tenure Type</b>	ESTATE IN FEE SIMPLE
<b>Land Owners</b>	The Proprietor(s) of Units Plan U2003/057
<b>Parcel Description</b>	Lot 6191 Town of Nightcliff
<b>Road/Street</b>	14 KELSEY CRES
<b>Town Plan Zone</b>	SD4 (Specific Use)
<b>Tenure Type</b>	
<b>Land Owners</b>	Alem Investments Pty Ltd (ACN 105 404 788)
<b>Parcel Description</b>	Lot 8634 Town of Nightcliff
<b>Road/Street</b>	15 FITZGERALD ST
<b>Town Plan Zone</b>	SD4 ()
<b>Tenure Type</b>	
<b>Land Owners</b>	Jape Kong Su Nominees Pty Ltd (ACN 063 598 130) as trustee for The Jape (1976) Family Trust
<b>Parcel Description</b>	Lot 9585 Town of Nightcliff
<b>Road/Street</b>	356 BAGOT RD
<b>Town Plan Zone</b>	SD4 ()
<b>Tenure Type</b>	
<b>Land Owners</b>	
<b>Applicant</b>	Mr Mark Bell
<b>Contact Number</b>	8941 1077
<b>Purpose</b>	Changes to DP09/0215 for change of use of proposed Building 2 to showroom and office; alterations and change of use of proposed Building 1 for showroom; and reconfiguration of car parking, new car ports and facade upgrades in 3 stages

The proposal can be viewed online for a two week period from **Friday, 6th May 2011** until **Friday, 20th May 2011** at:  
<https://www.ntlis.nt.gov.au/planning/lta.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Friday, 20th May 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:  
[https://www.ilis.nt.gov.au/ilis/12?pagelD=planning.application&ilis\\_entity\\_id=63524232](https://www.ilis.nt.gov.au/ilis/12?pagelD=planning.application&ilis_entity_id=63524232)

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

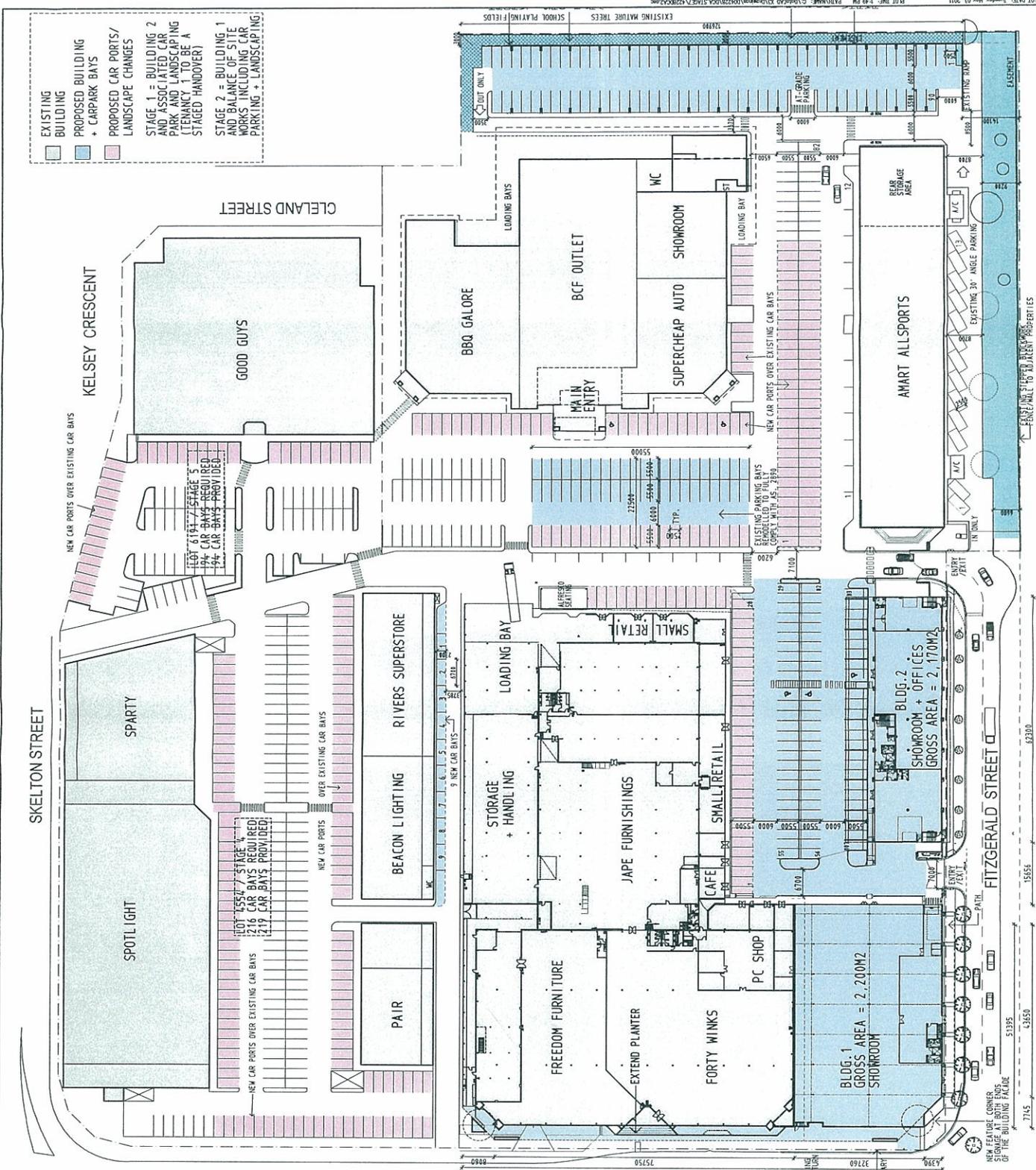
If you wish to secure a third party right of appeal, when it exists, you must specify that the submission is being made under section 49 and ensure that the submission is lodged with the consent authority by 4PM CST **Friday, 20th May 2011** which is the closing date for public exhibition.

Should you require further information on this proposal please contact me on **8999 6807**.

Yours faithfully

**Fannie (Jackie) Sledge**  
Development Assessment Services

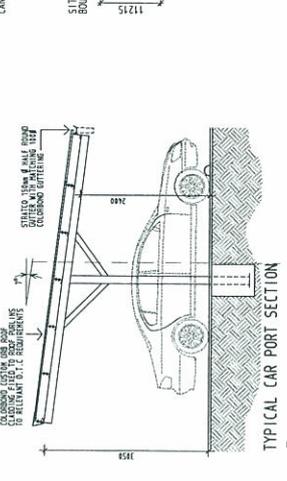
10 May 2011



AERIAL PHOTO OF SITE



SITE LOCALITY PLAN



TYPICAL CAR PORT SECTION

DATE: Monday, May 04, 2015  
 PROJECT NO: 004228  
 DRAWN: HSELL  
 SCALE: AS SHOWN  
 ALL DIMENSIONS TO BE VERIFIED AND CHECKED ON JOB

CONSULTANTS:  
 ELECTRICAL  
 STRUCTURAL/JOIST  
 MECHANICAL  
 BACKING CERTIFICATION

PROJECT NORTH

CONSULTANTS:  
 ELECTRICAL  
 STRUCTURAL/JOIST  
 MECHANICAL  
 BACKING CERTIFICATION

CLIENT:  
 DATE:  
 BY:  
 CHECKED:  
 DATE:

DEVELOPMENT APPLICATION:  
 JAPE HOMEMAKER VILLAGE  
 NEW SHOWROOMS & OFFICES  
 LOTS 9585 & 8634 BAGOT ROAD

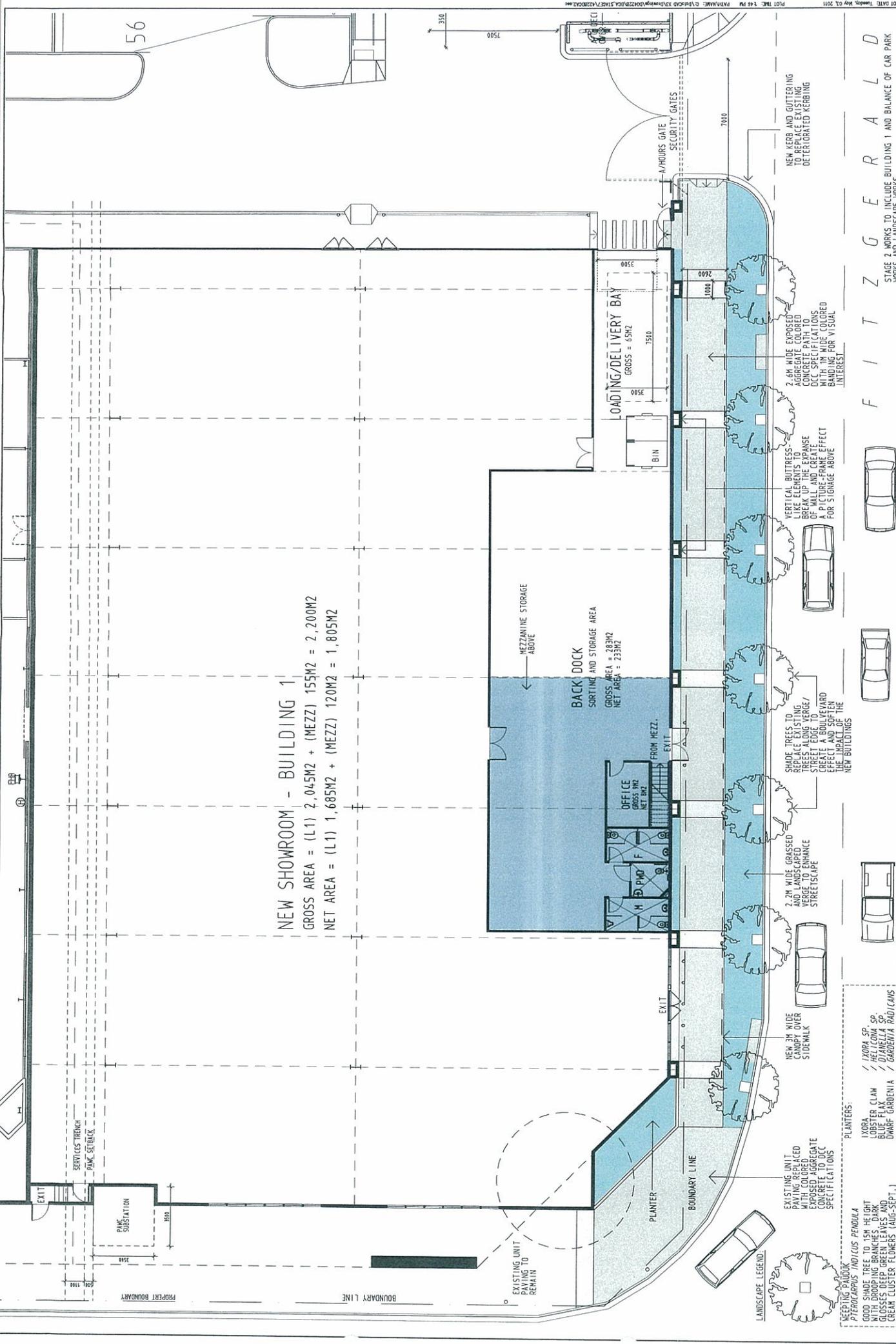
SK1  
 SCHEMATIC  
 SITE PLAN

BULL  
 BILL CLARKE ARCHITECTS  
 One / 21 Cavenagh Street  
 Darwin NT 0801  
 Ph: (08) 2941 1100  
 Fax: (08) 2941 1100  
 www.bullarchitects.com

123







**NEW SHOWROOM - BUILDING 1**  
 GROSS AREA = (L1) 2,045M<sup>2</sup> + (MEZZ) 155M<sup>2</sup> = 2,200M<sup>2</sup>  
 NET AREA = (L1) 1,685M<sup>2</sup> + (MEZZ) 120M<sup>2</sup> = 1,805M<sup>2</sup>

DATE: 11/04/2011  
 DRAWN: RIEBELL  
 CHECKED: SK4  
 SCALE: AS SHOWN

**F I T Z G E R A L D**  
 STAGE 2 WORKS TO INCLUDE BUILDING 1 AND BALANCE OF CAR PARK WORKS AND LANDSCAPE WORKS.

**BUILDING 1**  
**L1 SHOWROOMS**  
**+ MEZZ STORAGE**

**JAPE HOMEMAKER VILLAGE**  
**NEW SHOWROOMS & OFFICES**  
**LOTS 9685 & 8634 BAGOT ROAD**

**BELL GABBERT ASSOCIATES**  
 CONSULTANTS  
 ELECTRICAL  
 STRUCTURAL  
 HYDRAULIC  
 MECHANICAL  
 BUILDING DISTRIBUTION

**BELL GABBERT ASSOCIATES**  
 CONSULTANTS  
 ELECTRICAL  
 STRUCTURAL  
 HYDRAULIC  
 MECHANICAL  
 BUILDING DISTRIBUTION

**BELL GABBERT ASSOCIATES**  
 CONSULTANTS  
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 STRUCTURAL  
 HYDRAULIC  
 MECHANICAL  
 BUILDING DISTRIBUTION

**BELL GABBERT ASSOCIATES**  
 CONSULTANTS  
 ELECTRICAL  
 STRUCTURAL  
 HYDRAULIC  
 MECHANICAL  
 BUILDING DISTRIBUTION

NO.	AMOUNT	DATE







Please quote: 2017085 CR:fh  
Your reference: PA2011/0349

13 June 2011

Doug Lesh  
Manager Urban Planning  
Department of Lands and Planning  
GPO Box 1680  
DARWIN NT 0801

Dear Doug

**Parcel Description:** Lot 4951 (4) Radford Court Town of Nightcliff.  
**Proposed Development:** Verandah addition to an existing single dwelling with a reduced side setback.

Thank you for the Development Application referred to this office 30 May 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**
  - a). Council notes a variation to the Northern Territory Planning Scheme provisions in relation to Table A of Clause 7.3 – Minimum Building Setbacks for Residential Buildings. While Council does not necessarily support these variations, in light of the existing built form within the area, it does not object.
- ii). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **Council requests the Authority requires a schematic plan demonstrating all stormwater to be collected on the site and discharged underground to Council's stormwater drainage system.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged underground to Council's drainage network.

.../2

- 1). The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system.
- 2). Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into Council's stormwater drainage system. It is also necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the Director Technical Services, Darwin City Council.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

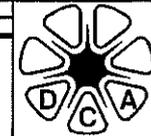
If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



**DROSSO LELEKIS**  
**MANAGER DESIGN & PLANNING**

cc: Mr Sam Hedger



# Development Consent Authority

Northern Territory

GPO BOX 1680  
DARWIN NT 0801

Telephone No: (08) 8999 6807  
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0349

Sir or Madam  
Darwin City Council  
GPO Box 84  
DARWIN NT 0801

Dear Sir or Madam,

## Proposed Development Application

The attached application has been received for assessment by the Development Consent Authority:

<b>Parcel Description</b>	Lot 04951 Town of Nightcliff
<b>Road/Street</b>	4 RADFORD CT
<b>Town Plan Zone</b>	MD (Multiple Dwelling)
<b>Tenure Type</b>	ESTATE IN FEE SIMPLE
<b>Land Owners</b>	Freund, Peter Kurt Daniel Freund, Rika Subakti
<b>Applicant</b>	Mr Sam hedger
<b>Contact Number</b>	82515277
<b>Purpose</b>	Verandah addition to an existing single dwelling to with a reduced side setback

The proposal can be viewed online for a two week period from **Monday, 30th May 2011** until **Monday, 13th June 2011** at: <https://www.ntlis.nt.gov.au/planning/ta.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Monday, 13th June 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:  
[https://www.ilis.nt.gov.au/ilis/12?pageId=planning.application&ilis\\_entity\\_id=63713464](https://www.ilis.nt.gov.au/ilis/12?pageId=planning.application&ilis_entity_id=63713464)

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

Should you require further information on this proposal please contact me on **8999 6807**.

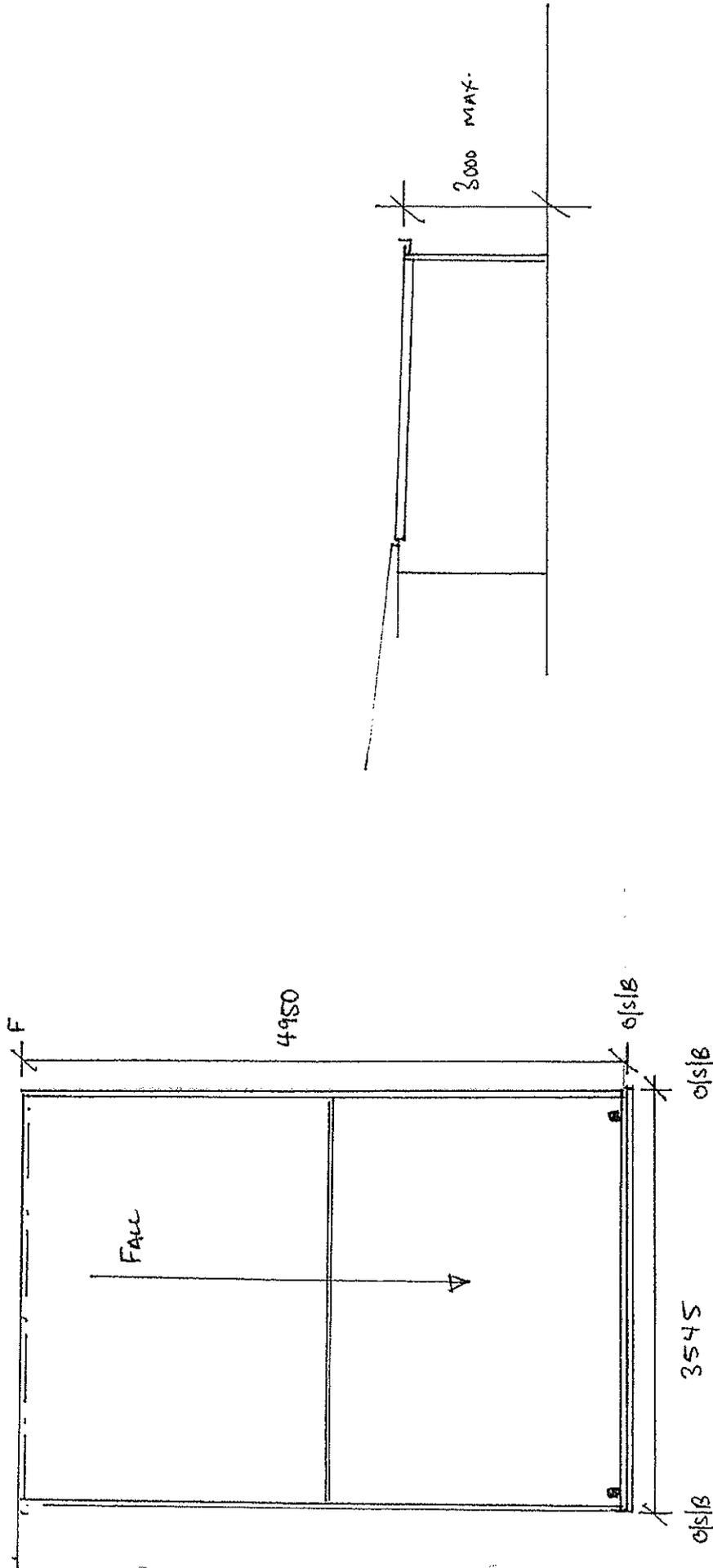
Yours faithfully

**Anguree Jansen van Rensburg**  
Development Assessment Services

30 May 2011

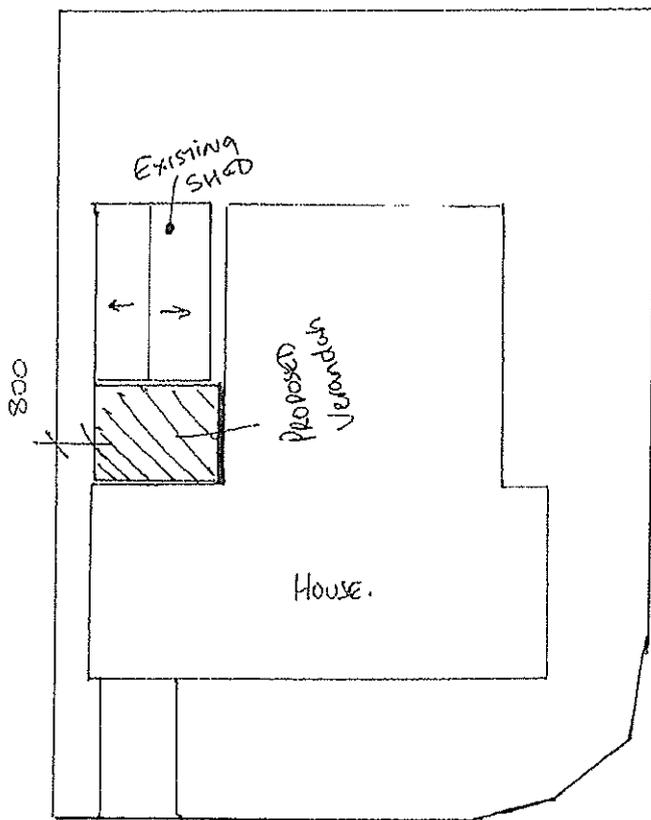


CUSTOMER NAME:	PETER + RIKA FRAUEND	JOB #:	DSH819
ADDRESS:	4 RADFORD COURT COCONUT GROVE		
PHONE:	8948 0991		
DECK: Sand done	INT FRAME: Sandstone	EXT FRAME: Black	POSTS: Black
			GUTTERS: Black.



+ Gutter on end only.  
 + Concrete Cutting required on holes.

Site plan for  
4 RADFORD COURT  
Coconut Grove.



RADFORD COURT

Peters Street

Please quote: 2019172 CR:fh  
Your reference: PA2011/0365

17 June 2011

Doug Lesh  
Manager Urban Planning  
Department of Lands and Planning  
GPO Box 1680  
DARWIN NT 0801

Dear Doug

**Parcel Description:** Lot 5264 (28) Adcock Crescent Town of Nightcliff  
**Proposed Development:** Extension to an existing single dwelling with a reduced front and side setbacks

Thank you for the Development Application referred to this office 2 June 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**
  - a). Council notes a number of variations to the Northern Territory Planning Scheme provisions in relation to Table A of Clause 7.3 – Minimum Building Setbacks for Residential Buildings. While Council does not necessarily support these variations, in light of the existing built form within the area, it does not object.
- ii). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **Council requests the Authority requires a schematic plan demonstrating all stormwater to be collected on the site and discharged underground to Council's stormwater drainage system.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged underground to Council's drainage network.

.../2

- 1). The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system.
- 2). Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into Council's stormwater drainage system. It is also necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Sight lines shall be provided at crossovers to public streets to the satisfaction of the Director Technical Services, Darwin City Council. No fence or tree exceeding 0.6 metres in height shall be planted in front of the sight line.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the Director Technical Services, Darwin City Council.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

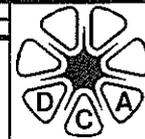
If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



**DROSSO LELEKIS**  
**MANAGER DESIGN & PLANNING**

cc: Mr Rodney Warren Jessup



# Development Consent Authority

Northern Territory

GPO BOX 1680  
DARWIN NT 0801

Telephone No: (08) 8999 6807  
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0365

Sir or Madam  
Darwin City Council  
GPO Box 84  
DARWIN NT 0801

c/n - 2019172

Dear Sir or Madam,

## Proposed Development Application

The following application has been received for assessment by the Development Consent Authority:

<b>Parcel Description</b>	Lot 05264 Town of Nightcliff
<b>Road/Street</b>	28 ADCOCK CRES
<b>Town Plan Zone</b>	SD (Single Dwelling)
<b>Tenure Type</b>	ESTATE IN FEE SIMPLE
<b>Land Owners</b>	Archbold, Suzanne McCoy, Angus Donald
<b>Applicant</b>	Mr Rodney Warren Jessup
<b>Contact Number</b>	08 89883071
<b>Purpose</b>	Extension to an existing single dwelling with reduced front and side setbacks

The proposal can be viewed online for a two week period from **Friday, 3rd June 2011** until **Friday, 17th June 2011** at: <https://www.ntlis.nt.gov.au/planning/lta.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Friday, 17th June 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:  
[https://www.ilis.nt.gov.au/ilis/l2?pageId=planning.application&ilis\\_entity\\_id=63893050](https://www.ilis.nt.gov.au/ilis/l2?pageId=planning.application&ilis_entity_id=63893050)

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

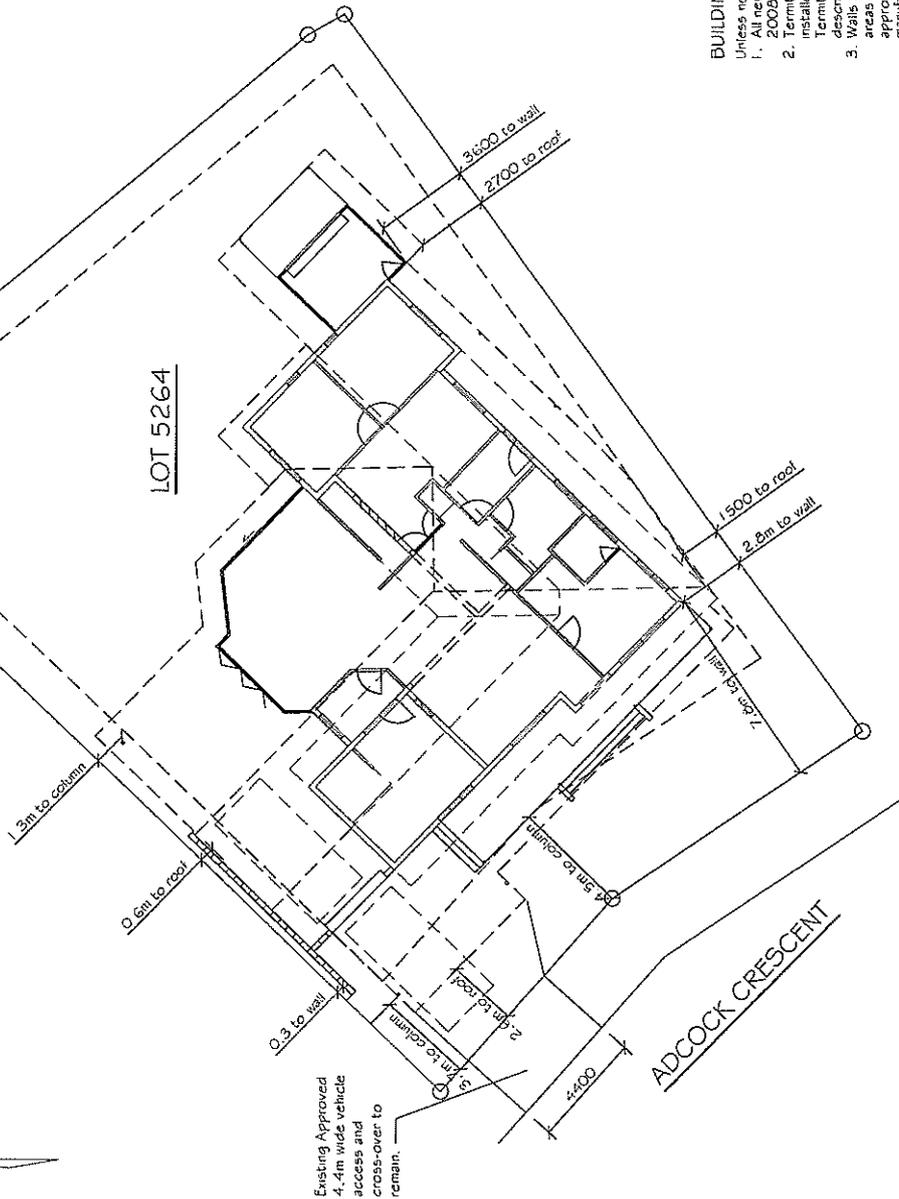
Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

If you wish to secure a third party right of appeal, when it exists, you must specify that the submission is being made under section 49 and ensure that the submission is lodged with the consent authority by 4PM CST **Friday, 17th June 2011** which is the closing date for public exhibition.



LOT 5264



**BUILDING NOTES**

- Unless notes otherwise:
- All new building works to comply with the Building Code of Australia - BCA 2008 Volume Two (BCA 2008).
  - Termite treatment to AS 3600: Under slab and perimeter irrigation system. All installed and commissioned by approved pest control specialist. Requires a Termite Treatment Certificate and a notice located inside electrical metre box describing the treatment used and the date for re-treatment.
  - Walls and floors to wet areas to comply with AS3740 - waterproofing of wet areas within residential buildings. Wet areas to have approved membrane or approved waterproof material, installed strictly in accordance with the manufacturers printed instructions for installation. Membrane and waterproofing material to be 1500mm high in showers and showerpaths, 150mm high to splashbacks over sinks, basins and troughs. Wet area membrane to be inspected by certifier and a Waterproofing Certificate provided by the applicant/builder.
  - Windows and doors to comply with AS 2047 and/or AS1288 as appropriate. Refer window schedule for wind design criteria.
  - Provide insulation / banking to all external walls and main floor area for roof, tape and seal all edges, joints including around all window and door openings.
  - Provide advanced smoke detectors in accordance with BCA 2008 Part 3.7.2 - Smoke Alarms
  - Where distance from toilet pan to the nearest part of the doorway is less than 1200mm, inward swinging door to be fitted with USCF hinges (alternatively sliding or outward opening door). Refer BCA 2008 Cl. 3.6.3.3 Construction of Sanitary Compartments.

**SITING PLAN - LOT 5264**

SCALE 1:200

- Builder is to ensure that all setback requirements are adhered to during the course of construction and is to consult with the Building Certifier if any changes arise.
- Builder to check all measurements on site.
- All dimensions are in millimetres unless noted otherwise.
- All new building works to comply with the Building Code of Australia - BCA 2007 Volume Two (BCA 2007).
- Windows and doors to comply with AS 2047 and/or AS 1288 as appropriate. Refer window schedule for wind design criteria.

**JB INDUSTRIES (NT) Pty Ltd**  
 BUILDING DESIGN AND DRAFTING  
 RESIDENTIAL, COMMERCIAL, INDUSTRIAL  
 Phone: 8988 3071  
 Fax: 8988 3072  
 PO BOX 1037 PALMERSTON NT 0831  
 EMAIL [jbindustries@bigpond.com](mailto:jbindustries@bigpond.com)

This drawing remains the property of JB Industries (NT) Pty Ltd and cannot be copied in part or in whole without prior permission by JB Industries (NT) Pty Ltd

Client  
 Angus McCoy  
 Drawing Title  
 SITE PLAN

Address  
 Lot 5264 (28) Adcock crs, Nakara

Drawing No  
 JBD-591-000

Rev.	Description	Date	Int.

**DOOR & WINDOW SCHEDULE**

MARK	SIZE (w x h)	TYPE	Glass
W1	1610 x 1810	3 bay louvre window - Sawcut opening bigger	GREY
W2	1610 x 1810	3 bay louvre window - Sawcut opening bigger	GREY
W3	2410 x 610	4 bay louvre window - Sawcut new opening	GREY
W4	1610 x 1810	3 bay louvre window - Replace existing window	GREY - OBSCURE
W5	1410 x 610	2 bay louvre window - Block up opening below	GREY
W6	1410 x 610	2 bay louvre window - Block up opening below	GREY
W7	1610 x 1810	3 bay louvre window - Sawcut opening bigger	GREY
W8	1610 x 1810	3 bay louvre window - Sawcut opening bigger	GREY
W9	1610 x 1810	3 bay louvre window - Sawcut opening bigger	GREY
W10	1800 x 900	Sliding Glass Window - 450 fixed glass panel over	GREY
W11	2100 x 2100	Fixed glass panel 1 way glass	GREY
W12	1200 x 1000	Fixed glass panel 1 way glass	GREY
W13	1210 x 1000	Fixed glass panel 1 way glass	GREY
W14	600 x 1800	1 bay louvre window - Sawcut new opening	GREY
W15	600 x 1800	1 bay louvre window - Sawcut new opening	GREY
D1	1860 x 2125	Sliding glass door - 450 fixed glass panel over	GREY
D2	3700 x 2125	3 Panel Bi-fold doors - 450 fixed glass panel over	GREY
D3	820 x 2050	Single external swinging door	
D4	820 x 2050	Single external swinging door - 400 side window	
D5	820 x 2050	Single internal swinging door	
D6	1500 x 2050	Double internal swinging door	
D7	820 x 2050	Cavity Sliding Door	
D8	720 x 2050	Single external swinging door	

**DESIGN CRITERIA**

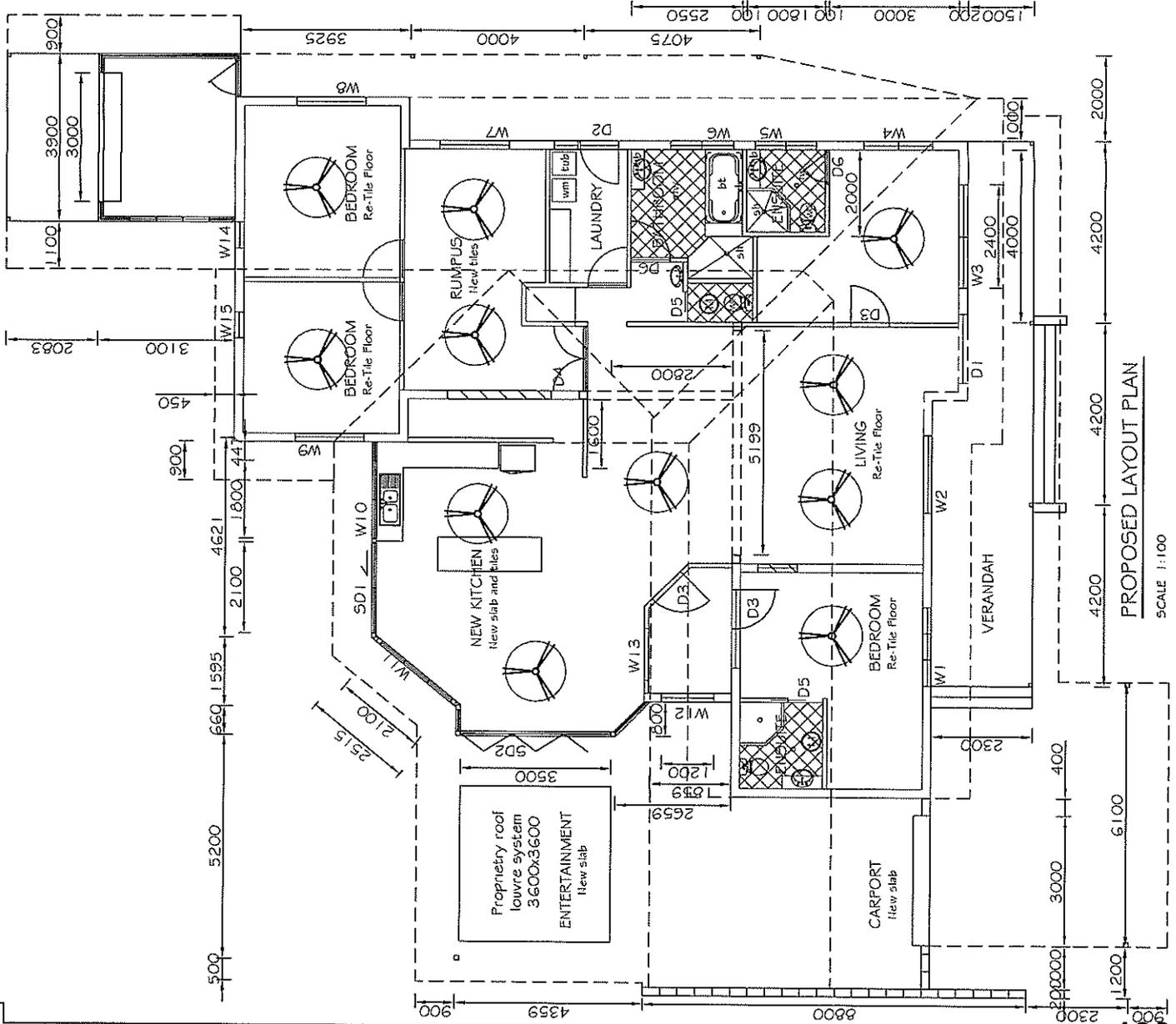
- Design wind pressures for glazing:
- Ultimate design Wind pressure: Window location in building
  - 4.0 kPa : 0 - 1.4m\*\*
  - 3.3 kPa : 1.4 - 2.8m\*\*
  - 3.0 kPa : > 2.8m\*\*
- (\*\* distance from external corner to centre of glass)
- Water Penetration resistance least pressure - 200Pa
- All glazing and framing to comply with AS 1288 and AS 2047. and be certified by manufacturer.

**CONSTRUCTION NOTES**

- All dimensions are in millimeters unless noted otherwise.
- denotes chadded steel wall framing.
- denotes new blockwork walls.
- Refer to structural drawings for all structural details.
- Denotes hand wred smoke detectors BCA 2008 Part 3.7.2



Denotes mechanical ventilation



**PROPOSED LAYOUT PLAN**  
SCALE 1:100

**JB INDUSTRIES (NT) Pty Ltd**  
 BUILDING DESIGN AND DRAFTING  
 RESIDENTIAL, COMMERCIAL, INDUSTRIAL  
 Phone: 8988 3071  
 Fax: 8988 3072  
 PO BOX 1037 PALMERSTON NT 0831  
 EMAIL: [jbinvestries@bigpond.com](mailto:jbinvestries@bigpond.com)

This drawing remains the property of JB Industries (NT) Pty Ltd and cannot be copied in part or in whole without prior permission by JB Industries (NT) Pty Ltd

Client: **Angus McCoy**  
 Drawing Title: **PROPOSED LAYOUT PLAN**

Address: **Lot 5264 (28) Adcock crs, Nhava**

Drawing No: **JBD-591-002**

Rev	Description	Date
139		

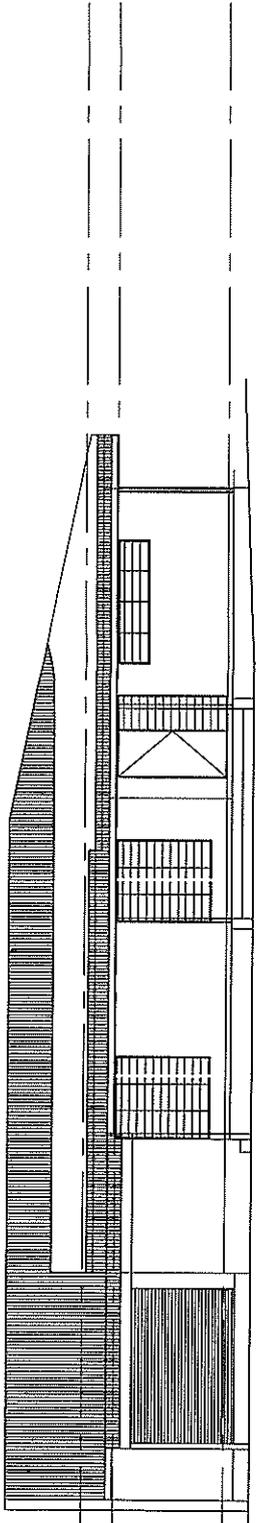
**JB INDUSTRIES (NT) Pty Ltd**  
 BUILDING DESIGN AND DRAFTING  
 RESIDENTIAL, COMMERCIAL, INDUSTRIAL  
 Phone: 8888 3071  
 Fax: 8888 3072  
 PO BOX 1037 PALMERSTON NT 0831  
 EMAIL: [jbindustries@bigpond.com](mailto:jbindustries@bigpond.com)

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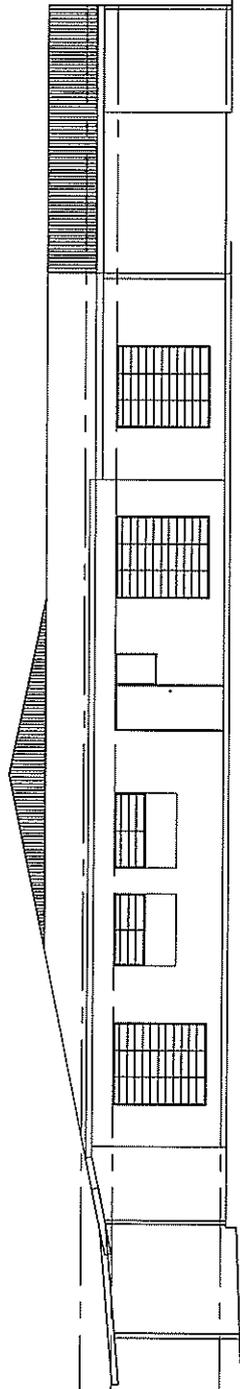
Client: Angus McCoy  
 Drawing Title: ELEVATIONS

Address: Lot 5264 (28) Adcock crs, Makara  
 Drawing No: JBD-591-003

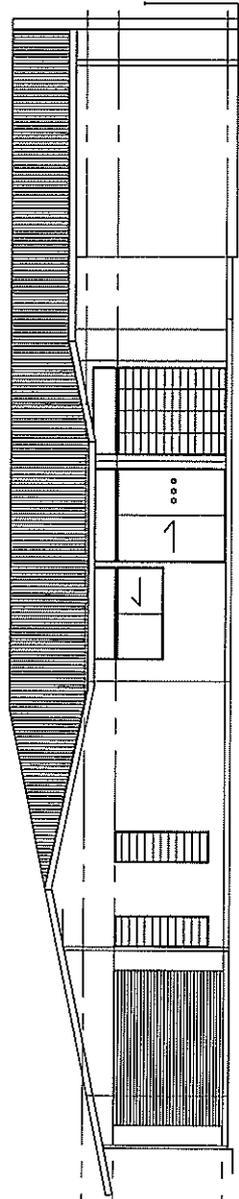
Rev	Description	Date	By



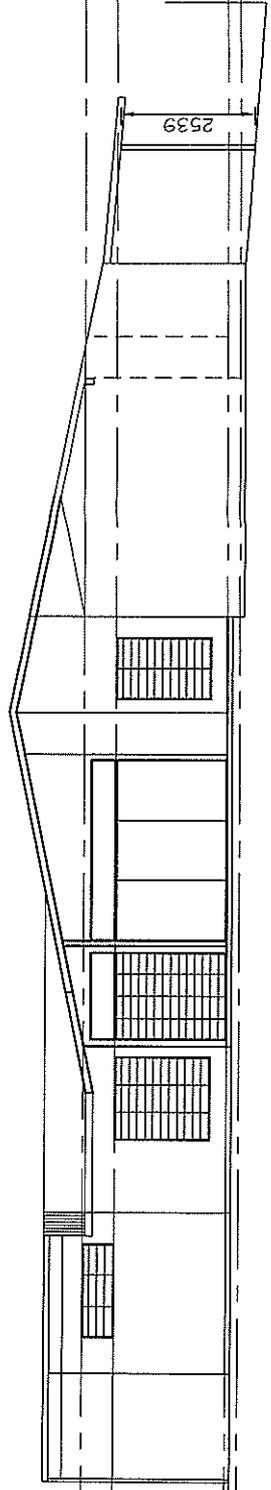
ELEVATION 1



ELEVATION 2



ELEVATION 3



ELEVATION 4

Please quote: 2020205 CR:fh  
Your reference: PA2011/0367

20 June 2011

Doug Lesh  
Manager Urban Planning  
Department of Lands and Planning  
GPO Box 1680  
DARWIN NT 0801

Dear Doug

**Parcel Description:** Lot 6027 (32) Clarence Street Town of Sanderson  
**Proposed Development:** Shed to an existing dwelling with reduced side and rear setbacks.

Thank you for the Development Application referred to this office 3 June 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**
  - a). Council notes a number of variations to the Northern Territory Planning Scheme provisions in relation to Table A of Clause 7.3 – Minimum Building Setbacks for Residential Buildings. While Council does not necessarily support these variations, in light of the existing built form within the area, it does not object.
- ii). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **Council requests the Authority requires a schematic plan demonstrating all stormwater to be collected on the site and discharged underground to Council's stormwater drainage system.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged underground to Council's drainage network.

.../2

- 1). The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system.
- 2). Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into Council's stormwater drainage system. It is also necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the Director Technical Services, Darwin City Council.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



**DROSSO LELEKIS**  
**MANAGER DESIGN & PLANNING**

cc: Mr Patrick Mullen

# Development Consent Authority

Northern Territory

GPO BOX 1680  
 DARWIN NT 0801

Telephone No: (08) 8999 6807  
 Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0367

Sir or Madam  
 Darwin City Council  
 GPO Box 84  
 DARWIN NT 0801

*c/n - 2020205*

Dear Sir or Madam,

## Proposed Development Application

The attached application has been received for assessment by the Development Consent Authority:

<b>Parcel Description</b>	Lot 06027 Town of Sanderson
<b>Road/Street</b>	32 CLARENCE ST
<b>Town Plan Zone</b>	SD (Single Dwelling)
<b>Tenure Type</b>	ESTATE IN FEE SIMPLE
<b>Land Owners</b>	Khan, Mohammad Nasirullah Khan, Razia Begum
<b>Applicant</b>	Mr Patrick Mullen
<b>Contact</b>	patrick.mullen@bigpond.com
<b>Purpose</b>	Shed to an existing dwelling with reduced side and rear setbacks

The proposal can be viewed online for a two week period from **Monday, 6th June 2011** until **Monday, 20th June 2011** at: <https://www.ntlis.nt.gov.au/planning/lta.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Monday, 20th June 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:  
[https://www.ilis.nt.gov.au/ilis/12?pageId=planning.application&ilis\\_entity\\_id=63902665](https://www.ilis.nt.gov.au/ilis/12?pageId=planning.application&ilis_entity_id=63902665)

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

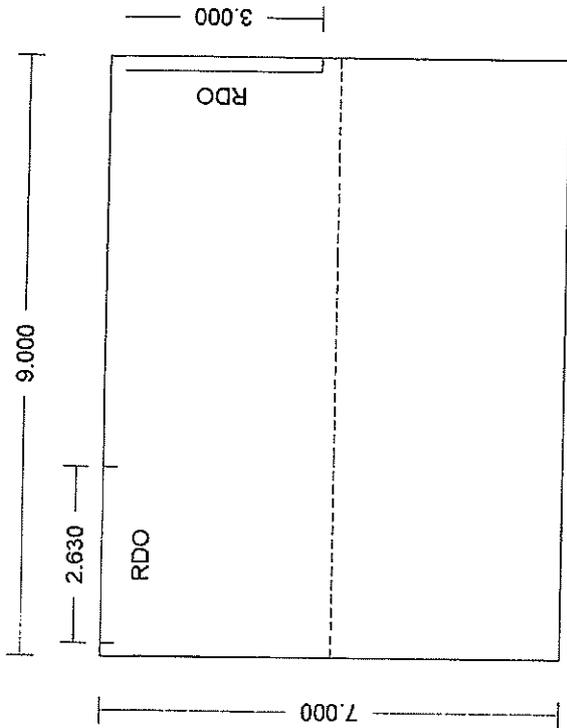
Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

Should you require further information on this proposal please contact me on **8999 6807**.

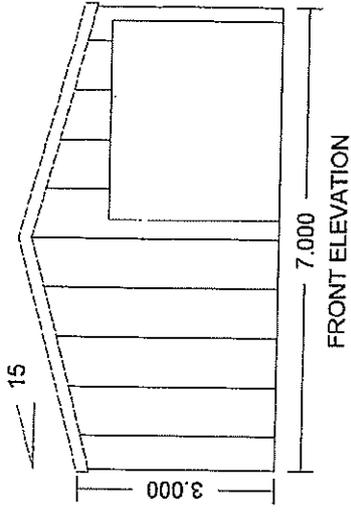
Yours faithfully

**Anguree Jansen van Rensburg**  
 Development Assessment Services

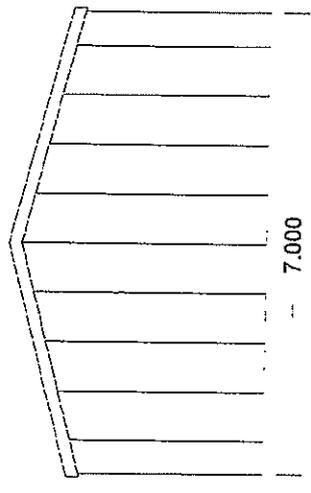
3 June 2011  
Attach.



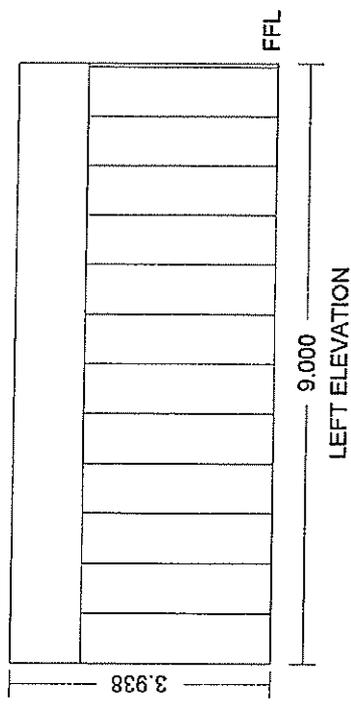
PLAN



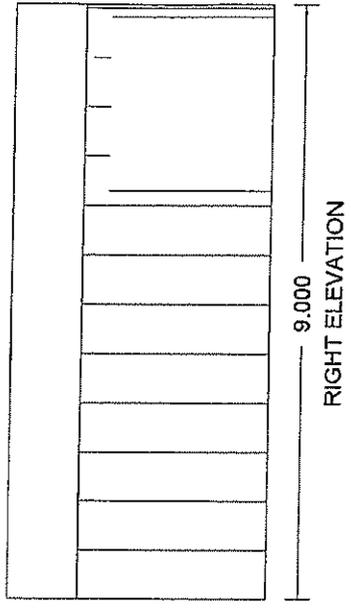
FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

**For Customer**

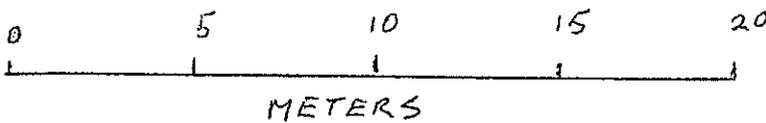
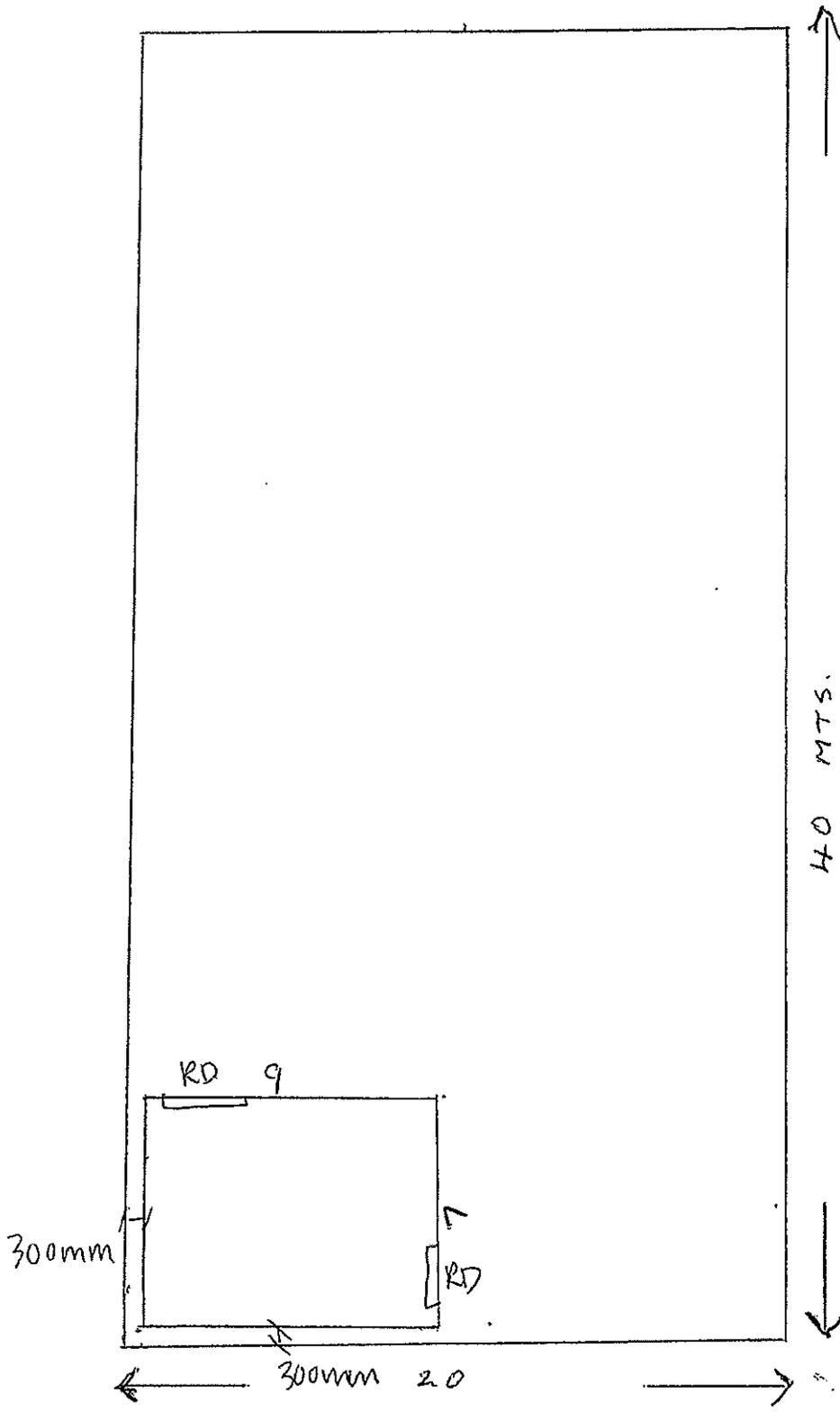
**Plans Drawn By**  
**The Shed Factory**  
 PO Box 41743  
 Casuarina NT 0811  
 Ph: 89 474 474 Fax: 89 474 575  
 Email: sales@theshedfactory.com.au

**Proposed Project:**  
**Client:** Patrick Mullen  
**Site:** 32 Clarence St Leanyer LEANYER  
 All Work To Be In Accordance With Accompanying Engineers Details

Architectural Drawings

Quote: Mullen00001356  
 Drawing:

STREET



Please quote: 2015670 CR:fh  
Your reference: PA2011/0347

10 June 2011

Doug Lesh  
Manager Urban Planning  
Department of Lands and Planning  
GPO Box 1680  
DARWIN NT 0801

Dear Doug

**Parcel Description:** Section 6042, (12) Mel Road Hundred of Bagot.  
**Proposed Development:** Offices and warehouse in a 2 storey building.

Thank you for the Development Application referred to this office 27 May 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**

a). **Setbacks**

Council notes a variation along the northern boundary (Sheet # TPA-01) to the Northern Territory Planning Scheme provisions in relation to the Table to Clause 9.1.1 – Industrial Setbacks. While Council does not necessarily support these variations, in light of the existing built form within the area, it does not object.

b). **Waste Management**

A Waste Management Plan is required by Council to assess waste disposal, storage and removal for the proposed development in accordance with Council's Waste Management Policy.

Council's Waste Management Policy requires that the waste collection vehicle enter and leave the site in a forward gear. It is requested that the Authority requires amended plans demonstrating how the waste collection vehicle will enter and exit the site.

.../2

A copy of Council's Waste Management Policy 054 may be viewed on Council's website or by contacting Council's Infrastructure department.

- ii). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **Council requests the Authority requires a schematic plan demonstrating all stormwater to be collected on the site and discharged underground to Council's stormwater drainage system.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged underground to Council's drainage network.
- 1). The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system.
  - 2). Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into Council's stormwater drainage system. It is also necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.
- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the Director Technical Services, Darwin City Council and at no cost to Council.
- Sight lines shall be provided at crossovers to public streets to the satisfaction of the Director Technical Services, Darwin City Council. No fence or tree exceeding 0.6 metres in height shall be planted in front of the sight line.
- Any gate over an access to a public road shall be placed on the subject site at least 4.5m from the face of the kerb line of the adjoining public road.

.../3

- Car parking spaces and internal driveways shall meet the requirements of the relevant Australian Standard and be linemarked and sealed with an impervious material.
- The total number of required disabled car parking bays shall be met on site.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the Director Technical Services, Darwin City Council.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

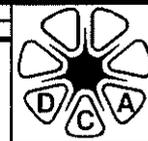
If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



**DROSSO LELEKIS**  
**MANAGER DESIGN, PLANNING AND PROJECTS**

cc: Mr Ray Somerville



# Development Consent Authority

Northern Territory

GPO BOX 1680  
DARWIN NT 0801

Telephone No: (08) 8999 6807  
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0347

Sir or Madam  
Darwin City Council  
GPO Box 84  
DARWIN NT 0801

Dear Sir or Madam,

## Proposed Development Application

The attached application has been received for assessment by the Development Consent Authority:

<b>Parcel Description</b>	Section 06042 Hundred of Bagot
<b>Road/Street</b>	12 MEL RD
<b>Town Plan Zone</b>	GI (General Industry)
<b>Tenure Type</b>	ESTATE IN FEE SIMPLE
<b>Land Owners</b>	Security&Technology Services Group Pty Ltd (ACN 123 248 966) as trustee for the STS Unit Trust (ABN 13 971 572 387)
<b>Applicant</b>	Mr Ray Somerville
<b>Contact Number</b>	ahrensnt@ahrens.com.au
<b>Purpose</b>	Offices and warehouse in a 2 storey building

The proposal can be viewed online for a two week period from **Friday, 27th May 2011** until **Friday, 10th June 2011** at: [https://www.ntlis.nt.gov.au/planning/ta\\_dar.list](https://www.ntlis.nt.gov.au/planning/ta_dar.list)

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Friday, 10th June 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:  
[https://www.ilis.nt.gov.au/ilis/l2?pageId=planning.application&ilis\\_entity\\_id=63699335](https://www.ilis.nt.gov.au/ilis/l2?pageId=planning.application&ilis_entity_id=63699335)

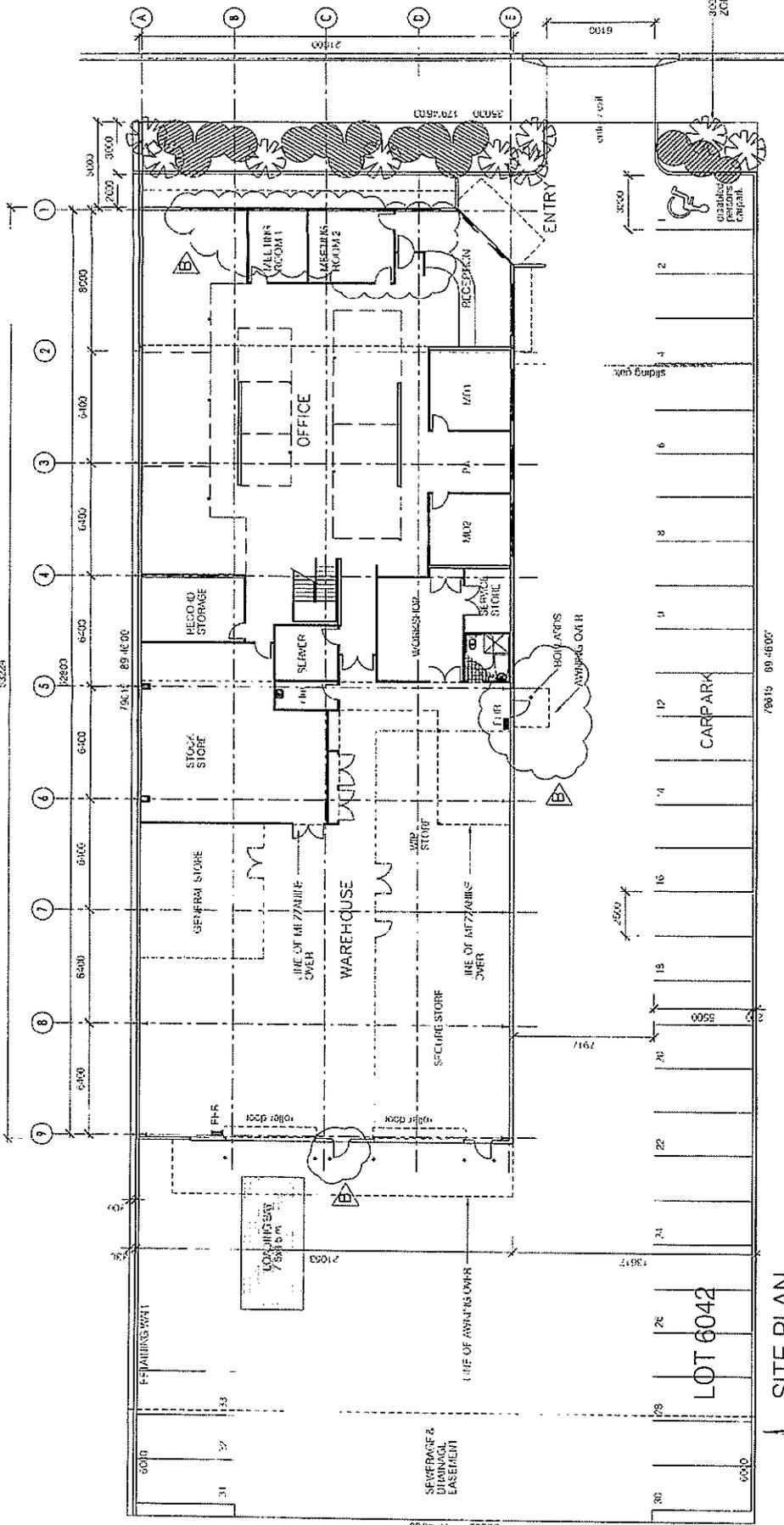
Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

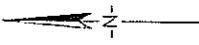
Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

If you wish to secure a third party right of appeal, when it exists, you must specify that the submission is being made under section 49 and ensure that the submission is lodged with the consent authority by 4PM CST **Friday, 10th June 2011** which is the closing date for public exhibition.

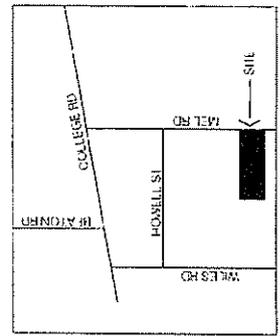
MFL ROAD



**SITE PLAN**  
SCALE: 1:250



GROUND/FLOOR AREAS	CARPARKS
OFFICE	415.4m x 11.00m 17.8
STOCK STORE	94.4m x 1.10m 0.9
RECORD STORE	21.1m x 1.10m 0.2
WAREHOUSE	29.2m x 15.00m 0.7
GENERAL STORE	67.6m x 11.00m 0.5
SERVER	5.4m x 11.00m 0.1
WORKSHOP	29.2m x 11.00m 0.2
RECEPTION	9.7m x 11.00m 0.1m
RECEPTION	6.7m x 11.00m 0.1m
STOCK ROOM	20m x 11.00m 0.1m
OFFICE	17m x 11.00m 0.9
TRAINING ROOM	14.1m x 11.00m 1.7
CHANGE ROOMS	30.7m x 11.00m 0.7m
CHANGE ROOMS & LOCKER	12m x 11.00m 0.1m
FEMALE WC & LOCKER	10.4m x 11.00m 0.1m
PLANT ROOM	21.3m x 11.00m 0.1m
WALKWAY	94.3m x 11.00m 0.1m
STAIRS & HALLWAY	35.6m x 11.00m 0.1m
TOTAL	322
TOTAL CARPARKS REQUIRED	33



**LOCATION PLAN**  
SCALE: 1:250

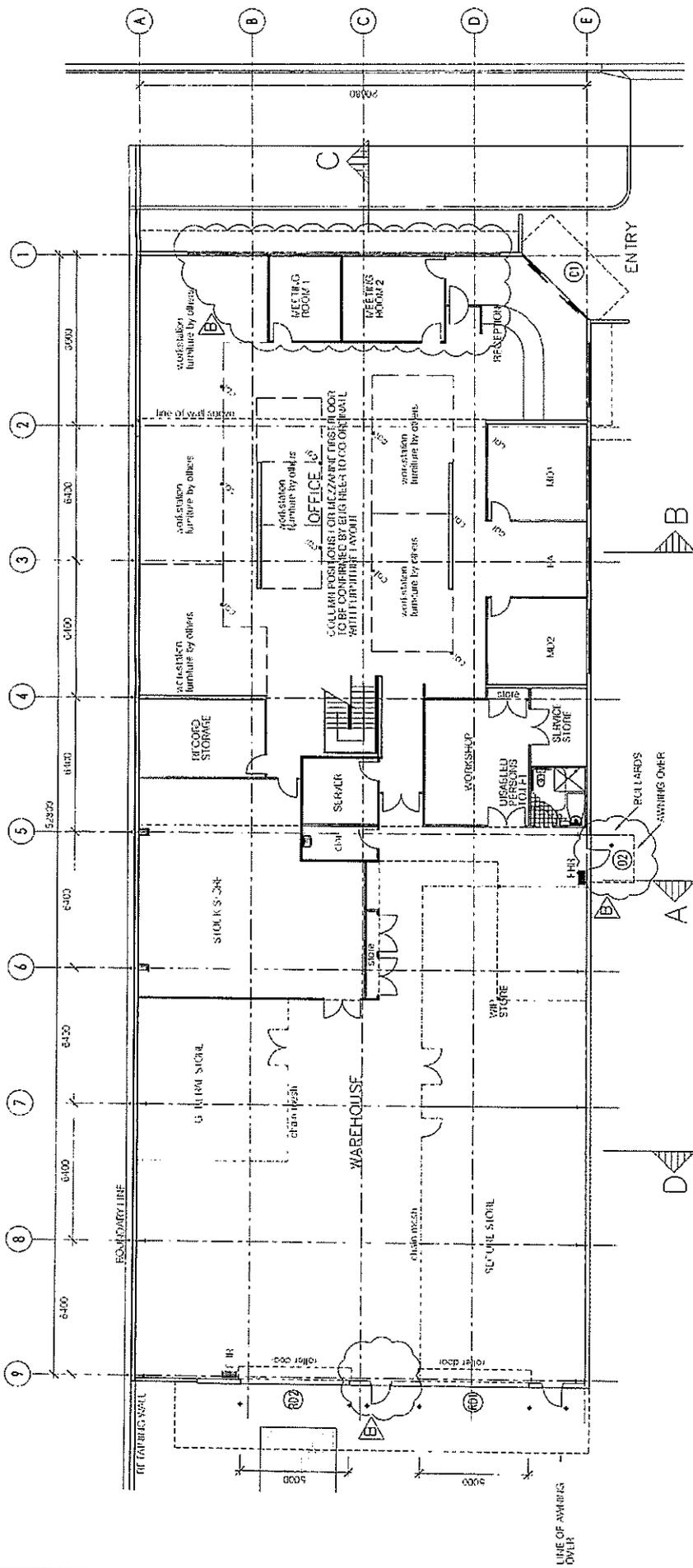


**Ahrens Allbuilt**  
7 Hidden Valley Rd Berimrah  
PO Box 119 Berimrah NT 0828  
Telephone: (08) 8954 6300.  
Facsimile: (08) 8947 0053.  
Email: allbuilt@ahrens.com.au  
www.ahrens.com.au

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REV	DATE	DESCRIPTION
B	13-5-2011	AMENDED
A	4-5-2011	AMENDED

TITLE	SITE PLAN
CLIENT	SECURITY & TECHNOLOGY SERVICES
PROJECT	PROPOSED WAREHOUSE
ADDRESS	LOT 6042 MEL ROAD BERRIMAH
JOB NO.	11016
SCALES	AS SHOWN
DATE	APRIL 2011
DRAWN	SB
CHECKED	-
SHEET NO.	TPA-01
REV	B



GROUND FLOOR PLAN  
S.D.M. E 1 200

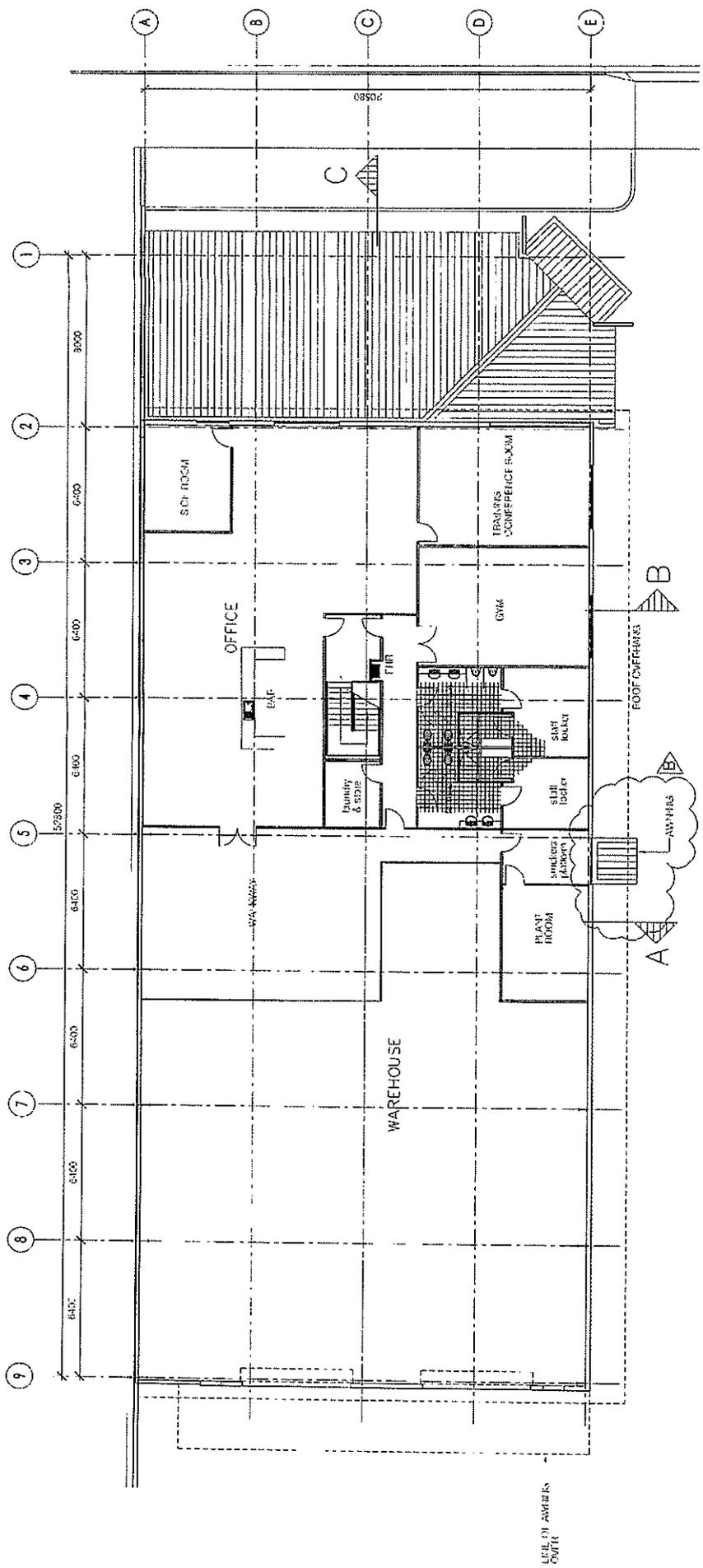
**Ahrens Allbuilt**  
 7 Hidden Valley Rd Berrimah  
 PO Box 119 Berrimah NT 0828  
 Telephone: (08) 8784 6300.  
 Facsimile: (08) 8747 0053.  
 Email: allbuilt@ahrens.com.au  
 www.ahrens.com.au



REV.	DATE	DESCRIPTION
B	13-5-2011	AMENDED
A	4-5-2011	AMENDED

JOB NO.	11016
SCALES	AS SHOWN
DATE	APRIL 2011
DRAWN BY	SB
CHECKED BY	
SHEET NO.	IPA-02
REV.	B

REQUIRED CONTRACTORS SHALL MAKE REFERENCE CHECK SECTED DRAWINGS CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE COMMENCEMENT



FIRST FLOOR PLAN  
3-AUG-11 200



**Ahrens Allbuilt**  
 7 Hidden Valley Rd Berrimah  
 PO Box 119 Berrimah NT 0828  
 Telephone: (08) 8784 6300  
 Facsimile: (08) 8747 0053  
 Email: allbuilt@ahrens.com.au  
 www.ahrens.com.au  
 ABN: 14 202 225

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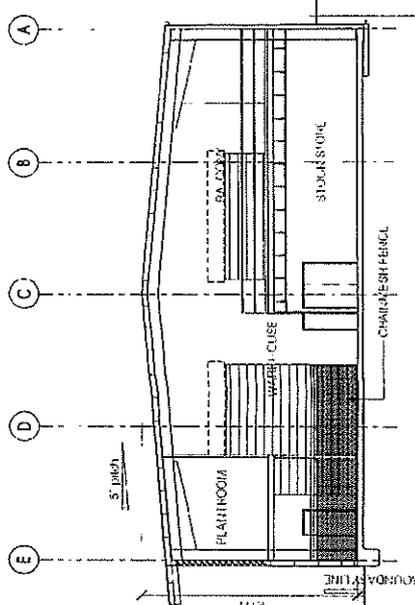
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B	13-5-2011 AMENDED		
A	4-5-2011 AMENDED		

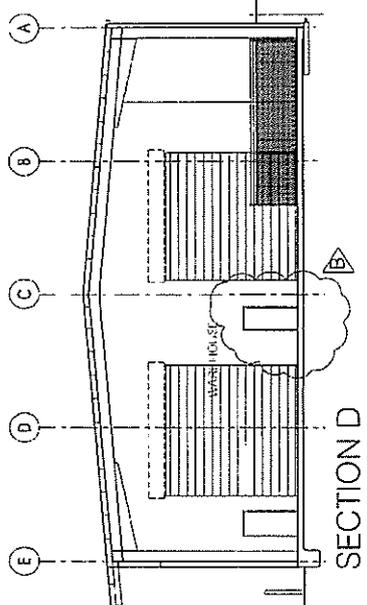
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CLIENT	SECURITY & TECHNOLOGY SERVICES
PROJECT	PROPOSED WAREHOUSE
ADDRESS	LOT 6042 MEL ROAD BERRIMAH

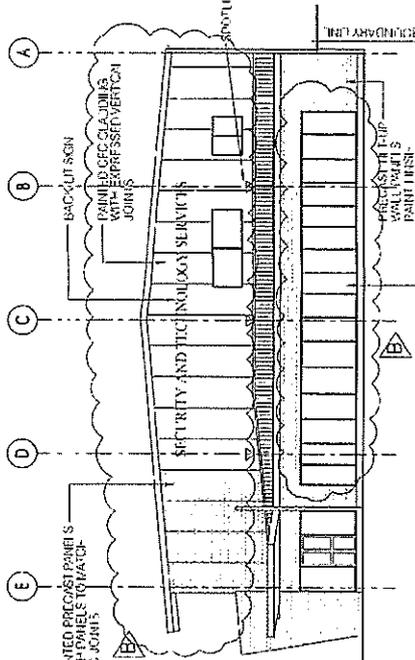
JOB NO.	11016
SCALE	AS SHOWN
DATE	APRIL 2011
DRAWN	SB
CHECKED	
SHEET NO.	TPA-03
REV	B



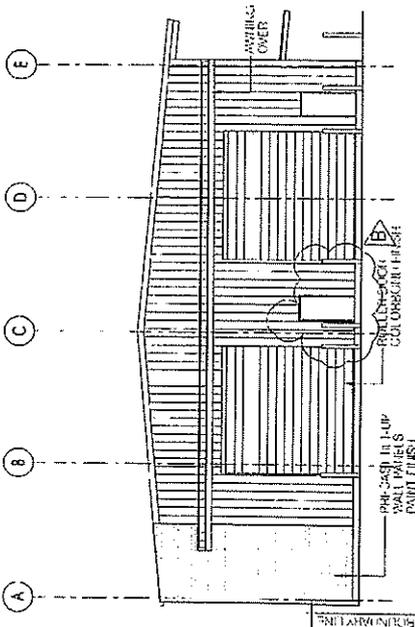
SECTION A  
SCALE 1:200



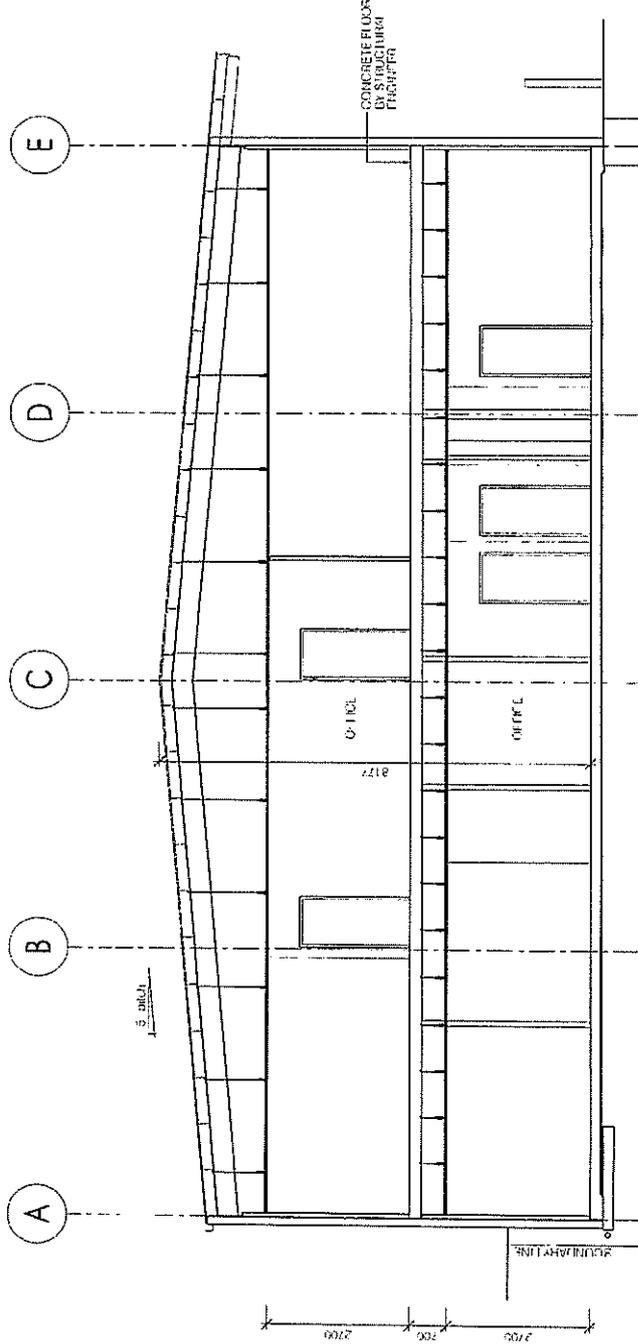
SECTION D  
SCALE 1:200



ELEVATION 4  
SCALE 1:200



ELEVATION 3  
SCALE 1:200



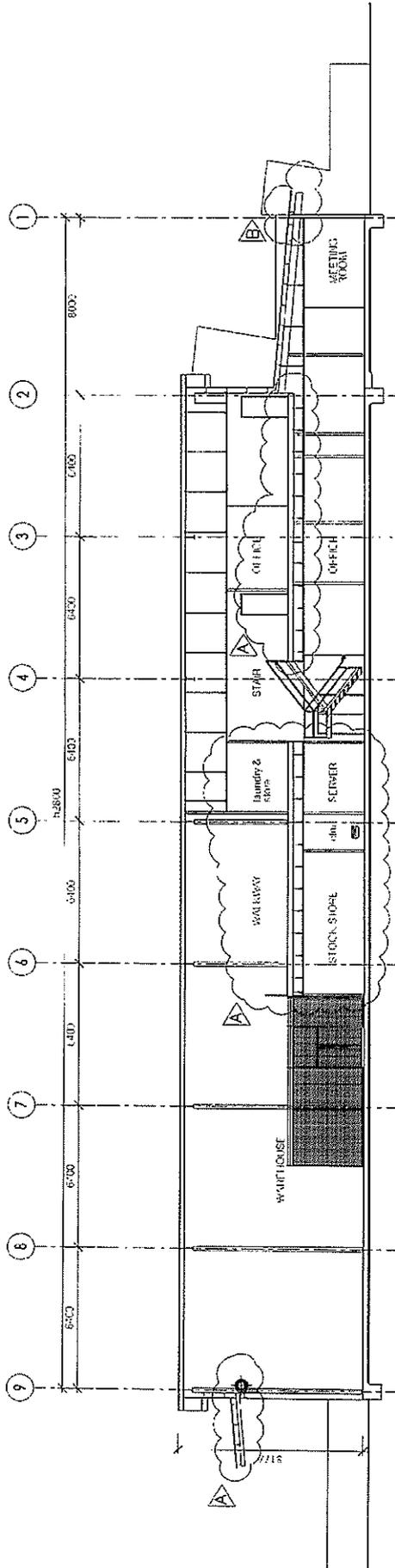
SECTION B  
SCALE 1:100

3	13-5-2011	AMENDED		
A	4-5-2011	AMENDED		
REV.	DATE	DESCRIPTION	TITLE	
			SECTION B	JOB No 11016
			CLIENT SECURITY & TECHNOLOGY SERVICES	SCALES AS SHOWN
			PROJECT PROPOSED WAREHOUSE	DATE APRIL 2011
			ADDRESS LOT 6042 MEL ROAD BERRIMAH	DRAWN SR
				CHECKED
				SHEET No TPA-05
				B



**Ahrens**  
 Ahrens Allbuilt  
 7 Hidden Valley Rd Berrimah  
 PO Box 119 Berrimah NT 0828  
 Telephone: (08) 8984 8300  
 Facsimile: (08) 8747 0053  
 Email: allbuilt@ahrens.com.au  
 www.ahrens.com.au  
 Ahrens Group Pty Ltd trading as Ahrens Allbuilt  
 ABN 15 112 767 731

UNLESS OTHERWISE SPECIFIED, THE PREFERENCE OVER SCALED DIMENSIONS OF CONSTRUCTION SHALL BE WITH ALL DIMENSIONS BEFORE CONSTRUCTION



SECTION C

SCALE: 1:200

B 20-5-2011 OVERHANG TO OFFICE SHOWN  
 A 4-5-2011 AMENDED

REV. DATE DESCRIPTION

TITLE	SECTION C	JOB NO.	11016
CLIENT	SECURITY & TECHNOLOGY SERVICES	SCALES	AS SHOWN
PROJECT	PROPOSED WAREHOUSE	DATE	APRIL 2011
ADDRESS	LOT 6042 MEL ROAD BERRIMAH	DRAWN BY	SB
		CHECKED	
		SHEET NO.	IPA-06
		REV.	B



**Ahrens**  
 7 Hidden Valley Rd Berrimah  
 PO Box 119 Berrimah NT 0828  
 Telephone: (08) 8784 6300  
 Facsimile: (08) 8747 0053  
 Email: [all@ahrens.com.au](mailto:all@ahrens.com.au)  
[www.ahrens.com.au](http://www.ahrens.com.au)  
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 REG. NO. 114,297,725

REGISTERED ENGINEERS SHALL TAKE RESPONSIBILITY FOR THE ACCURACY OF ALL DIMENSIONS AND MATERIALS SPECIFICATIONS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE COMMENCING CONSTRUCTION.

Please quote: 2005547 CR:fh  
Your reference: PA2011/0299

27 May 2011

Doug Lesh  
Manager Urban Planning  
Department of Lands and Planning  
GPO Box 1680  
DARWIN NT 0801

Dear Doug

**Parcel Description:** Lot 6610 (8) Swan Crescent Town of Darwin  
**Proposed Development:** Part change of use from warehouse to office and  
the addition of a mezzanine floor (Unit 3)

Thank you for the Development Application referred to this office 11 May 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

No issues are raised for this Development Application in relation to matters that fall within the responsibility of Darwin City Council.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



**DROSSO LELEKIS**  
**MANAGER DESIGN & PLANNING**

cc: Mr Yiannis Prouzos



# ***Development Consent Authority***

Northern Territory

GPO BOX 1680  
DARWIN NT 0801

Telephone No: (08) 8999 6807  
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0299

Sir or Madam  
Darwin City Council  
GPO Box 84  
DARWIN NT 0801

Dear Sir or Madam,

## **Proposed Development Application**

The following application has been received for assessment by the Development Consent Authority:

<b>Parcel Description</b>	Lot 06610 Town of Darwin
<b>Road/Street</b>	8 SWAN CRES
<b>Town Plan Zone</b>	GI (General Industry)
<b>Tenure Type</b>	ESTATE IN FEE SIMPLE
<b>Land Owners</b>	The Proprietors - Unit Plan No. U2009/054

<b>Applicant</b>	Mr Yiannis Prouzos
<b>Contact Number</b>	0402837994
<b>Purpose</b>	Part change of use from warehouse to office and the addition of a mezzanine floor (Unit 3)

The proposal can be viewed online at: for a two week period from **Friday, 13th May 2011** until **Friday, 27th May 2011** at: <https://www.ntlis.nt.gov.au/planning/ita.dar.list>

Could you please examine the proposal and provide comment to Planning on any aspects pertaining to your area of concern by **Friday, 27th May 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:  
[https://www.ilis.nt.gov.au/ilis/l2?pageId=planning.application&ilis\\_entity\\_id=63563613](https://www.ilis.nt.gov.au/ilis/l2?pageId=planning.application&ilis_entity_id=63563613)

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

If you wish to secure a third party right of appeal, when it exists, you must specify that the submission is being made under section 49 and ensure that the submission is lodged with the consent authority by 4PM CST **Friday, 27th May 2011** which is the closing date for public exhibition.

Should you require further information on this proposal please contact me on **8999 8962**.

Yours faithfully

**Kate Smyth**  
Development Assessment Services

11 May 2011

NOT TO SCALE  
 THIS DRAWING IS A PRELIMINARY DESIGN AND IS SUBJECT TO APPROVAL BY THE LOCAL AUTHORITY.  
 THE CLIENT ACCEPTS RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED.  
 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION.

REVISIONS

REV	DESCRIPTION	DATE
1.	FOR PLANNING APPROVAL	04.05.2011

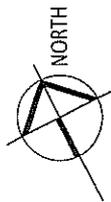
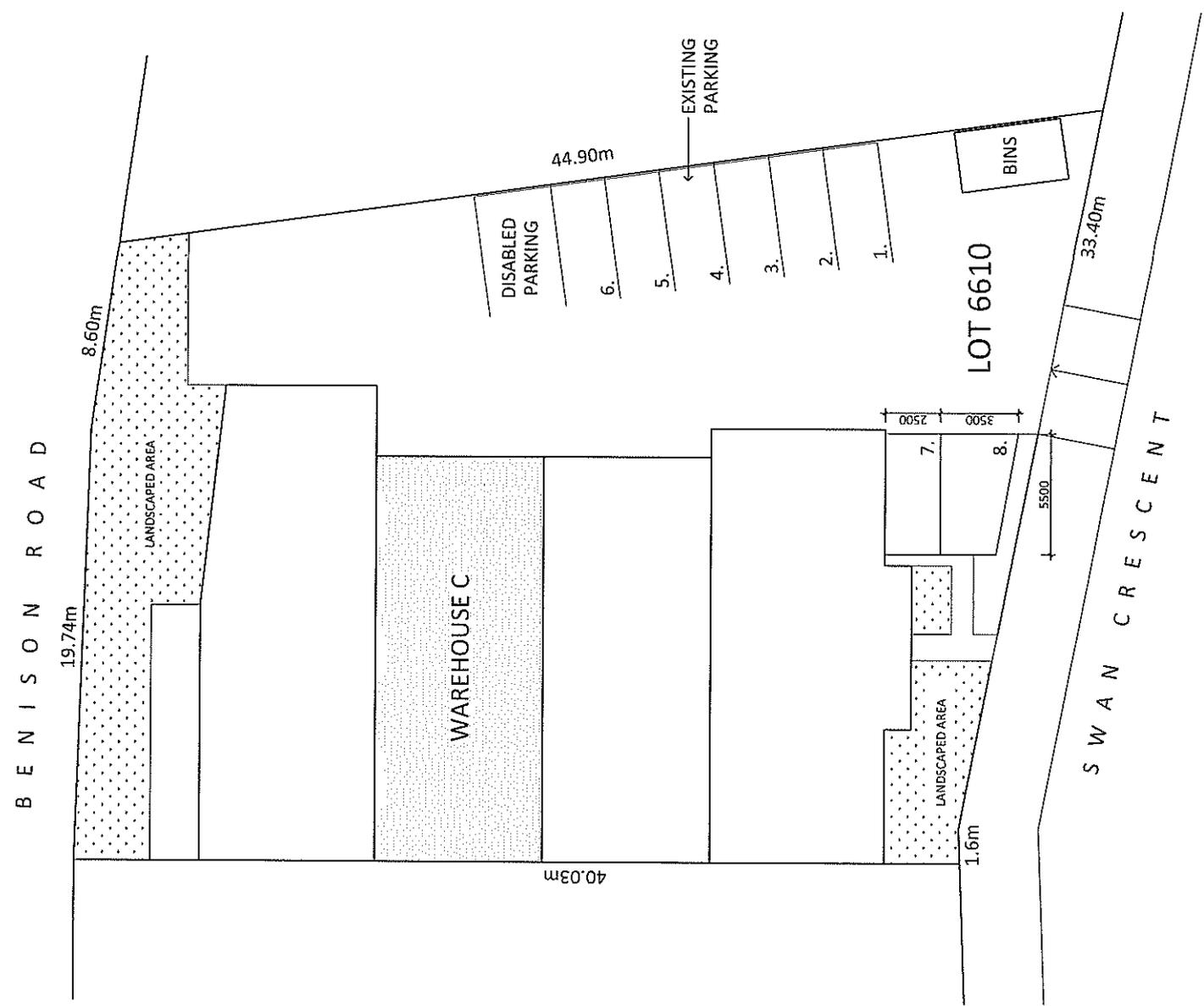
CLIENT  
 MIM INVESTMENTS (NT) Pty Ltd  
 PO Box 37563 Winnelie NT 0821

PROJECT  
 PROPOSED ADDITIONS AND ALTERATIONS TO WAREHOUSE C  
 LOT 6610 SWAN CRESCENT, WINNELLIE

DRAWING TITLE  
 SITE PLAN

SHEET	A01	SCALE	1:200
DRAWN BY	PT	DATE	04.05.2011

PROJECT NO  
 mca.00066  
 ISSUE  
 PLANNING APPROVAL  
 REV. 1



SITE PLAN  
 SCALE 1:200

THIS DRAWING IS THE PROPERTY OF MIM INVESTMENTS (NT) PTY LTD. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF MIM INVESTMENTS (NT) PTY LTD IS STRICTLY PROHIBITED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. THIS DRAWING IS TO BE USED IN CONJUNCTION WITH THE ARCHITECTURAL CONTRACT DOCUMENTS.

REVISIONS

REV	DESCRIPTION	DATE
1	FOR PLANNING APPROVAL	04.05.2011

CLIENT:

MIM INVESTMENTS (NT) Pty Ltd  
PO Box 37563 Winnellie NT 0821

PROJECT:

PROPOSED ADDITIONS AND  
ALTERATIONS TO WAREHOUSE C  
LOT 6610 SWAN CRESCENT,  
WINNELLIE

DRAWING TITLE

GROUND & FIRST FLOOR  
PLAN, SECTION A

SHEET:

A02

SCALE:

1:100

DRAWN BY:

PT

DATE:

04.05.2011

PROJECT NO:

MCB.00066

DATE:

04.05.2011

DATE:

04.05.2011

DATE:

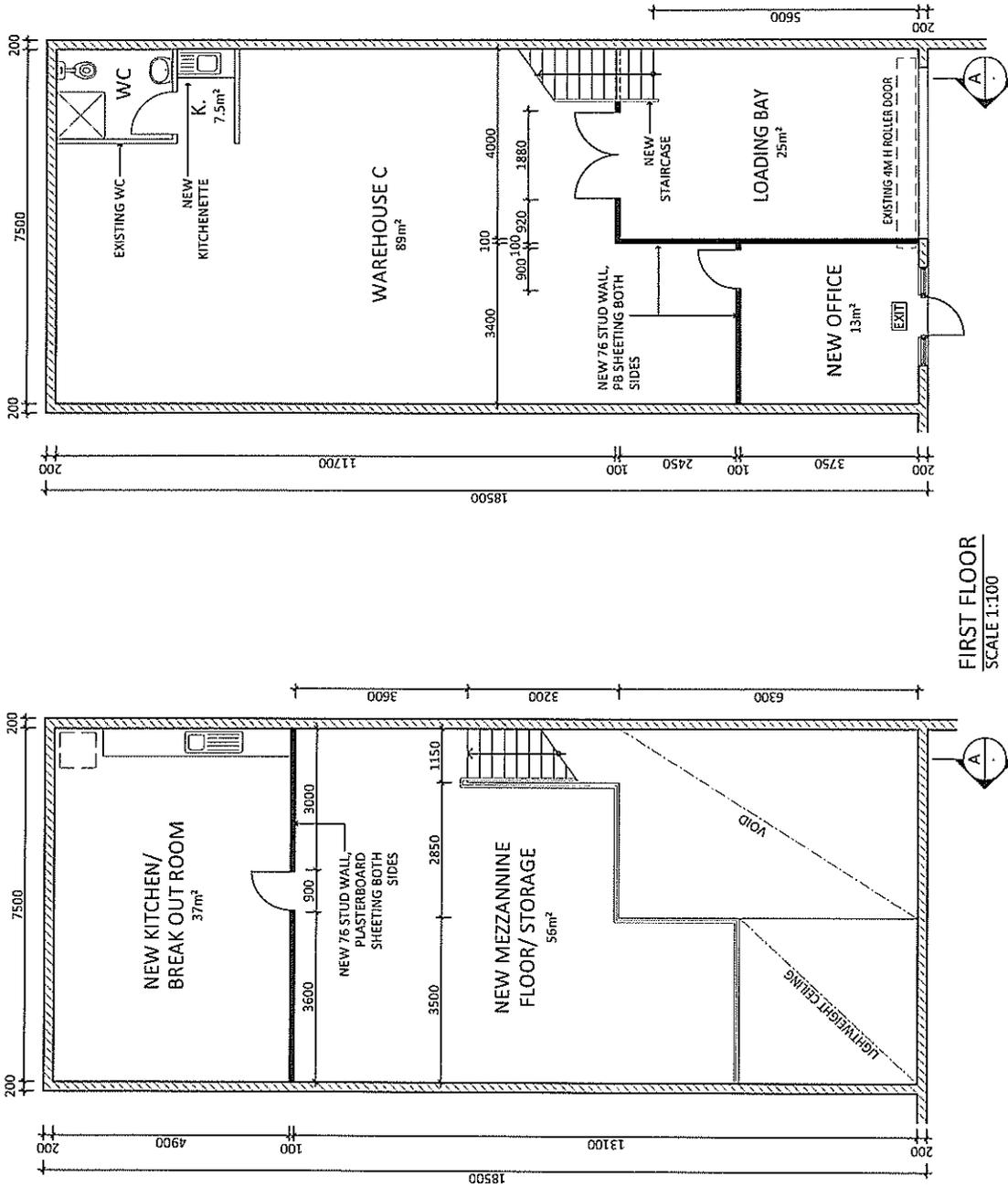
04.05.2011

REV

1

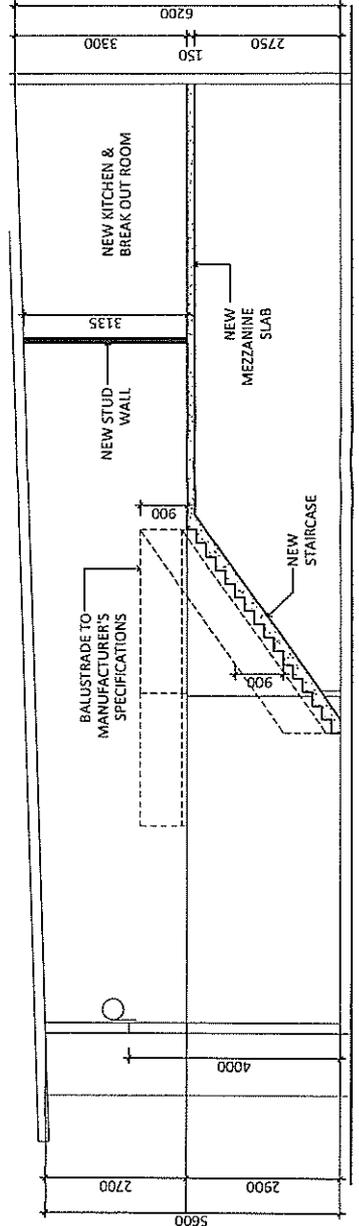
SECTION A

SCALE 1:100



GROUND FLOOR  
SCALE 1:100

FIRST FLOOR  
SCALE 1:100



Please quote: 2015447 CR:fh  
Your reference: PA2011/0326

10 June 2011

Doug Lesh  
Manager Urban Planning  
Department of Lands and Planning  
GPO Box 1680  
DARWIN NT 0801

Dear Doug

**Parcel Description: Lot 9623 (13) Sovereign Court Town of Nightcliff**  
**Proposed Development: Shade sail addition to an existing multiple dwellings with a reduced side setback (Unit 2)**

Thank you for the Development Application referred to this office 27 May 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

- i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**
  - a). Council notes a number of variations to the Northern Territory Planning Scheme provisions in relation to Table A of Clause 7.3 – Minimum Building Setbacks for Residential Buildings. While Council does not necessarily support these variations, in light of the existing built form within the area, it does not object.
- ii). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **Council requests the Authority requires a schematic plan demonstrating all stormwater to be collected on the site and discharged underground to Council's stormwater drainage system.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged underground to Council's drainage network.

.../2

- 1). The plan shall include details of site levels and Council's stormwater drain connection point/s. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system.
- 2). Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into Council's stormwater drainage system. It is also necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the Director Technical Services, Darwin City Council.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



**DROSSO LELEKIS**  
**MANAGER DESIGN & PLANNING**

cc: Ms Sue Kite



# Development Consent Authority

Northern Territory

GPO BOX 1680  
DARWIN NT 0801

Telephone No: (08) 8999 6807  
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0326

Sir or Madam  
Darwin City Council  
GPO Box 84  
DARWIN NT 0801

Dear Sir or Madam,

## Proposed Development Application

The attached application has been received for assessment by the Development Consent Authority:

<b>Parcel Description</b>	Lot 09623 Town of Nightcliff
<b>Road/Street</b>	13 SOVEREIGN CCT
<b>Town Plan Zone</b>	MD (Multiple Dwelling)
<b>Tenure Type</b>	ESTATE IN FEE SIMPLE
<b>Land Owners</b>	The Proprietors Units Plan 98/043
<b>Applicant</b>	Ms Sue Kite
<b>Contact Number</b>	0889472880
<b>Purpose</b>	Shade sail addition to an existing multiple dwelling with a reduced side setback (Unit 2)

The proposal can be viewed online for a two week period from **Friday, 27th May 2011** until **Friday, 10th June 2011** at: [https://www.ntlis.nt.gov.au/planning/lta\\_dar.list](https://www.ntlis.nt.gov.au/planning/lta_dar.list)

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Friday, 10th June 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:  
[https://www.ilis.nt.gov.au/ilis/l2?pageId=planning.application&ilis\\_entity\\_id=63634732](https://www.ilis.nt.gov.au/ilis/l2?pageId=planning.application&ilis_entity_id=63634732)

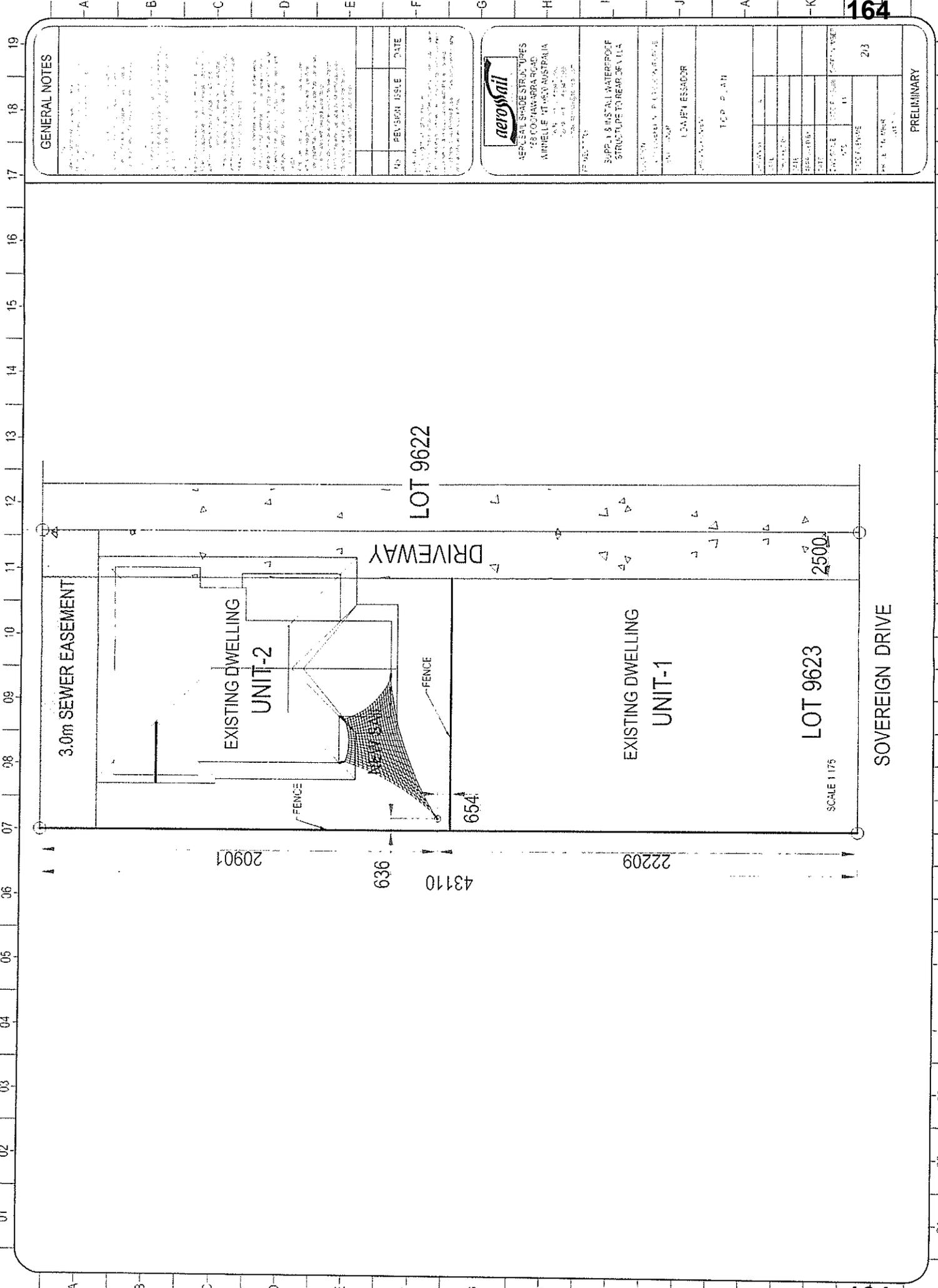
Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

If you wish to secure a third party right of appeal, when it exists, you must specify that the submission is being made under section 49 and ensure that the submission is lodged with the consent authority by 4PM CST **Friday, 10th June 2011** which is the closing date for public exhibition.





GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

2. THE CLIENT HAS ADVISED THAT THE EXISTING DWELLING UNIT-2 IS TO BE DEMOLISHED AND A NEW DWELLING UNIT-2 IS TO BE CONSTRUCTED ON THE SITE.

3. THE EXISTING DWELLING UNIT-1 IS TO BE MAINTAINED AS AN EXISTING DWELLING.

4. THE DRIVEWAY IS TO BE MAINTAINED AS AN EXISTING DRIVEWAY.

5. THE 3.0m SEWER EASEMENT IS TO BE MAINTAINED AS AN EXISTING SEWER EASEMENT.

6. THE CLIENT HAS ADVISED THAT THE EXISTING DWELLING UNIT-2 IS TO BE DEMOLISHED AND A NEW DWELLING UNIT-2 IS TO BE CONSTRUCTED ON THE SITE.

7. THE EXISTING DWELLING UNIT-1 IS TO BE MAINTAINED AS AN EXISTING DWELLING.

8. THE DRIVEWAY IS TO BE MAINTAINED AS AN EXISTING DRIVEWAY.

9. THE 3.0m SEWER EASEMENT IS TO BE MAINTAINED AS AN EXISTING SEWER EASEMENT.

NO.	REVISION	ISSUE	DATE

**perosail**

PEROSAIL SHADING STRUCTURES  
 43 COOMARARRA ROAD  
 ANNULLE 4174 NSW AUSTRALIA  
 PH: 02 4174 4174  
 FAX: 02 4174 4174  
 WWW.PEROSAIL.COM.AU

PROJECT NO. 2022/0001

SUPPLY & INSTALL WATERPROOF STRUCTURE TO REAR OF U/LA

DATE: 15/08/2022

LOCATION: ANNULLE

TOP PLAN

NO.	REVISION	ISSUE	DATE

DATE: 15/08/2022

ISSUE: 2/3

PRELIMINARY

NO	REVISION	ISSUE	DATE

**GENERAL NOTES**

1. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL BUILDING REGULATIONS (NBR) AND THE NATIONAL BUILDING CODE (NBC).

2. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL BUILDING REGULATIONS (NBR) AND THE NATIONAL BUILDING CODE (NBC).

3. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL BUILDING REGULATIONS (NBR) AND THE NATIONAL BUILDING CODE (NBC).

4. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL BUILDING REGULATIONS (NBR) AND THE NATIONAL BUILDING CODE (NBC).

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8. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL BUILDING REGULATIONS (NBR) AND THE NATIONAL BUILDING CODE (NBC).

9. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL BUILDING REGULATIONS (NBR) AND THE NATIONAL BUILDING CODE (NBC).

10. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL BUILDING REGULATIONS (NBR) AND THE NATIONAL BUILDING CODE (NBC).

**aerossail**  
AEROSAIL SHADE STRUCTURES  
158 COONAWARRA ROAD  
WINNELLIE NT 0820 AUSTRALIA  
PH: 08 8247 8866  
FAX: 08 8247 8866  
Email: aerossail@optusnet.com.au

**PROJECT TITLE**  
SUPPLY & INSTALL WATERPROOF STRUCTURE TO REAR OF VILLA

**LOCATION**  
213 SAVEREN - RICE COUNTRY - ROSE

**CLIENT / OWNER**  
LOWIEN ESSADOUR

**DRAWN / DRAWN BY**  
ELEVATIONS

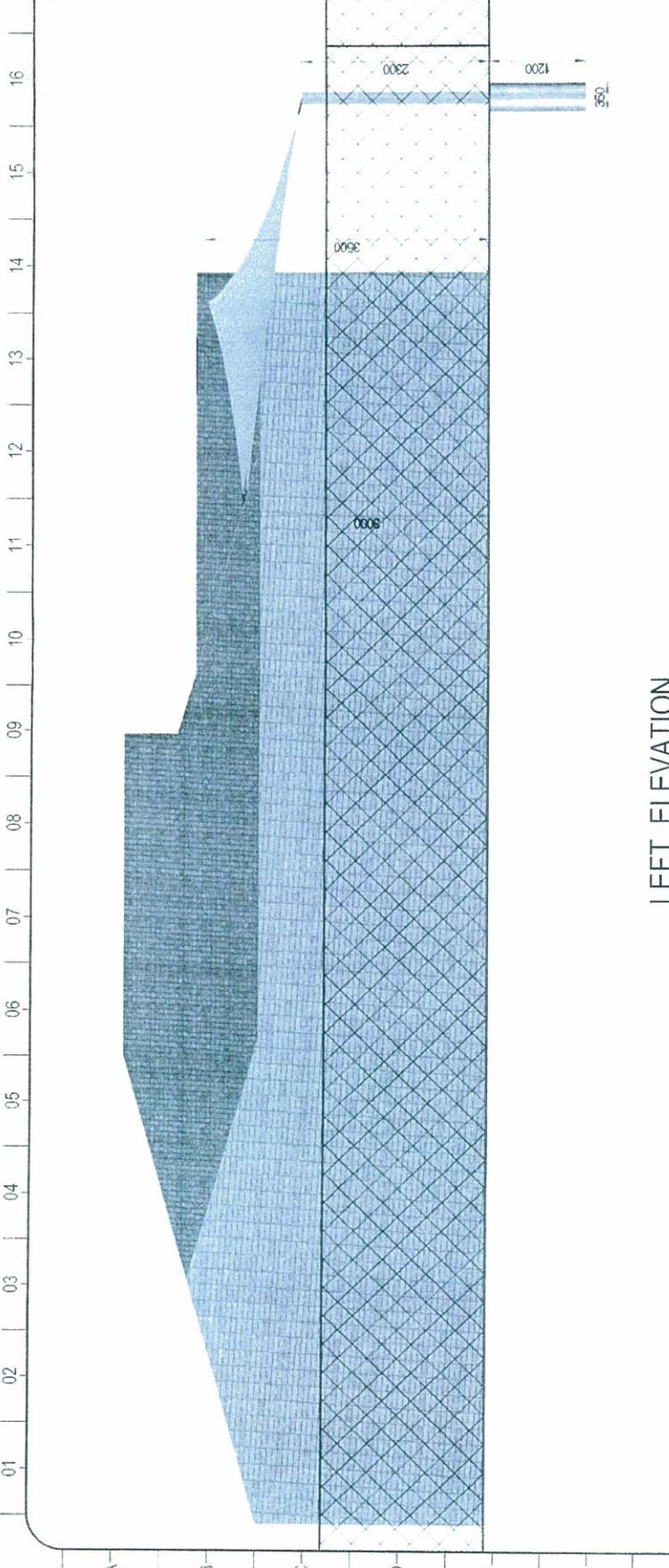
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APPROVED BY	DATE

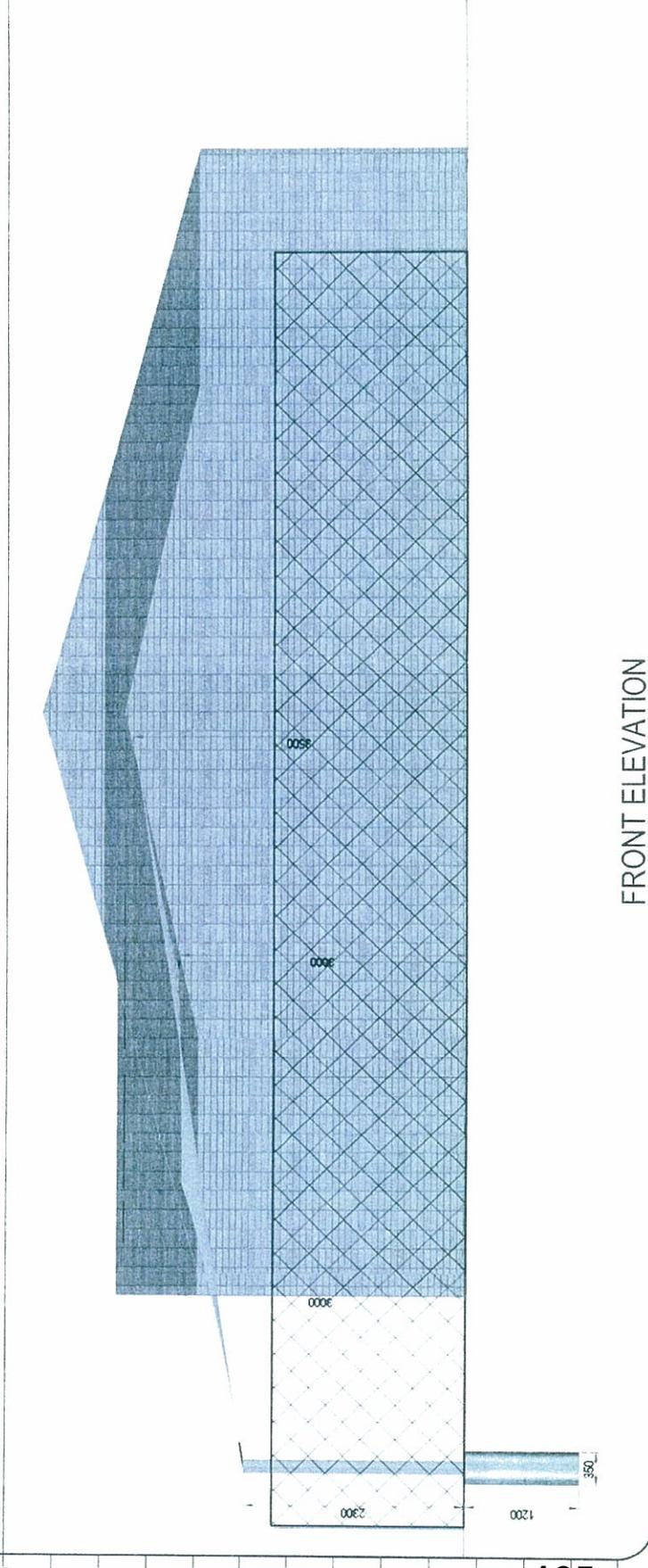
DWG SCALE	LAND PLOT SCALE	SHEET NUMBER
1:1		3/3

**PROJECT NUMBER**  
3111115

**PRELIMINARY**



LEFT ELEVATION



FRONT ELEVATION

Please quote: 2019074 CR:fh  
Your reference: PA2011/0357

17 June 2011

Doug Lesh  
Manager Urban Planning  
Department of Lands and Planning  
GPO Box 1680  
DARWIN NT 0801

Dear Doug

**Parcel Description:** Lots 10373 & 10504 (5) Damirrinda Street Town of Nightcliff  
**Proposed Development:** 2x3 bedroom multiple dwellings in a single storey building. (Proposed Lot 10504)

Thank you for the Development Application referred to this office 2 June 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

i). **Council supports in principle the granting of a Development Permit.**

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.
- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the Director Technical Services, Darwin City Council and at no cost to Council.
- Stormwater shall be collected and discharged into Council's drainage network, and reinstatement works carried out, all to the requirements and satisfaction of the Director Technical Services, Darwin City Council and at no cost to Council.

.../2

- Sight lines shall be provided at crossovers to public streets to the satisfaction of the Director Technical Services, Darwin City Council. No fence or tree exceeding 0.6 metres in height shall be planted in front of the sight line.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the Director Technical Services, Darwin City Council.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



**CINDY ROBSON**  
**STRATEGIC TOWN PLANNER**

cc: Mr Robert Watt



# Development Consent Authority

Northern Territory

GPO BOX 1680  
DARWIN NT 0801

Telephone No: (08) 8999 6807  
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0357

Sir or Madam  
Darwin City Council  
GPO Box 84  
DARWIN NT 0801

Dear Sir or Madam,

## Proposed Development Application

The following application has been received for assessment by the Development Consent Authority:

<b>Parcel Description</b>	Lot 10373 Town of Nightcliff
<b>Road/Street</b>	5 DAMIRRINDA ST
<b>Town Plan Zone</b>	SD17 (Specific Use)
<b>Tenure Type</b>	ESTATE IN FEE SIMPLE
<b>Land Owners</b>	Defence Housing Australia
<b>Parcel Description</b>	Lot 10504 Town of Nightcliff
<b>Road/Street</b>	5 ST
<b>Town Plan Zone</b>	()
<b>Tenure Type</b>	
<b>Land Owners</b>	
<b>Applicant</b>	Mr Robert Watt
<b>Contact Number</b>	89 480 771
<b>Purpose</b>	2 x 3 bedroom multiple dwellings in a single storey building (Proposed Lot 10504)

The proposal can be viewed online for a two week period from **Friday, 3rd June 2011** until **Friday, 17th June 2011** at: <https://www.ntlis.nt.gov.au/planning/ta.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Friday, 17th June 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:  
[https://www.ilis.nt.gov.au/ilis/l2?pageId=planning.application&ilis\\_entity\\_id=63767424](https://www.ilis.nt.gov.au/ilis/l2?pageId=planning.application&ilis_entity_id=63767424)

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

If you wish to secure a third party right of appeal, when it exists, you must specify that the submission is being made under section 49 and ensure that the submission is lodged with the consent authority by 4PM CST **Friday, 17th June 2011** which is the closing date for public exhibition.

Should you require further information on this proposal please contact me on **8999 6807**.

Yours faithfully

**Anguree Jansen van Rensburg**  
Development Assessment Services

2 June 2011

Attach.



areas

- unit 1
- gross - 161sqm
- living - 110sqm
- roof -
- garage - 35sqm
- verandah - 12.5sqm
- porch - 2.5sqm
- unit 2
- gross - 164sqm
- living - 113sqm
- roof -
- garage - 35sqm
- verandah - 12.5sqm
- porch - 2.5sqm

REV 3 ISSUED FOR LYONS APPROVAL 04.05.11



NORTHPOINT ESTATE

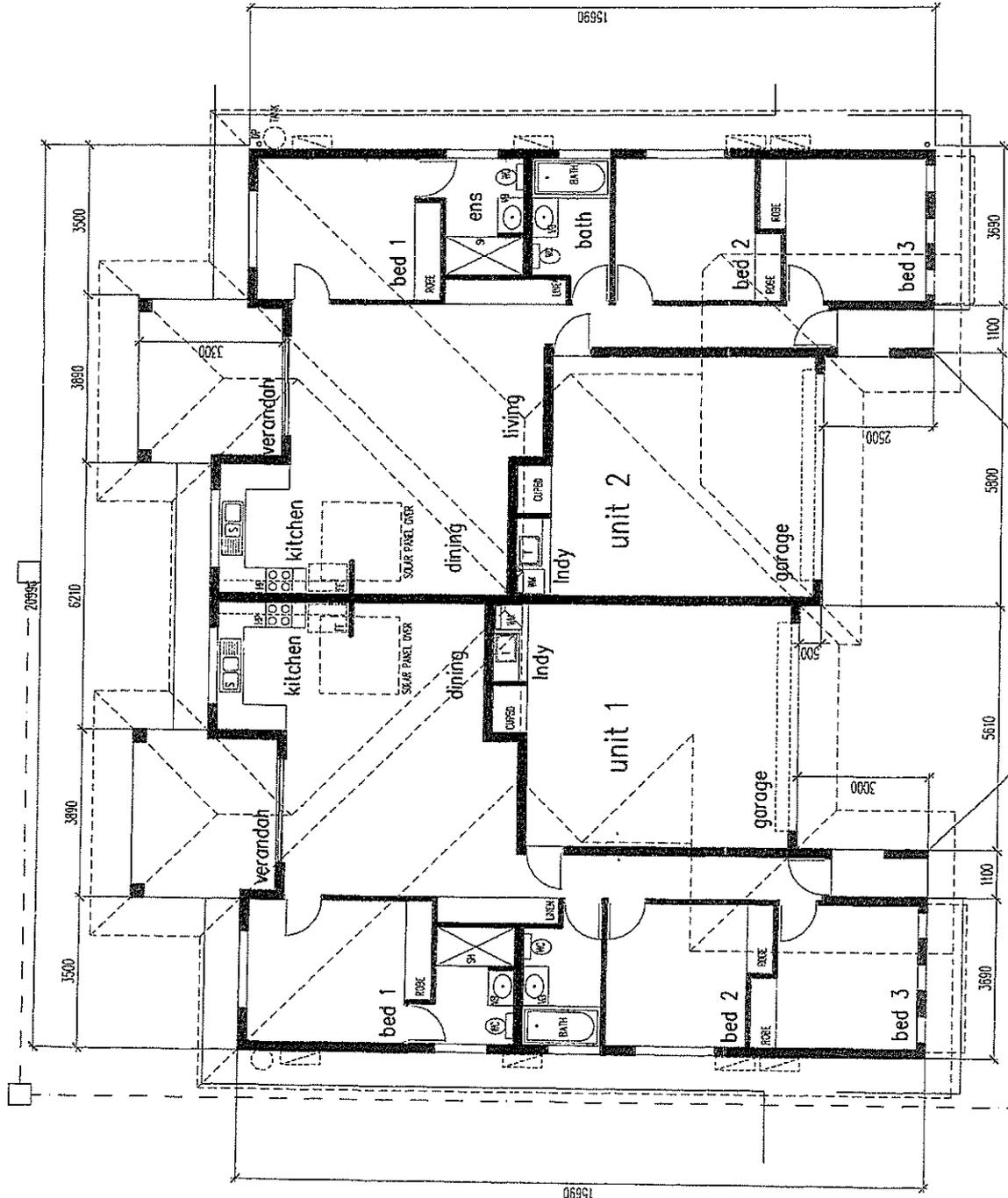
21 endorsed associate architects of QLD • 10/101, 10/102, 10/103, 10/104, 10/105, 10/106, 10/107, 10/108, 10/109, 10/110, 10/111, 10/112, 10/113, 10/114, 10/115, 10/116, 10/117, 10/118, 10/119, 10/120, 10/121, 10/122, 10/123, 10/124, 10/125, 10/126, 10/127, 10/128, 10/129, 10/130, 10/131, 10/132, 10/133, 10/134, 10/135, 10/136, 10/137, 10/138, 10/139, 10/140, 10/141, 10/142, 10/143, 10/144, 10/145, 10/146, 10/147, 10/148, 10/149, 10/150, 10/151, 10/152, 10/153, 10/154, 10/155, 10/156, 10/157, 10/158, 10/159, 10/160, 10/161, 10/162, 10/163, 10/164, 10/165, 10/166, 10/167, 10/168, 10/169, 10/170, 10/171, 10/172, 10/173, 10/174, 10/175, 10/176, 10/177, 10/178, 10/179, 10/180, 10/181, 10/182, 10/183, 10/184, 10/185, 10/186, 10/187, 10/188, 10/189, 10/190, 10/191, 10/192, 10/193, 10/194, 10/195, 10/196, 10/197, 10/198, 10/199, 10/200, 10/201, 10/202, 10/203, 10/204, 10/205, 10/206, 10/207, 10/208, 10/209, 10/210, 10/211, 10/212, 10/213, 10/214, 10/215, 10/216, 10/217, 10/218, 10/219, 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LOT 10504 DAMIRINDA STREET LYONS

E. B. PETERSON

DATE	REVISED	BY	NO.
10/05/11	1	E.B.P.	1
10/05/11	2	E.B.P.	2
10/05/11	3	E.B.P.	3

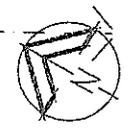
builder to verify all dimensions on site prior to construction



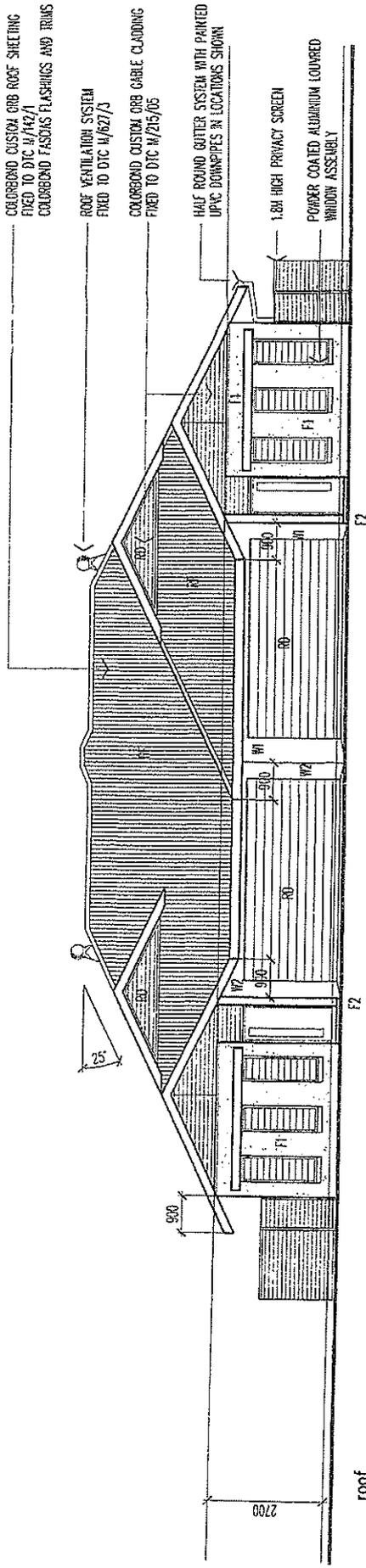
driveway  
EXPOSED AGGREGATE

ground floor plan

SCALE 1 : 100

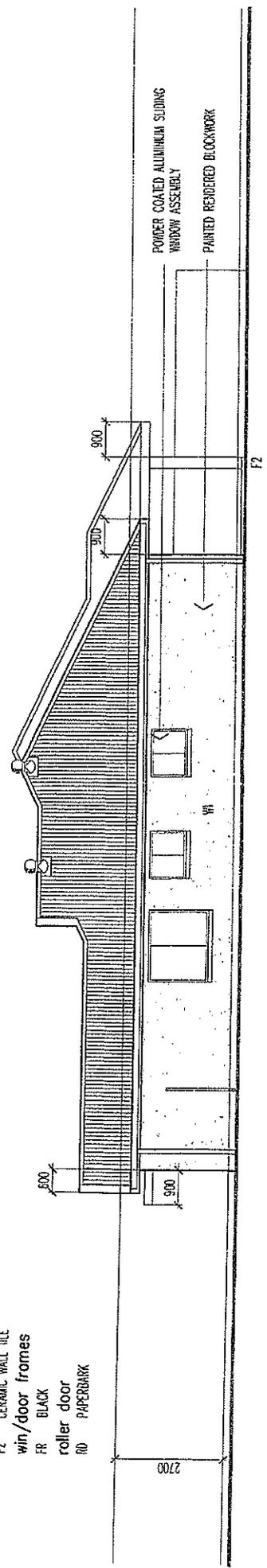


13 MAY 2011



elevation 1  
SCALE 1 : 100

- roof RF COLORBOND PAPERBARK
- fascios F BLACK
- walls generally W1 DULUX JOOPHUR
- W2 DULUX FARR BIANCA
- feature walls F1 DULUX ECRU
- F2 CERAMIC WALL TILE
- win/door frames FR BLACK
- roller door RD PAPERBARK



elevation 2  
SCALE 1 : 100

REV 3 ISSUED FOR LYONS APPROVAL 04.05.11



northern territory

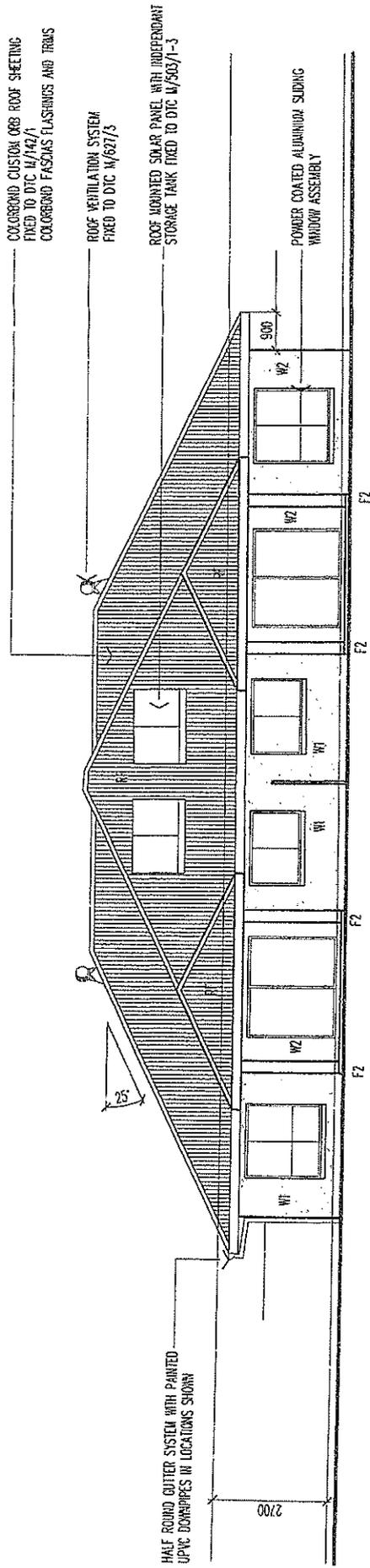
21 adward road, caswell park, NT 0830 • phone 5972 daniel w. cbcq  
 14 cbcq 69 69 0771 • mail 0418827021 • email daniel.w.cbcq@nt.gov.au

LOT 10504 DAMIRINDA STREET  
 LYONS  
 F & P PERVALIS

Date	REV 2/01	3/2/10	Issued
Date	REV 3/01	10/05/11	3

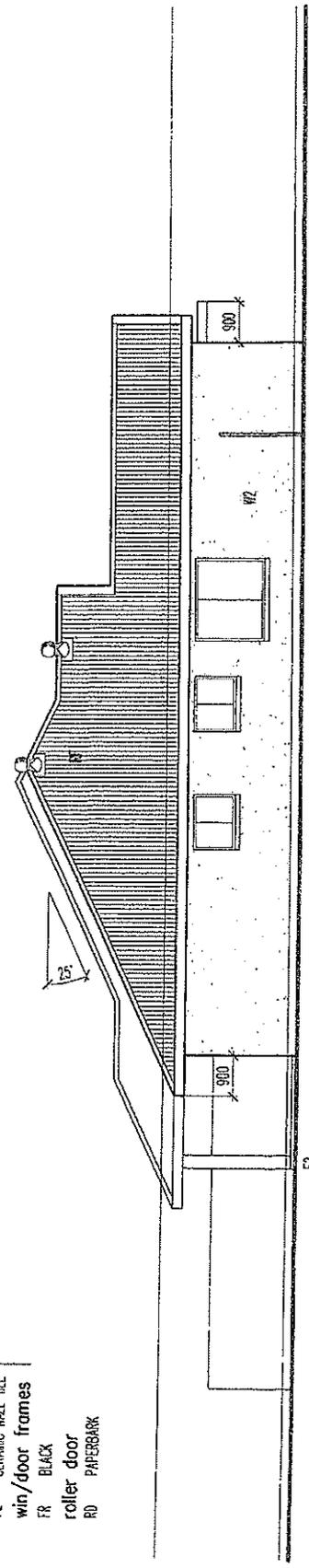
builder to verify all dimensions on site prior to construction

*[Signature]*  
 13 MAY 2011



- roof
- RF COLORBOND PAPERBARK
- fascias
- F BLACK
- walls generally
- WI BIALUX JOOPHUR
- W2 BIALUX FARR BIANCA
- feature walls
- F1 BIALUX ECRU
- F2 CERAMIC WALL TILE
- win/door frames
- FR BLACK
- roller door
- RD PAPERBARK

elevation 3  
SCALE 1:100



elevation 4  
SCALE 1:100

REV 3 ISSUED FOR LYONS APPROVAL 04.05.11



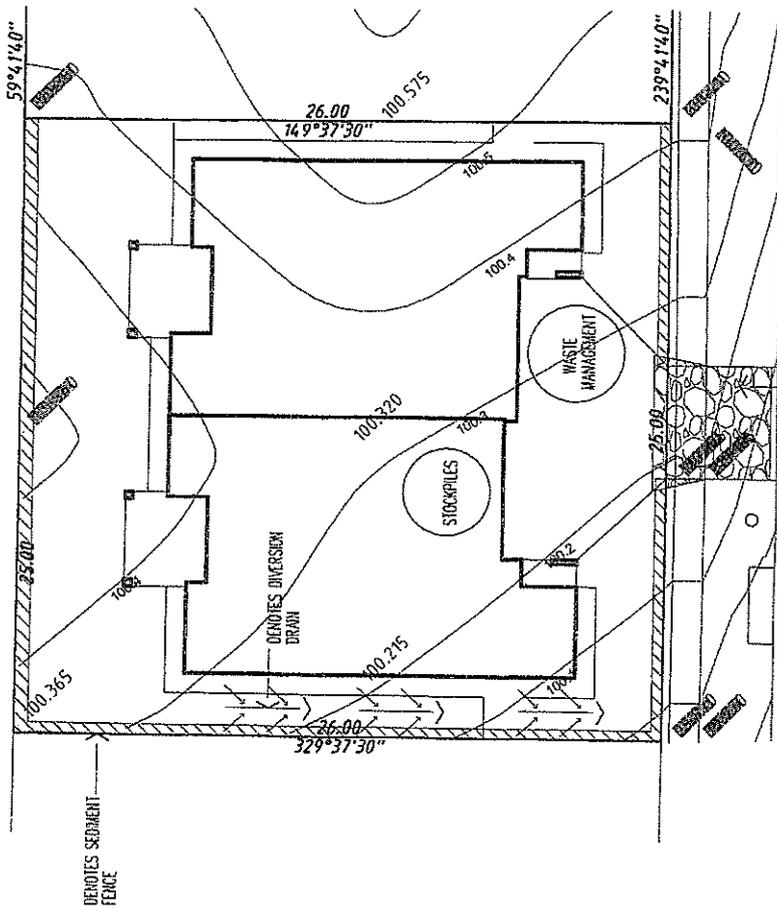
northern territory  
21 redwood road, casuarina, nt 0810 • phone 8955 alan@ecb.com.au  
44 cbs 68/16 0711 • mob 0418927021 • email alan@ecb.com.au

LOT 10504 DAMIRRINDA STREET  
LYONS  
E & B PEPPERBERRY

Date	REV 3.01	Drawn	3
Scale	AS SHOWN	Project	1090-SK4

Builder to verify all dimensions on site prior to construction

13 MAY 2011  
E & B PEPPERBERRY



*e.s.i.c. plan*  
SCALE 1:200

DIVERSION DRAINS TO BE USED TO DIRECT SURFACE WATER AROUND BUILDING SITE. DRAINS SHOULD BE 150mm DEEP. CUT SOIL TO BE DEPOSITED ON THE LOW SIDE OF THE TRENCH. DRAIN SHOULD BE STABILISED USING GRASS, AGGREGATE OR MATING TO SLOW VELOCITY OF WATER. DIVERTED WATER SHOULD BE DIRECTED ONTO A SUITABLE AREA FOR ABSORPTION OR TO A PROTECTIVE MEASURE SUCH AS GEOTEXTILE SEDIMENT FENCE.

REV 3 ISSUED FOR LYONS APPROVAL 04.05.11



Northern Territory  
21 Orchard Road, Casuarina, NT 0810  
Tel: 08 8945 0721 • Fax: 08 89871021 • Email: [env@nt.gov.au](mailto:env@nt.gov.au)

LOT 10504  
LYONS  
DAMIRINDA STREET  
E & P PT55A15

Date:	JAN 2011	Drawn:	
Scale:	AS SHOWN	Job No:	1090-SK5
		Sheet:	3

Builder to verify all dimensions on site prior to construction

*[Signature]*  
13 MAY 2011

Please quote: 2019092 CR:fh  
Your reference: PA2011/0358

17 June 2011

Doug Lesh  
Manager Urban Planning  
Department of Lands and Planning  
GPO Box 1680  
DARWIN NT 0801

Dear Doug

**Parcel Description:** Lots 10373 & 10505 (7) Damirrinda Street Town of Nightcliff  
**Proposed Development:** 2x3 bedroom multiple dwellings in a single storey building. (Proposed Lot 10505)

Thank you for the Development Application referred to this office 2 June 2011, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

i). **Council supports in principle the granting of a Development Permit.**

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.
- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the Director Technical Services, Darwin City Council and at no cost to Council.
- Stormwater shall be collected and discharged into Council's drainage network, and reinstatement works carried out, all to the requirements and satisfaction of the Director Technical Services, Darwin City Council and at no cost to Council.

.../2

- Sight lines shall be provided at crossovers to public streets to the satisfaction of the Director Technical Services, Darwin City Council. No fence or tree exceeding 0.6 metres in height shall be planted in front of the sight line.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the Director Technical Services, Darwin City Council.

In considering this application, the Development Consent Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



**CINDY ROBSON**  
**STRATEGIC TOWN PLANNER**

cc: Mr Robert Watt



# Development Consent Authority

Northern Territory

GPO BOX 1680  
DARWIN NT 0801

Telephone No: (08) 8999 6807  
Facsimile No: (08) 8999 6055

In reply please quote: PA2011/0358

Sir or Madam  
Darwin City Council  
GPO Box 84 DARWIN NT 0801

Dear Sir or Madam,

## Proposed Development Application

The attached application has been received for assessment by the Development Consent Authority:

<b>Parcel Description</b>	Lot 10373 Town of Nightcliff
<b>Road/Street</b>	5 DAMIRRINDA ST
<b>Town Plan Zone</b>	SD17 (Specific Use)
<b>Tenure Type</b>	ESTATE IN FEE SIMPLE
<b>Land Owners</b>	Defence Housing Australia
<b>Parcel Description</b>	Lot 10505 Town of Nightcliff
<b>Road/Street</b>	7 DAMIRRINDA ST
<b>Town Plan Zone</b>	()
<b>Tenure Type</b>	
<b>Land Owners</b>	
<b>Applicant</b>	Mr Robert Watt
<b>Contact Number</b>	89 480 771
<b>Purpose</b>	2 x 3 bedroom multiple dwellings in a single storey building (Proposed Lot 10505)

The proposal can be viewed online for a two week period from **Friday, 3rd June 2011** until **Friday, 17th June 2011** at:

<https://www.ntlis.nt.gov.au/planning/lta.dar.list>

Could you please examine the proposal and provide comment to me on any aspects pertaining to your area of concern by **Friday, 17th June 2011**. Please note that comments received after the closing date may not be able to be considered by the Authority.

If you have access to ILIS please enter your submission online at:

[https://www.ilis.nt.gov.au/ilis/l2?pageId=planning.application&ilis\\_entity\\_id=63767868](https://www.ilis.nt.gov.au/ilis/l2?pageId=planning.application&ilis_entity_id=63767868)

Please note that you can only access the Development Application and make submissions through ILIS during the exhibition period.

Only users who have been registered as belonging to a Service Authority can enter submissions. Please contact Planning if you require any users removed or added to this list.

Please note that technical comments by service authorities will not be considered as submissions under section 49 of the *Planning Act* and therefore will not be eligible for third party appeal rights unless specifically requested.

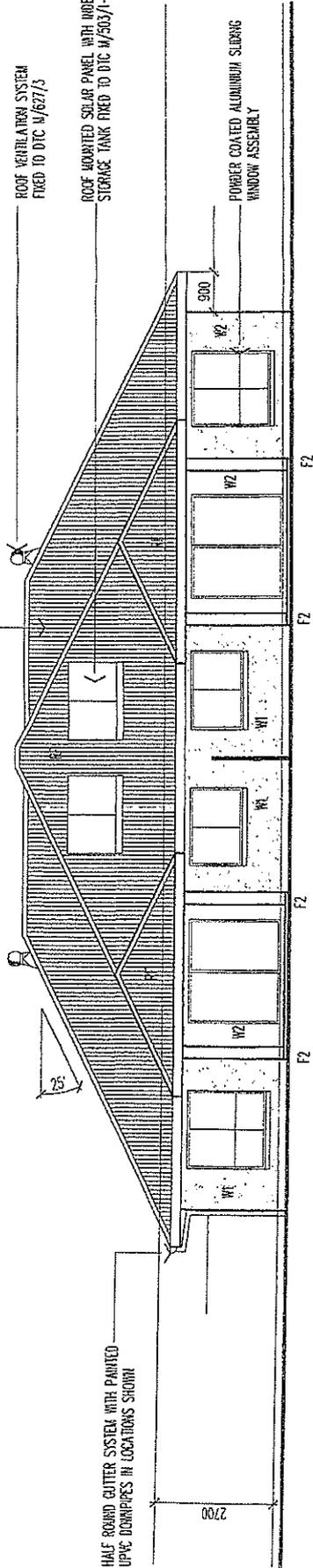
If you wish to secure a third party right of appeal, when it exists, you must specify that the submission is being made under section 49 and ensure that the submission is lodged with the consent authority by 4PM CST **Friday, 17th June 2011** which is the closing date for public exhibition.

COLORBOND CUSTOM ONE ROOF SHEETING  
FIXED TO DTC M/142/1  
COLORBOND FASCIAS FLASHINGS AND TRIMS

ROOF VENTILATION SYSTEM  
FIXED TO DTC M/627/3

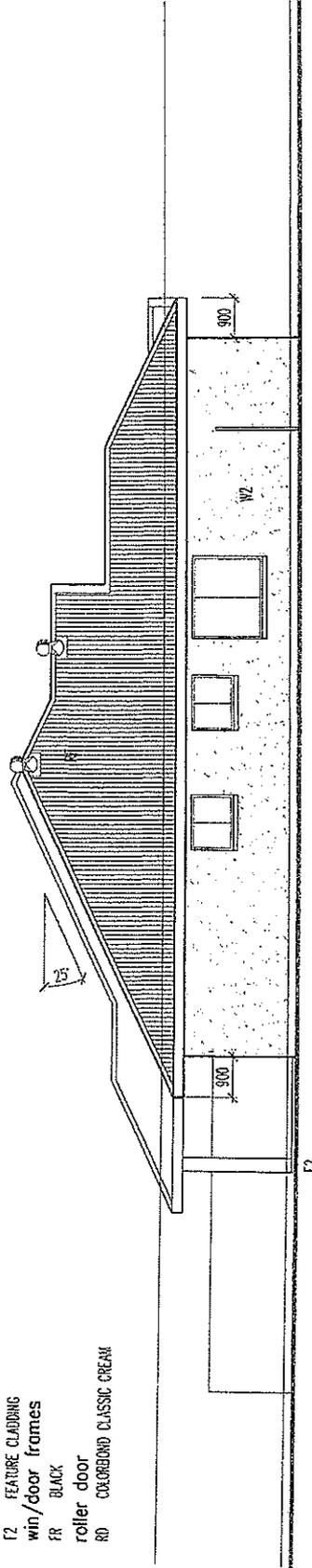
ROOF MOUNTED SOLAR PANEL WITH INTERDEPENDANT  
STORAGE TANK FIXED TO DTC M/503/1-3

POWDER COATED ALUMINIUM SLIDING  
WINDOW ASSEMBLY



elevation 3  
SCALE 1:100

- roof
- RF COLORBOND SMIDBANK
- fascias
- F SHALE GREY
- walls generally
- W1 COLORBOND CLASSIC CREAM
- W2 COLORBOND DUKE
- feature walls
- F1 COLORBOND JASPER
- F2 FEATURE CLADDING
- win/door frames
- FR BLACK
- roller door
- RD COLORBOND CLASSIC CREAM



elevation 4  
SCALE 1:100



Professional seal no. 4380 - expires 30/06/2011  
14/03/09/61071 - reg 018927021 - m.j.f...@...com

LOT 10505 DAMIRINDA STREET  
LYONS  
L/93A/PL/1/P

DATE: 10/05/11  
BY: J.S./J.S.  
NO: 1096-SK4

Builder to verify all dimensions on site prior to construction

*[Signature]*  
13 MAY 2011

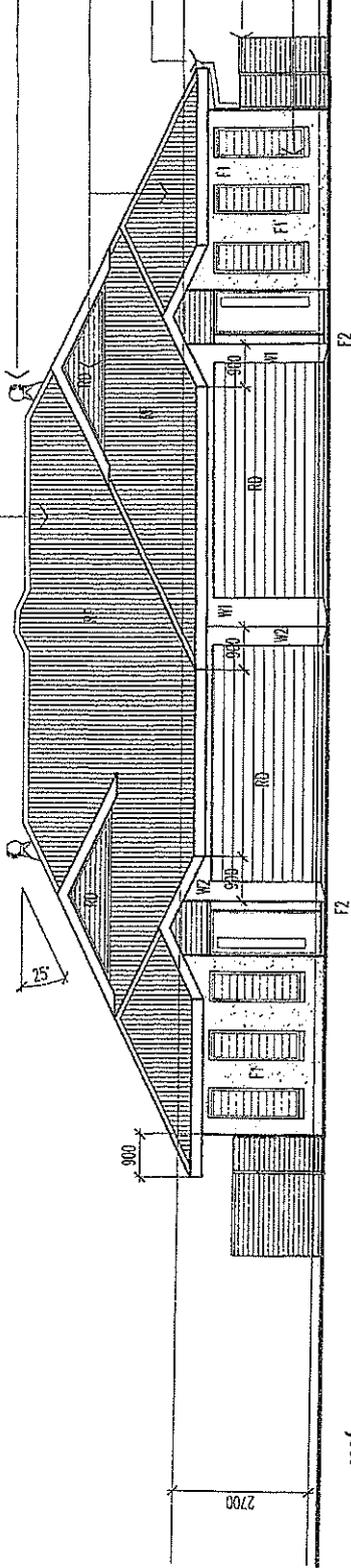
COLORBOND CUSTOM ORB ROOF SHEETING  
FIXED TO DTC M/142/1  
COLORBOND FASCIA FLASHINGS AND TRIMS

ROOF VENTILATION SYSTEM  
FIXED TO DTC M/627/3

COLORBOND CUSTOM ORB GABLE CLADDING  
FIXED TO DTC M/215/06

HALF ROUND GUTTER SYSTEM WITH PAINTED  
UPVC DOWNPIPES IN LOCATIONS SHOWN

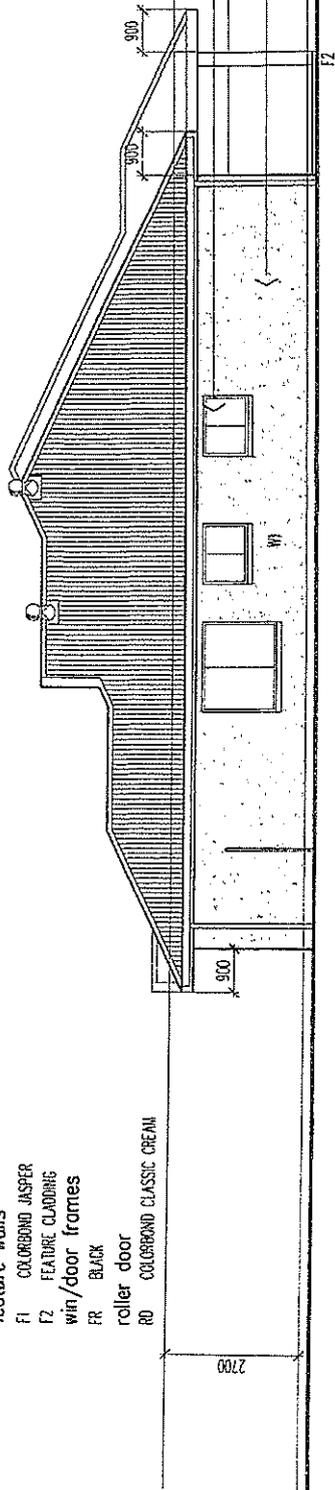
1.8M HIGH PARACHUTE SCREEN  
POWDER COATED ALUMINIUM LOUVERED  
WINDOW ASSEMBLY



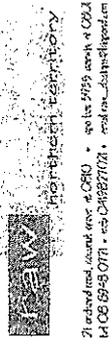
- roof R1 COLORBOND SANDBARK
- fascias F SHALE GREY
- walls generally W1 COLORBOND CLASSIC CREAM  
W2 COLORBOND DUKE
- feature walls F1 COLORBOND JASPER  
F2 FEATURE CLADDING
- win/door frames FR BLACK
- roller door RD COLORBOND CLASSIC CREAM

elevation 1  
SCALE 1 : 100

POWDER COATED ALUMINIUM SLIDING  
WINDOW ASSEMBLY  
PAINTED RENDERED BLOCKWORK



elevation 2  
SCALE 1 : 100



21 Macdonald Street, Darwin, NT 0810 • Tel: 08 8999 4000 • Fax: 08 8999 4024  
141 CE (S) 8-07A • Lic: CA9827021 • www.dnrc.com.au

LOT 10505 DAMIRINDA STREET  
LYONS  
LWA/FF/1/10

Date: 18/05/2011  
Scale: 1:100  
1096-SK3

Drawn by: [Signature]  
Check by: [Signature]

Buildings to verify all dimensions on site prior to construction

[Signature]  
13 MAY 2011

areas

- unit 1
- gross - 161sqm
- living - 110sqm
- roof -
- garage - 35sqm
- verandah - 12.5sqm
- porch - 2.5sqm
- unit 2
- gross - 164sqm
- living - 113sqm
- roof -
- garage - 35sqm
- verandah - 12.5sqm
- porch - 2.5sqm

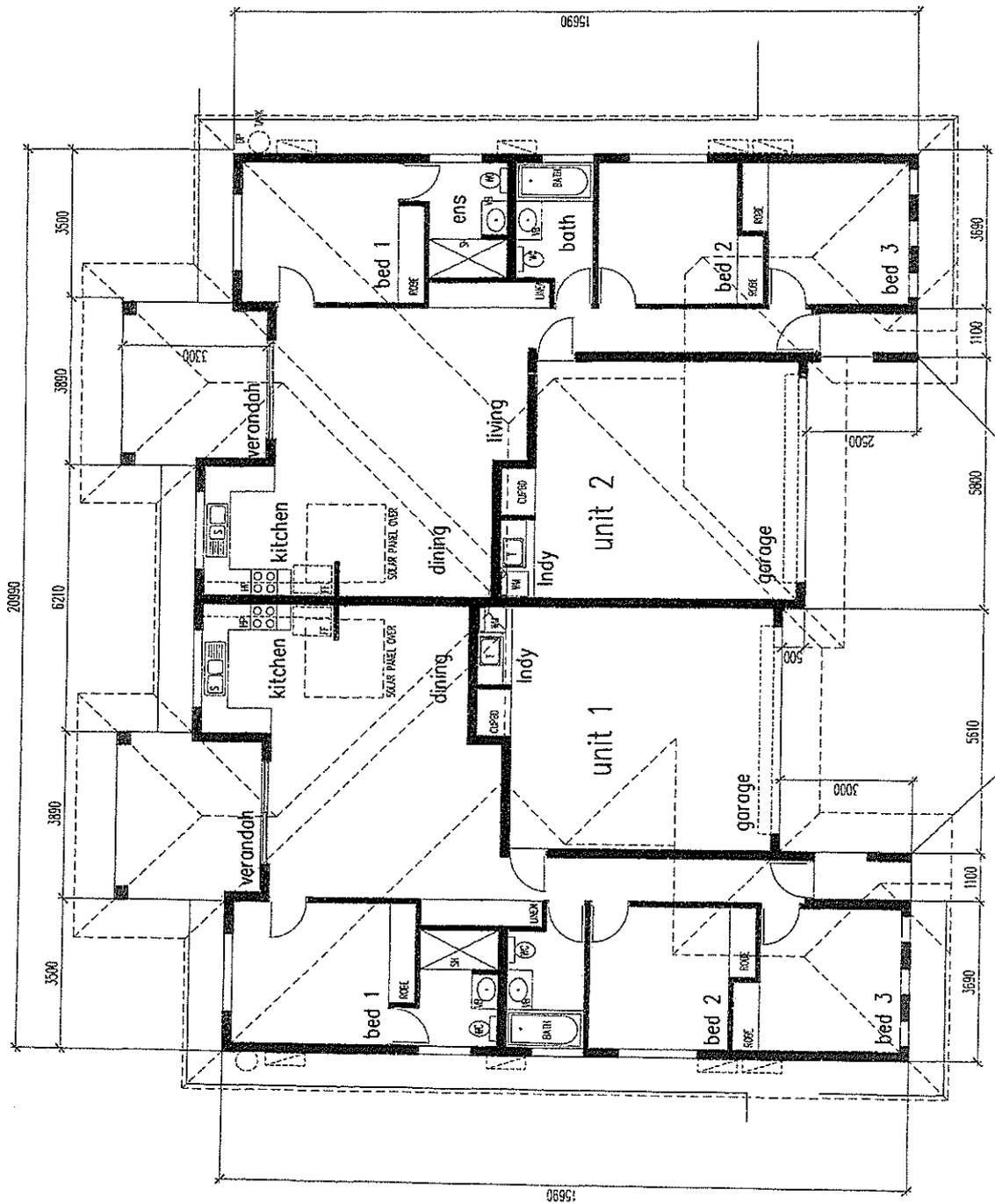
**PSW** PROJECT SERVICES

11 Federal Road #01-020 • phone 9755 2600 • 1201  
 4103 BISHOP RD • #01-05/07/09 • mobile 9755 2600

**LOT 10505 DAMIRINDA STREET  
 LYONS  
 LIPPA PTE LTD**

Date: 08/2011 423/11  
 Scale: 1:100 1096-SK2

builder to verify all dimensions on site prior to construction



driveway  
 EXPOSED AGGREGATE

ground floor plan  
 SCALE 1: 100



*[Handwritten signature]*  
 13 MAY 2011

landscaping

APPROPRIATE LANDSCAPING IN MULCHED GARDEN BEDS TO PROVIDE SHADE AND SCREENING OF OPEN PRIVATE SPACES AND BETWEEN DWELLINGS. TREES TO FRONT OF DWELLING TO BE SUITABLE OF ACHIEVING 5M HEIGHT WITHIN 2 YEARS. REFER TO DESIGN GUIDELINES FOR SUGGESTED SPECIES

NOTE:

STANDARD DOMESTIC ROOF TOP ANTENNA TO BE PROVIDED

stormwater

DO NOT ALLOW STORMWATER TO DISCHARGE INTO NEIGHBOURING PROPERTIES.

THE USE OF CONCRETE DRAIN PIPES ETC TO DISCHARGE STORMWATER TO SIDE AND REAR BOUNDARIES IS NOT PERMITTED

DRAIN PIPES MUST DISCHARGE TO SPLASHPADS ADJACENT HOUSE AND WATER EVENLY DISPERSED TOWARDS DRAINS TO PREVENT SCOURING.

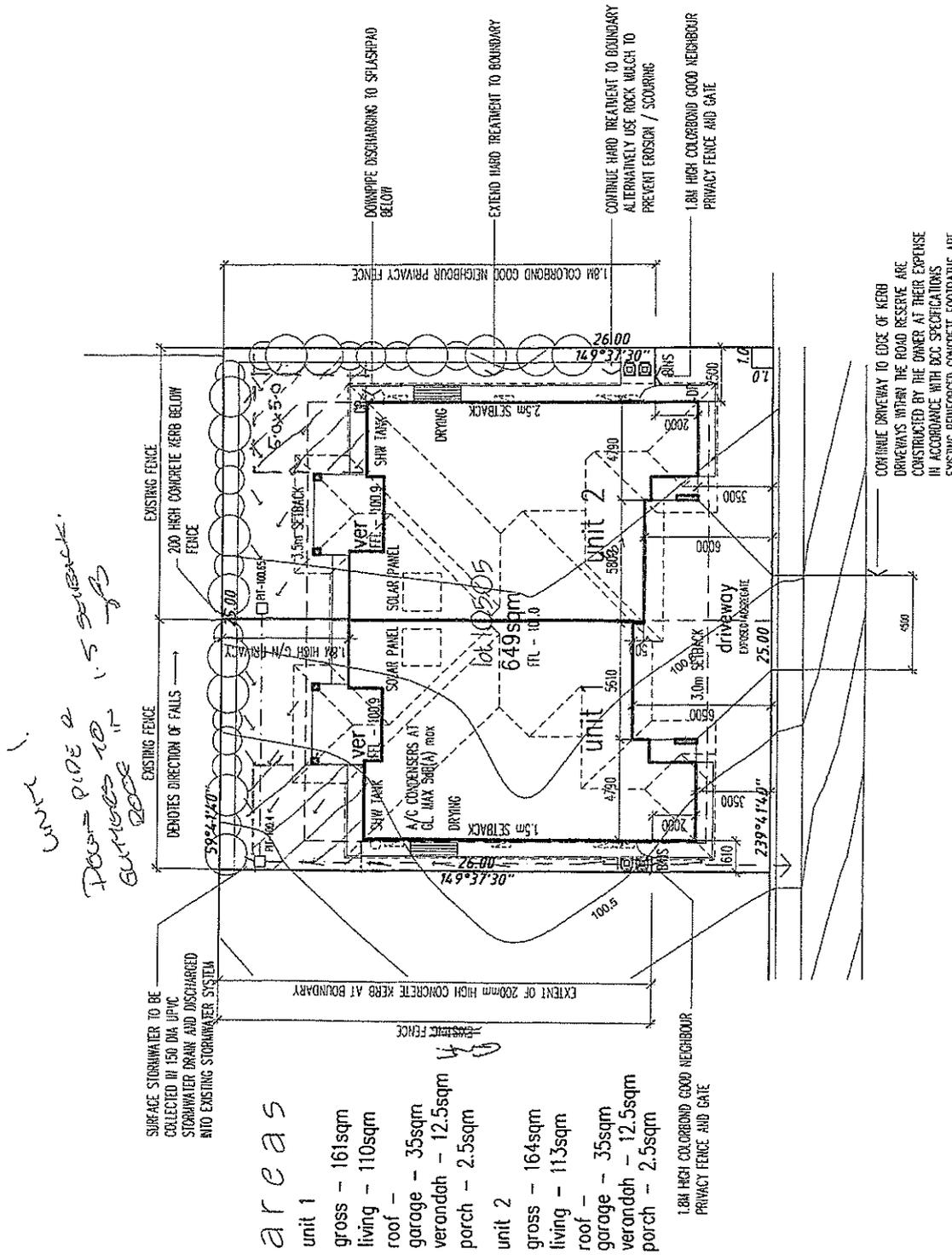
LANDSCAPE SCHEDULE

- T1 ACACIA DUMMI
- T2 ACACIA LUBATA
- T3 ACACIA NUPERRIMA

EXACT LOCATION AND TYPES WILL BE CONFIRMED ON SITE WITH SPECIALIST LANDSCAPE CONTRACTOR

diversion drains

OVERFLOW DRAINS TO BE USED TO DIVERGE SURFACE WATER AROUND BUILDING SITE. DRAINS SHOULD BE 150mm DEEP, CUT SOIL TO BE DEPOSITED ON THE LOW SIDE OF THE TRENCH. DRAIN SHOULD BE STABILISED USING GRASS, AGGREGATE OR WAITING TO SLOW VELOCITY OF WATER. DIVERTED WATER SHOULD BE DIRECTED ONTO A SUITABLE AREA FOR ABSORPTION OR TO A PROTECTIVE MEASURE SUCH AS GEOTEXTILE SEDIMENT FENCE.



areas

- unit 1
  - gross - 161sqm
  - living - 110sqm
  - roof - 35sqm
  - garage - 35sqm
  - verandah - 12.5sqm
  - porch - 2.5sqm
- unit 2
  - gross - 164sqm
  - living - 113sqm
  - roof - 35sqm
  - garage - 35sqm
  - verandah - 12.5sqm
  - porch - 2.5sqm



lyons landscape option to street frontage  
 site plan  
 SCALE 1 : 200

CONTINUE DRIVEWAY TO EDGE OF KERB  
 DRIVEWAYS WITHIN THE ROAD RESERVE ARE  
 CONSTRUCTED BY THE OWNER AT THEIR EXPENSE  
 IN ACCORDANCE WITH DCC SPECIFICATIONS  
 EXISTING REINFORCED CONCRETE FOOTPATHS ARE  
 MAINTAINED ONLY PLAIN BRUSHED CONCRETE IS  
 PERMITTED

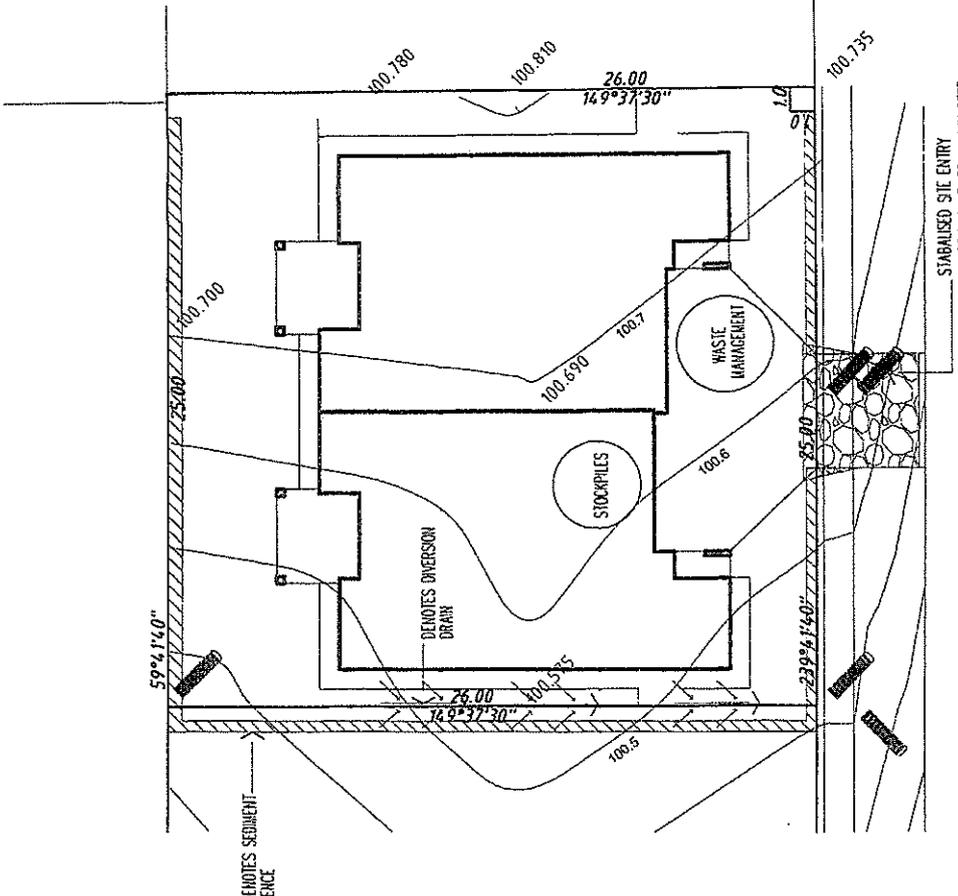
13 MAY 2011



Northcott Territory  
 21 Archibald Street, Darwin NT 0800 • phone 08995 4444 • fax 08995 4444  
 tel 08 8945 0771 • web 014977021 • email info@lyonslandscape.com.au

LOT 10505  
 DAMIRINDA STREET  
 LYONS  
 LYONS LANDSCAPE ARCHITECTURE  
 Date: 10/05/2011  
 Scale: 1:200  
 Project: 1096-SKI  
 Author: [Name]

Responsible for writing and dimensions on this plan to construction



e.s.c. plan  
SCALE 1:200

DIVERSION DRAINS TO BE USED TO DIRECT SURFACE WATER AROUND BUILDING SITE. DRAINS SHOULD BE 150mm DEEP CUT SOIL TO BE DEPOSITED ON THE LOW SIDE OF THE TRENCH. DRAIN SHOULD BE STABILISED USING GRASS, AGGREGATE OR MATING TO SLOW VELOCITY OF WATER. EXFERED WATER SHOULD BE DIRECTED ONTO A SUITABLE AREA FOR ABSORPTION OR TO A PROTECTIVE MEASURE SUCH AS GEOTEXTILE SEDIMENT FENCE.



21 residential compliance at 2810 • 401/1st 5999 down rd 2861  
64 028 8948 0771 • info 0419577209 • and via www.surveyors.gov.au

LOT 10505 DAMIRINDA STREET  
LYONS  
LYONS PTY LTD  
Date: 15/06/11  
ZONING: 1096-SK5  
Final  
Builder to verify all dimensions on site prior to construction

13 MAY 2011  
PROJECT

**OPEN SECTION**

PAGE

TP7/10

Town Planning Committee Meeting – Wednesday, 6 July 2011

**12 GENERAL BUSINESS**