

OPEN SECTION

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TP10/1

DARWIN CITY COUNCIL

TOWN PLANNING COMMITTEE

WEDNESDAY 7 OCTOBER 2009

MEMBERS: Member H I Galton (Chairman); The Right Worshipful, Lord Mayor, Mr G R Sawyer; Member J D Bailey; Member R T Dee; Member R K Elix; Member G M Jarvis; Member G A Lambert; Member R Lesley; Member F P Marrone; Member A R Mitchell; Member K M Moir; Member J L Sangster; Member H D Sjoberg.

OFFICERS: Chief Executive Officer, Mr B Dowd; General Manager Infrastructure, Mr L Cercarelli; Strategic Town Planner, Mr P Lindwall; Assistant Committee Administrator, Mrs A Adams.

Enquiries and/or Apologies: Amanda Adams
E-mail: amanda.adams@darwin.nt.gov.au - PH: 89300 685

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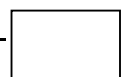
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Town Planning Committee Meeting – Wednesday, 7 October, 2009**1 MEETING DECLARED OPEN****2 APOLOGIES AND LEAVE OF ABSENCE****2.1 Apologies****2.2 Leave of Absence Granted**

THAT it be noted that Member R T Dee is an apology due to a Leave of Absence being previously granted on 22 September 2009 for the period 29 September - 8 October 2009.

DECISION NO.20\() (07/10/09)

3 ELECTED MEMBERS CONFLICT OF INTEREST DECLARATION**4 CONFIDENTIAL ITEMS**

Nil



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Town Planning Committee Meeting – Wednesday, 7 October, 2009**5 WITHDRAWAL OF ITEMS FOR DISCUSSION****5.1 Items Withdrawn by Staff****5.2 Items Withdrawn by Members**

COMMITTEE'S DECISION

THAT the Committee resolve under delegated authority that Information Items and Officers Reports to the Town Planning Committee Meeting held Wednesday, 7 October, 2009, be received and all recommendations contained therein be adopted by general consent with the exception of Item Numbers:

DECISION NO.20\() (07/10/09)

6 CONFIRMATION OF MINUTES PERTAINING TO THE PREVIOUS TOWN PLANNING COMMITTEE MEETING

COMMITTEE'S DECISION

THAT the Committee resolve that the minutes of the previous Town Planning Committee Meeting held on Wednesday, 2 September, 2009, tabled by the Chairman, be confirmed.

DECISION NO.20\() (07/10/09)

7 BUSINESS ARISING FROM THE MINUTES PERTAINING TO THE PREVIOUS TOWN PLANNING COMMITTEE MEETING

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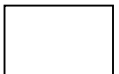
Town Planning Committee Meeting – Wednesday, 7 October, 2009

8 DEVELOPMENT APPLICATIONS

Nil

9 GENERAL TOWN PLANNING REPORTS

Nil



ENCL: YES

DARWIN CITY COUNCIL

REPORT

DATE: 04/09/09

TO: TOWN PLANNING COMMITTEE MEETING
OPEN B

APPROVED: CT

FROM: GENERAL MANAGER INFRASTRUCTURE

APPROVED: PL

REPORT NO: 09TS0148 PL:sv

APPROVED: LC

COMMON NO: 1643626

SUBJECT: DEVELOPMENT APPLICATION
LOT 9260 (77) LAKESIDE DRIVE, BRINKIN, TOWN OF NIGHTCLIFF
PROPOSED DEVELOPMENT: SPORTS EDUCATION FACILITY,
MULTI-PURPOSE HALL AND MEDICAL CLINIC

ITEM NO: 10.1

SYNOPSIS:

A Development Application for Lot 9260 (77) Lakeside Drive, Brinkin, Town of Nightcliff has been referred to Council for comment pursuant to Section 48 of the Planning Act. The following report addresses relevant Council issues and recommends that Council endorses comments provided to the Development Consent Authority by staff.

GENERAL:

Applicant: Charles Darwin University

Zone: CP (Community Purposes)

Proposal:

The proposal is to develop sports and recreation facilities and a medical centre at the Charles Darwin University Casuarina Campus. The proposed development comprises a gymnasium (280m²), a multipurpose sports room (196m²), sports science research and teaching facilities and medical centre.

Site and Surrounds

The site has access from Lakeside Drive and is located adjacent to the 'Pirates' Rugby Club.

There is currently a 'change shed' and an outdoor basketball court on the site which will be removed. There are also trees on the site, some of which will be removed.

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REPORT NO: 09TS0148 PL:sv
SUBJECT: DEVELOPMENT APPLICATION
LOT 9260 (77) LAKESIDE DRIVE, BRINKIN, TOWN OF NIGHTCLIFF
PROPOSED DEVELOPMENT: SPORTS EDUCATION FACILITY, MULTI-
PURPOSE HALL AND MEDICAL CLINIC

Land uses surrounding the proposed sports facility and medical centre include a sports oval to the north, single dwelling residential to the south and south-east (on the opposite side of Lakeside Drive), and university campus facilities to the west.

Details of the proposal are included at **Attachment A**.

Northern Territory Planning Scheme:

The proposed development will provide additional teaching, sports and medical facilities for the Charles Darwin University. Clause 3.0 (Definitions) of the Planning Scheme defines a university as an 'educational establishment'. An educational establishment is a permitted use within Zone CP (Community Purposes), subject to meeting the requirements of the performance criteria listed below. A medical clinic is a discretionary use within Zone CP (Community Purposes) and is subject to meeting the requirements of the same performance criteria as an educational establishment.

Clause 6.1 (General Height Control)

Clause 6.1 establishes that the maximum height of a building in this zone should not exceed 8.5 metres above ground level. The applicant has stated that the highest part of the roof is 8.49 metres above ground level.

Clause 6.5.1 (Parking Requirements)

The applicant has submitted that as the sports and recreation facilities are catering to the same students that are using the rest of the campus that no additional car parking should be required. However, the development application does not state whether the new gymnasium and multipurpose hall facilities are proposed to replace existing university sports and recreation facilities, including the Fitness Unlimited gymnasium. As Fitness Unlimited is open to the general public as well as University students and staff, car parking specifically for the facility would be required. In addition, as the gymnasium is likely to have long opening hours (Fitness Unlimited operates from 6am to 9pm during the week), it is expected that many students and staff would drive directly to the gymnasium and sporting facilities in the early mornings and evenings, as the university campus car parking is located some distance from the proposed sports centre. Car parking needs to be close for safety reasons during hours of darkness.

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 LOT 9260 (77) LAKESIDE DRIVE, BRINKIN, TOWN OF NIGHTCLIFF
 PROPOSED DEVELOPMENT: SPORTS EDUCATION FACILITY, MULTI-PURPOSE HALL AND MEDICAL CLINIC

Council's assessment of the car parking requirement for the proposed development is set out in the table below:

**Car Parking Requirements
 (Based upon requirements of Clause 6.5.1 of the NT Planning Scheme)**

Proposed Use	Planning Scheme Requirement	Assessed Requirement	Totals
Sports Science Research & Teaching Facility (classroom for 21 students)	1 space per classroom + 1 space per 6 students + 2 additional spaces	$1 + 3.5(21/6) + 2 = 6.5$ spaces	6.5
Gym & Multipurpose Hall (leisure & recreation)	10 per 100m ² net floor area	Gym (280m ²) + Multipurpose Hall (196m ²) = 47.6 spaces	47.6
Admin Offices	2.5 per 100m ² net floor area	Office (60m ²) = 1.5	1.5
Medical Centre	4 per consulting room	4 rooms = 16	16
Total			71.6 (72) spaces

There are 2 car parking plans provided by the applicant for the development application. Both plans are called 'Part Site Plan', with one plan showing 28 new car parking spaces to be created and the other 30 new spaces. In addition, the applicant has stated on page 3 of the MKEA Architects P/L Planning Report that the proposal includes the construction of 33 new car parking spaces. It therefore appears that there is a car parking shortfall of 39 to 44 spaces, proposed by the applicant and this is not supported by Council.

Should the application be approved by the Authority with a car parking shortfall, Council requests the Authority requires a monetary contribution to be paid to Council, in accordance with its Car Parking Contribution Plan, in lieu of the on-site car parking shortfall.

Clause 8.2 (Commercial & Other Developments in Zones HR, CV, CB, C, SC, TC, OR, CP, FD and T)

The purpose of this clause is to promote site responsive designs of commercial, civic, community, recreational, tourist and mixed use developments which are attractive and pleasant and contribute to a safe environment. The applicant has addressed the requirements of this clause on pages 3 and 4 of the MKEA Architects P/L Planning Report.

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REPORT NO: 09TS0148 PL:sv
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PURPOSE HALL AND MEDICAL CLINIC

Clause 10.2 (Clearing of Native Vegetation)

The applicant has submitted that this site has no remnant native vegetation.

Disability Discrimination Legislation:

Disability Discrimination Act issues are addressed under the Building Act requirements. Council places a statement of support for equal opportunity on all responses.

Council Issues:

Vehicle access

The 'Part Site Plan' showing car parking and access indicates some 'cut back' to the existing kerb line to allow for reconfigured traffic lanes. As Lakeside Drive is a Council Road, it is recommended that the applicant contacts Council's Strategic Town Planner, Peter Lindwall, on telephone number 8930 0528 to discuss the traffic management and also car parking issues associated with the development.

Stormwater

No stormwater drainage plan is provided. Plan is to be requested in Council's letter to the Development Consent Authority.

Bins

No waste bin enclosures are shown on the development application plans. The applicant has stated on page 4 of the MKEA Architects P/L Planning Report that waste management within the university campus is managed by using "*screened bulk bins collected frequently by commercial contract.*"

Amended plans showing locations of waste bin enclosures to be requested in Council's letter to the Development Consent Authority.

Verge Area

Council's standard condition regarding landscaping and footpath works within road verge to be included in letter to the Development Consent Authority.

FINANCIAL IMPLICATIONS:

Not assessed.

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 LOT 9260 (77) LAKESIDE DRIVE, BRINKIN, TOWN OF NIGHTCLIFF
 PROPOSED DEVELOPMENT: SPORTS EDUCATION FACILITY, MULTI-
 PURPOSE HALL AND MEDICAL CLINIC

STRATEGIC PLAN IMPLICATIONS:

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

Goal 1: Achieve Effective Partnerships and Engage in Collaborative Relationships

Outcome

1.1 Improve relations with all levels of Government

Key Strategies

1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin

1.1.5 Influence Government and developers to develop sustainable projects which reflect Darwin's lifestyle

Outcome

1.2 Effectively engage with Community

Key Strategies

1.2.1 Increase involvement of the Business Community for developing solutions to local issues

LEGAL IMPLICATIONS:

This item is not considered "Confidential".

PUBLIC RELATIONS IMPLICATIONS:

Not assessed.

COMMUNITY SAFETY IMPLICATIONS:

Not assessed.

DELEGATION:

To the Chief Executive Officer to provide standard Development Permit conditions as appropriate.

CONSULTATION:

Through the Development Application statutory process.

PROPOSED PUBLIC CONSULTATION PROCESS:

Nil

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PURPOSE HALL AND MEDICAL CLINIC

APPROPRIATE SIGNAGE:

Not Applicable.

RECOMMENDATIONS:

THAT the Committee resolve under delegated authority:-

- A. THAT Report No 09TS0148 PL:sv, Subject Lot 9260 (77) Lakeside Drive Brinkin Town of Nightcliff - Proposed Development - Sports Education Facility, Multi-Purpose Hall and Medical Clinic, be received and noted.
- B. THAT Council endorse the letter to the Development Consent Authority in **Attachment B** to Report Number 09TS0148 PL:sv.

PETER LINDWALL
STRATEGIC TOWN PLANNER

DROSSO LEKELIS
A/GENERAL MANAGER INFRASTRUCTURE

Any queries on this report can be directed to Peter Lindwall on 8930 0528.or email p.lindwall@darwin.nt.gov.au

File Number: PA2009/1294
Exhibition Period: 04/09/2009

Consent Authority: Darwin
To: 18/09/2009

PROPOSED DEVELOPMENT SITE

ADDRESS: Lot 09260 Town of Nightelliff (77 Lakeside Dr, Brinkley)

ZONE: Community Purpose

PROPOSAL: Sport facility and medical clinic

APPLICANT: Charles Darwin University

CLOSING DATE FOR SUBMISSIONS: 18 SEPTEMBER 2009 – 4PM CST

FOR DETAILS PHONE: 8999 8966

LODGE SUBMISSIONS AT:

GPO Box 1680	or	PO Box 2130	or	PO Box 1171
DARWIN NT 0801		ALICE SPRINGS NT 0871		KATHERINE NT 0851
Fax 8999 6055		Fax 8951 9222		Fax 8973 8666

EXHIBITION SIGNAGE INSTRUCTIONS

You have been provided with signage to be placed on the development site as required by the *Planning Act and Regulations* (see overleaf for extract of regulations).

Please read and follow the instructions below -- If you are unclear on any of the instructions please ask Development Assessment Services staff.

1. Sign/s must be completed with the details specified above;
2. Use a waterproof, black permanent marker;
3. Use block letters;
4. Text must be clear and large (about the same size as the printing on the sign);
5. Sign/s must be placed on the site and must be clearly visible from the nearest public road (preferably on the boundary);
6. Sign/s should be secured with wire to the boundary fence, star pickets or similar to avoid wind damage or unauthorised removal;
7. Sign/s must be in place on the site by 8.00 am on the first day of the exhibition period;
8. Sign/s must remain in place for the entire exhibition period (if lost or damaged during this time please contact Development Assessment Services staff immediately to arrange for the collection of replacement signs);
9. It is the responsibility of the applicant to ensure the maintenance of the signage for the full exhibition period;
10. After the exhibition period is complete, sign/s must be removed and disposed of responsibly and the "Unattested Declaration" provided with the signs completed and returned to Development Assessment Services staff.

NOTE: If the signage is not erected and displayed for the full exhibition period in accordance with these instructions the development application will require re-exhibition. This will involve payment of a further \$240 advertising fee and may delay the date on which the application is considered by the consent authority.

Extract from Planning Regulations as in force at 1 July 2008

6 Public notice of development application

- (1) For the purposes of section 47 of the Act, the public are to be notified of a development application by -
- (a) the publication of a notice in accordance with regulation 7 in a newspaper circulating in the Territory generally or in an area in which is situated the land to which the notice relates; and
 - (b) the placement on or in the vicinity of the land of the number of notices in accordance with regulation 7 that the consent authority thinks fit, for the whole of the period specified in the notice in accordance with regulation 7(f).
- (2) Notice is not required to be placed on land in accordance with subregulation (1)(b) if in the opinion of the consent authority
- (a) it is impractical to comply with the subregulation because of the location of the land; and
 - (b) the notice placed in a newspaper under subregulation (1)(a) is such that all persons likely to be affected by the development to which the development application relates could reasonably be expected to have notice of it.
- (3) Notice is not required to be placed on land in accordance with subregulation (1)(b) if the development application is made only in respect of a sign.
- (6) The notice to be placed on land in accordance with subregulation (1)(b) is to be of sufficient size and so placed that a person with normal unimpaired eyesight is able, without optical assistance, to read it from the boundary of the public road nearest to the land.

8 Notice not to be removed before end of exhibition period

A person must not remove a notice placed on land in accordance with regulation 6(1)(b) until after the end of the period specified in the notice under regulation 7(f).

Penalty: 10 penalty units.

NORTHERN TERRITORY OF AUSTRALIA

Planning Act

Application for Development Permit - section 46

1. LAND INFORMATION

LOCATION OF PROPOSED DEVELOPMENT

Town/Hundred/Locality: TOWN OF NIGHTCLIFFParcel Number(s) and/or Unit number: LOT 9260

LTC Plan:

Number and Street Name: LAKESIDE DRIVE, ALAWA.Zone: CP

LAND OWNER INFORMATION

Is the applicant the land owner? YES NOOwner's name(s): CHARLES DARWIN UNIVERSITYPostal address: ELLENBOLWAN DRIVECASUARINA DARWIN NT 0909Attach owner's authorisation if applicant is not the land owner
SEE ATTACHMENT C/D/E FOR FURTHER INFORMATIONATTACHMENT A
ONE (1) COPY

2. APPLICANT INFORMATION

APPLICANT

ILIS Customer no. (if known): CHARLES DARWIN UNIVERSITY

Company name (if applicable):

ABN or ACN (if applicable): 54 043 512 649

Title: Mr Mrs Miss Ms Dr Other:

Family name(s): SMITHGiven name(s): KENNETH WILLIAM

Preferred name(s):

Postal address: ELLENBOLWAN DRIVE
CASUARINA DARWIN NT 0909Telephone no. (business hours): 08 8946 6309Facsimile no.: 08 8446 7104E-mail address: Ken.Smith@cdwu.edu.au

CONTACT PERSON FOR FURTHER INFORMATION (OR WRITE 'AS ABOVE')

ILIS Customer no. (if known):

Company name (if applicable): MKCA ARCHITECTS PT.ABN or ACN (if applicable): 49 109 627 836Title: Mr Mrs Miss Ms Dr Other:Family name(s): CONNOLLYGiven name(s): ROSSPreferred name(s): ROSSPostal address: CPO BOX 5246
DARWIN NT 0801Telephone no. (business hours): 89 273378Mobile no.: 047 015835Facsimile no.: 89 273378E-mail address: r.connolly@mkca.com.auNOTE:
ALL CORRESPONDENCE
WILL GO TO THE PERSON
AND ADDRESS INDICATED
HERE.

3. DEVELOPMENT / PROPOSAL

EXISTING LAND USE	EDUCATIONAL ESTABLISHMENT (CHARLES DARWIN UNIVERSITY)
BRIEF DESCRIPTION OF DEVELOPMENT/PROPOSAL	CONSTRUCTION OF SPORTS FACILITIES AND MEDICAL CLINIC
Value of works (excluding land):	\$7,300,000 -- 00.
VARIATIONS SOUGHT:	

4. STATEMENT OF INTENT OF USE OR DEVELOPMENT PROPOSAL

SEE ATTACHMENT GUIDE FOR FURTHER INFORMATION

ATTACHMENT B
TEN (10) COPIES

5. DIMENSIONED PLANS

SEE ATTACHMENT GUIDE FOR FURTHER INFORMATION

ATTACHMENT C
TEN (10) COPIES

6. SUBDIVISION / CONSOLIDATION

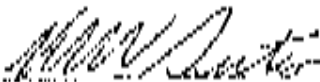
Site area (m ²):	
Number of existing lots:	
Number of lots to be created:	
Existing buildings on site:	YES/NO
If YES, attach statement of compliance of existing buildings) with the Building Act following subdivision/consolidation.	with this
SEE ATTACHMENT GUIDE FOR DETAILED INFORMATION	

ATTACHMENT D
ONE (1) COPY

7. APPLICANT TO SIGN AND/OR AFFIX SEAL

The application is complete and all required documentation is attached.

CHARLES DARWIN UNIVERSITY



311 X1 09

Signature(s)

Date:

PRIVACY NOTE:

The Department of Planning and Infrastructure, on behalf of the Minister, is authorised under the Planning Act to collect the information on this form, or otherwise provided by you, to consider a proposal to grant a Development Permit. Failure to provide the information in full may result in delays to processing of the application.

Some of the personal information provided by you on this application may be publicly available, as part of a public exhibition process. This information is also regularly provided to other NT Government agencies, the Australian Valuation Office, local governments and Commonwealth Government Departments and agencies, as required by law.

Collection of personal information on this form is done in accordance with the privacy legislation contained within the Information Act 2002 (NT). For more information please refer to the Department of Planning and Infrastructure privacy statement located at www.dpi.nt.gov.au

Any personal information provided can be subsequently accessed by you on request. If you have any queries please contact the Manager Development Assessment Services on 0899 63119.

**PROPOSED SPORT AND RECREATION FACILITIES
for CHARLES DARWIN UNIVERSITY**

Lot 9260 Lakeside Drive, Alawa, NT

Planning Report

Prepared by
MKEA Architects P/L

Job No. MA991

Date: August 2000

Introduction

This Planning Report is submitted as part of the application for Development Consent associated with the proposed Sport and Recreation Facilities at Charles Darwin University, Casuarina Campus.

The proposed development comprises a gymnasium, a multipurpose sports room, sports science research and teaching facilities and medical facilities, along with associated administrative facilities, changerooms etc. As part of an 'Education Establishment' the sports facility is a Permitted use in the applicable CP Zone, subject to compliance with the following NT Planning Scheme related clauses - 6.1, 6.5.1, 8.2 and 10.2. The medical clinic is a discretionary use in the zone, subject to the same clauses.

This report should be read in conjunction with the attached plans.

Site analysis

Site location and access

The subject site is located adjacent the Lakeside Drive entry to the campus, next to the 'Pirates Club' rugby facilities. The site currently accommodates a change shed and is otherwise treed and paved.

The context of the site and its locality is shown at figure 1.



Figure 1: Site context and locality.

Source: Google Earth

Access to the site is currently from Henning Road, to the South of the site.

Surrounding development

Land uses surrounding the site include single residential to the southeast and north, across Lakeside Drive and Dropstone Road respectively, other sports facilities to the southwest, and the balance of the University Campus to the west. Refer to Figure 2, extracted from the 05 August 2009 NT Planning Scheme Zoning Map for Darwin.



Figure 8: NT Planning Scheme zoning map – Darwin (Palman crn).

Planning Issues

This proposal is for the construction of a 540 sq m extension to the existing Woolworths Supermarket, an 18.5 sq m extension to the existing Newsagency, relocate one, and install a second Automatic Teller Machine, along with associated additional covered carparking and access ways. The proposal does not change the use of the existing site, but provides the opportunity for the purchase of a larger range of products in each of the shops being extended, as well as the additional ATM facility.

Zone CP, Community Purposes- Development Controls

The NT Planning Scheme Zoning Table – Zone CP, establishes the requirements of the following clauses to be relevant to the assessment process:

Clauses - 6.1, 6.5.1, 8.2 and 10.2

Clause 6.1 General Height Control

Clause 6.1 establishes that the maximum height of a building in this zone shall not exceed 6.5m above ground level. The uppermost edge of the highest roof in the complex is designed at 6490mm above ground level.

The development complies with the requirements of clause 6.1.

Clause 6.5.1 Parking requirements

Clause 6.5.1.1 sets out the requirement for the provision of sufficient off street car parking to service the proposed use of a site.

Under the Table to clause 6.5.1, tertiary education establishments are required to provide 4 carpark per classroom, plus 1 for every six students, plus 2 additional places. A medical clinic is required to provide 4 parking spaces per consulting room.

It is submitted that the sports and recreation facilities are catering to the same standards that are being the rest of the campus, for whom carparking spaces already exist. The sports science research and teaching facility could be deemed a classroom. Based on a maximum student group of 21, this area would be assessed as 6.3 spaces (11 21/6 = 12). The administration area of the facility measures 80 sq m, and rated an office at 3 places per 100sq m, requires an additional 1.8 spaces.

The medical clinic has 4 consulting rooms, indicating the need for 16 carparking spaces.

In summary, the clear requirements are for $6.5 + 1.8 + 10 = 24.3$ spaces.

The proposal includes the construction of 33 new carparking spaces, making some additional provision for staff and students using the facility other than those catered for in the above. The attached plans depict the proposed car parking arrangements, which provide the required qualitative features - that is, the appropriate bay size (min 2.5m x 5.5m), gradient (essentially flat), coated (bituminised) and lined/curbed, appropriately drained and with appropriate access width (min 6m side width). A professional civil engineering practice is engaged to ensure that all aspects of the car parking and associated drainage and access are designed to meet all relevant Australian Standards, and the statutory requirements of the Darwin City Council.

Subject to acceptance that the majority of users are existing staff / students for which parking accommodation already exists, the development complies with the requirements of clause 6.5.1.

Clause 8.2 Commercial ... Developments in Zones ...C.

This clause provides for certain qualitative design features to be applied to development proposals, which are addressed as follows in the present proposal:

8.2.2(a) **Preservation of Views** - there is negligible impact on existing views, with no significant buildings or places of architectural, landscape or cultural significance in the area to be viewed.

8.2.2(b) **Sympathetic Design** - the proposal is, like the buildings in the immediate vicinity, single storey, and employs a similar palette of materials.

8.2.2(c) **Minimise Expanse of Blank Walls** - there are very few blank walls in the design of the proposed development.

8.2.2(d) **Variety and Interest at Street Level, and Passive Surveillance** - The complex provides an interesting and active complement to the campus entry - there will be an awareness of the activities taking place in the gymnasium without the users feeling as though

they are 'on show'. Pathways are kept open to the road for passive surveillance, and carpark are overseen from various staff areas.

8.2.2(e) Energy Efficiency through Passive Climate Control Measures – The major functional areas (the gymnasium, multipurpose room and sport science facility, are designed for cross ventilation at high and low levels, with the intent that when outside conditions are suitable they can be used without airconditioning. Control systems for louvres will be interlocked with the airconditioning system to further facilitate this choice being exercised. Care has been exercised to control direct sun penetration through windows by fitting sunshading devices.

8.2.2(f) Noise Control – The proposed facilities will not generate significant noise – associated airconditioning plant will be located in a compound to the northeast of the site. This compound will have solid walls screening plant noise from the residential area across Lakeside Drive.

8.2.2(g) Conceal Service Ducts etc – There will be no exposed services visible from the street / ground level.

8.2.2(h) Reflective Surfaces – The walls and roof will be light coloured, but not highly reflective.

8.2.2(i) Vehicle Movements – The attached documents show the proposed modification of the entry driveway to allow for vehicles turning into the proposed carpark. A queuing space has been provided that allows other vehicles entering the campus to pass by without being held up. The design, undertaken by SKM Engineer, follows a traffic study of the area utilising recent data from DCC.

8.2.2(j) Pedestrian Links – The proposal provides a safe pedestrian link from Lakeside Drive into the campus.

8.2.2(k) Protection from sun and rain – while the footpaths are open, the proposal provides 'colonnade' in the form of entry verandahs and lobbies where people can shelter in the event of sudden rain.

8.2.2(l) Loading Bays and Refuse Collection – Loading bays will not be required for these facilities (other than the ambulance parking bay provided.) while rubbish management within the CDU campus will remain as presently – a single centrally placed screened bulk bin collected frequently by commercial contract.

8.2.2(m) Landscaping – The proposal is located in an area that presently has numerous mature African Mahogany trees. While as many of these will be preserved at present as is possible, a number will be removed to facilitate the development. The client has engaged Cleanton Associates to ensure that the 'green and leafy' entry to the campus is retained, and this will be achieved in the medium term as new planting takes the place of the removed mahoganies.

8.2.2(n) Toilets, Childminding and Parenting Facilities – The proposal contains appropriate toilet and change facilities, and it is noted it is located opposite the campus childcare facilities.

8.2.2(o) Bicycle access, storage and shower facilities – CDU encourages the use of bicycles, and the proposal includes bike parking facilities. Showers are provided in the general changerooms and also in the staff facilities.

In our view, the proposal gives appropriate regard to the requirements of clause 8.2.

Clause 10.2 – Clearing of Native Vegetation in Certain Zones

This clause controls the clearing of native vegetation. The proposed site of this project has no remnant native vegetation, having been cleared and cultivated long ago. The effort will aim to maintain the quality of the landscape in the area and to this end, the consultant team includes professional landscape advisors, Clouston Associates.

Clause 10.2 is not applicable to this proposal

Merits

This proposal provides a significant improvement to the amenity for staff and students of the University, as well as to community groups and the public who access the facilities by arrangement. The scale of the proposal is consistent with the area and the organised recreational use of this area will activate an area presently underutilised, poorly lit and possibly supportive of antisocial behaviour. The proposed clinic is likely to be accessible to the residents of nearby areas.

Construction

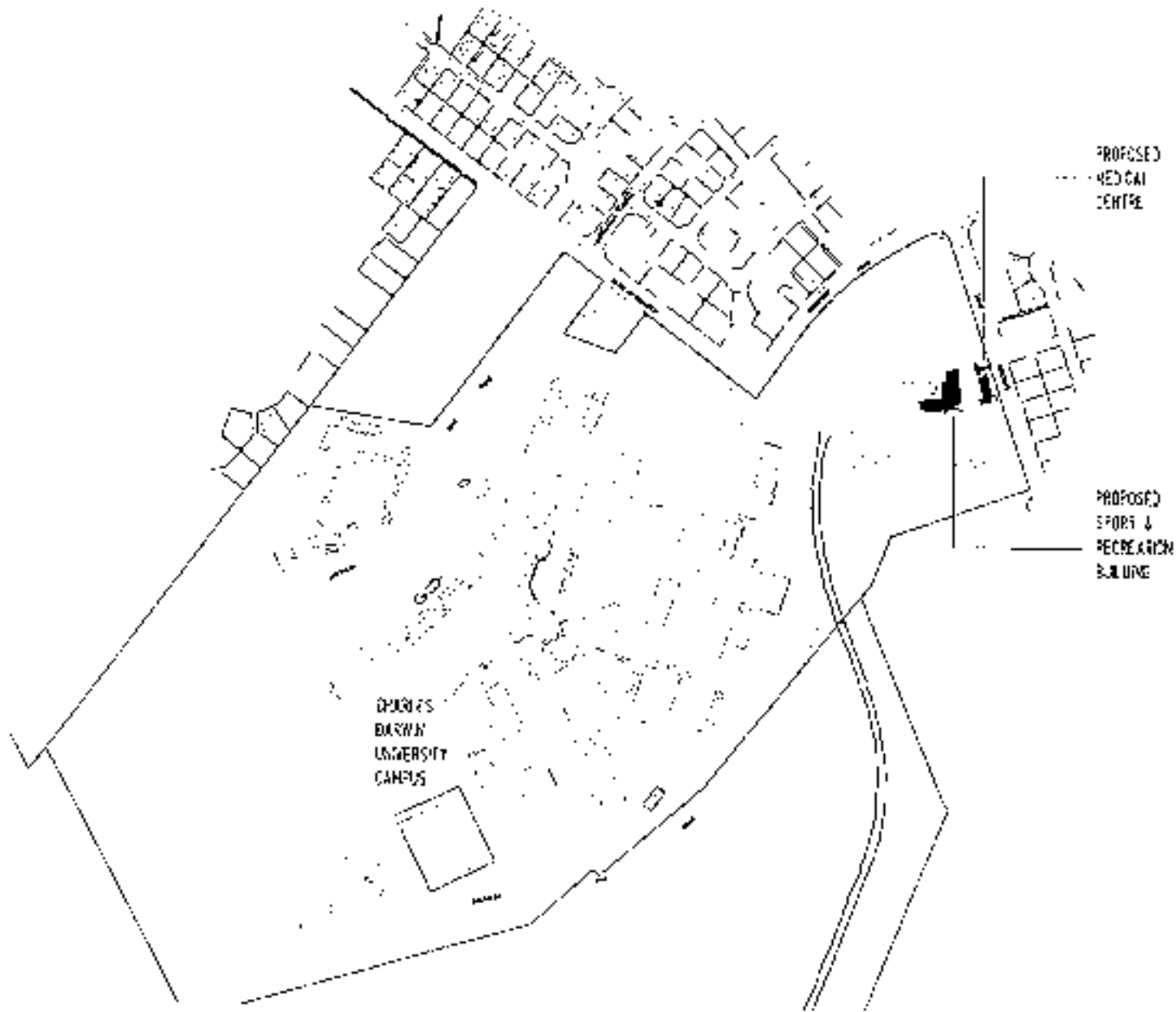
Floors will be reinforced concrete slabs with appropriately selected finishes to suit function. Steel framed structures will be infilled with framed and/or masonry panels, with extensive glazing and sunscreens. The simple roofs are steel framed, and sheeted with colorbond steel.

Conclusion

We believe that proposed development, together with the proposed landscape treatments, are of a scale and architectural style and character that will fit very appropriately in the area.

The proposed development substantially complies with the requirements of the NT Planning Scheme. The zoning specifically provides for these types of facility on this particular site, and the proposal is consistent with community experience and expectations.

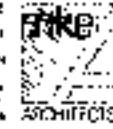
The proposal is recommended for development consent.



SITE / LOCALTY PLAN
SCALE 1:500 @ A1



ARCHITECTURE
PROJECT MANAGEMENT
PLANNING DESIGN
LANDSCAPE ARCHITECTURE
ENVIRONMENTAL DESIGN
INTERIOR DESIGN
VISUALIZATION

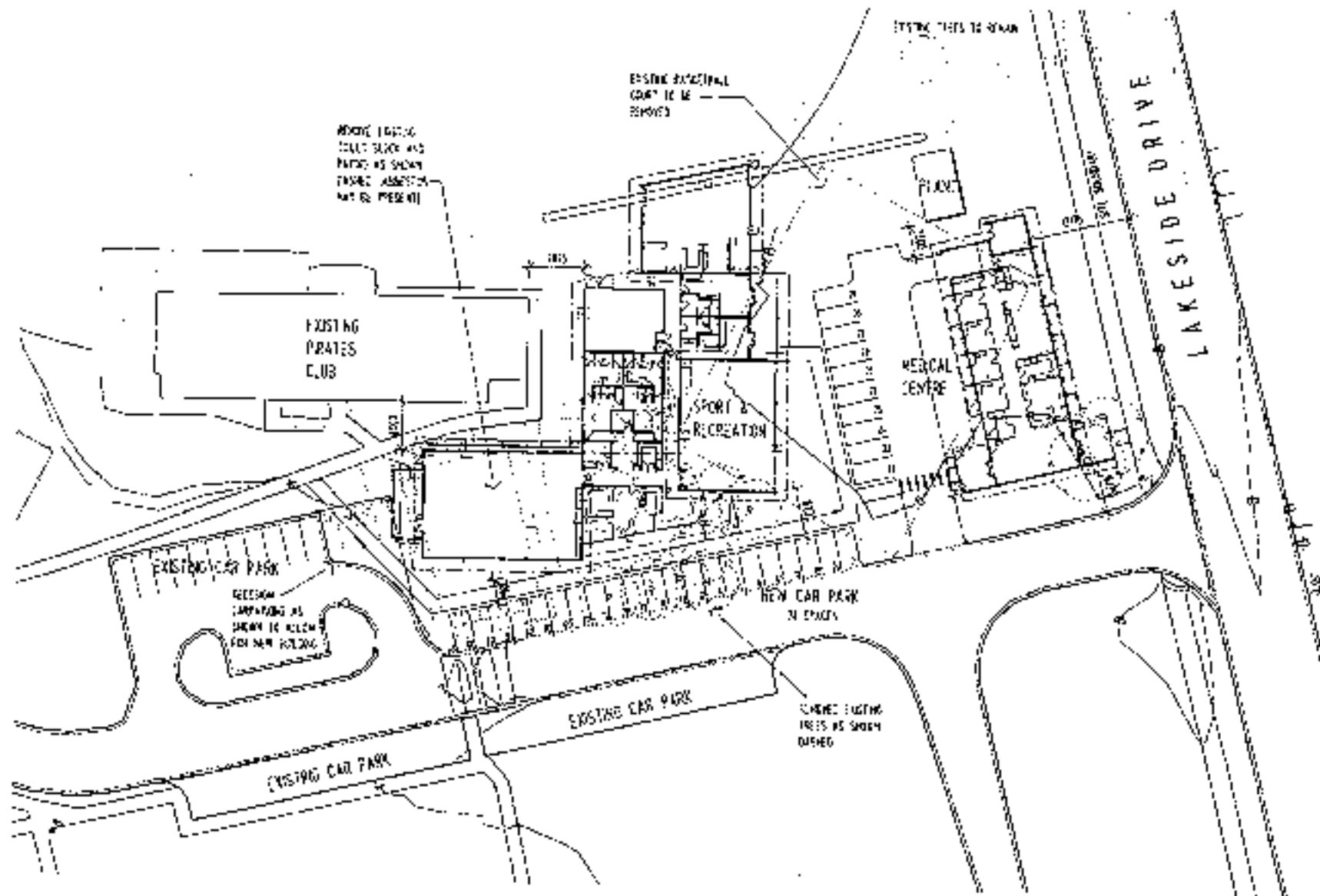


PRELIMINARY
SITE / LOCALTY PLAN
PROPOSED SPORT, REC. & MEDICAL FACILITY
CHARLES DARWIN UNIVERSITY
CASUARINA CAMPUS
CHARLES DARWIN UNIVERSITY

23

1	SCALE 1:500 @ A1
2	DATE: 10/10/2011
3	PROJECT: CASUARINA CAMPUS
4	SHEET: 23

© 2011 FINE ARCHITECTS ALL RIGHTS RESERVED	
DATE: 10/10/2011	SCALE: 1:500 @ A1
PROJECT: CASUARINA CAMPUS	SHEET: 23
CLIENT: CHARLES DARWIN UNIVERSITY	NO. 991-40
	01



PART SITE PLAN
SCALE 1:500 @ A1



NO.	DESCRIPTION	DATE
1	ISSUED FOR NEW PLANS	2010
2	REVISION	2010
3	ISSUED FOR NEW PLANS	2010

ARCHITECTS
PROJECT ARCHITECTS INC.
INTERIOR DESIGN
100 WATERLOO STREET
SUITE 1000
WATERLOO, ONTARIO N2L 2G9
TEL: 519-885-1234

PRELIMINARY
PART SITE PLAN
PROPOSED SPORT, REC. & MEDICAL FACILITY
CHARLES DUTCH UNIVERSITY
CASWORTH CAMPUS

24

DATE	BY	CHECKED
2010-08-10	J. BROWN	J. BROWN
2010-08-10	J. BROWN	J. BROWN
NO.	DESCRIPTION	DATE
1	ISSUED FOR NEW PLANS	2010
2	REVISION	2010
3	ISSUED FOR NEW PLANS	2010

1. VERIFY ALL EXISTING LVL. LEVELS AT THE SITE BEFORE COMMENCING ANY ON SITE WORKS
2. ALL WORKSHOPS TO COMPLY WITH RELEVANT AS/NZ STANDARDS BY SEAFWARDS SCHOOL OF AUSTRALIA
3. ALL WORKS TO BE DONE TO COMPLY STANDARDS PREPARED BY THE AUSTRALIAN GOVT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURE DESIGN (SECTION 1.3.4) WITHIN APPLICABLE PROGRAM AND SUPPORT V. ALL NECESSARY C. WORKS ARE TO BE INSTALLED
5. ALL WORKS TO BE DONE TO COMPLY WITH AS/NZS
6. ALL WORK AREAS & WALLS TO BE FIVE METERS MINIMUM TO THE ROAD FOR SHOWERS, & BATHS, SHOWERBATHS TO SHOWERS, BATHING ETC.
7. FLOOR FINISHES TO COMPLY WITH AS/NZS
8. PROVIDE SUFFICIENT LEVEL COVERS, DIMENSIONS & FINISHES AND UNITS TO ALL FACILITIES
9. LIFT & STAIRS RAMPWAYS, STAIRS & LAMINATES ARE TO COMPLY WITH CODES OF THE BCA FOR JOBS SITES
10. PROVISION FOR DRINKING WATER ARE TO BE PROVIDED WITH SINKS TO EACH ATTACHED BY BUILDING CERTIFIED
11. DOWN DRAINAGE TO ALL TOILETS TO COMPLY WITH CODES OF THE BCA
12. PROVISION FOR STORMWATER MANAGEMENT SHALL BE PROVIDED IN ACCORDANCE WITH AS/NZS 4539:2002

DRAWING REFERENCE

PART FLOOR PLAN A	REF: ONE 001
PART FLOOR PLAN B	REF: ONE 002
PART FLOOR PLAN C	REF: ONE 003
PART FLOOR PLAN D	REF: ONE 004
PART FLOOR PLAN E	REF: ONE 005
PART FLOOR PLAN F	REF: ONE 006
PART FLOOR PLAN G	REF: ONE 007
PART FLOOR PLAN H	REF: ONE 008
PART FLOOR PLAN I	REF: ONE 009

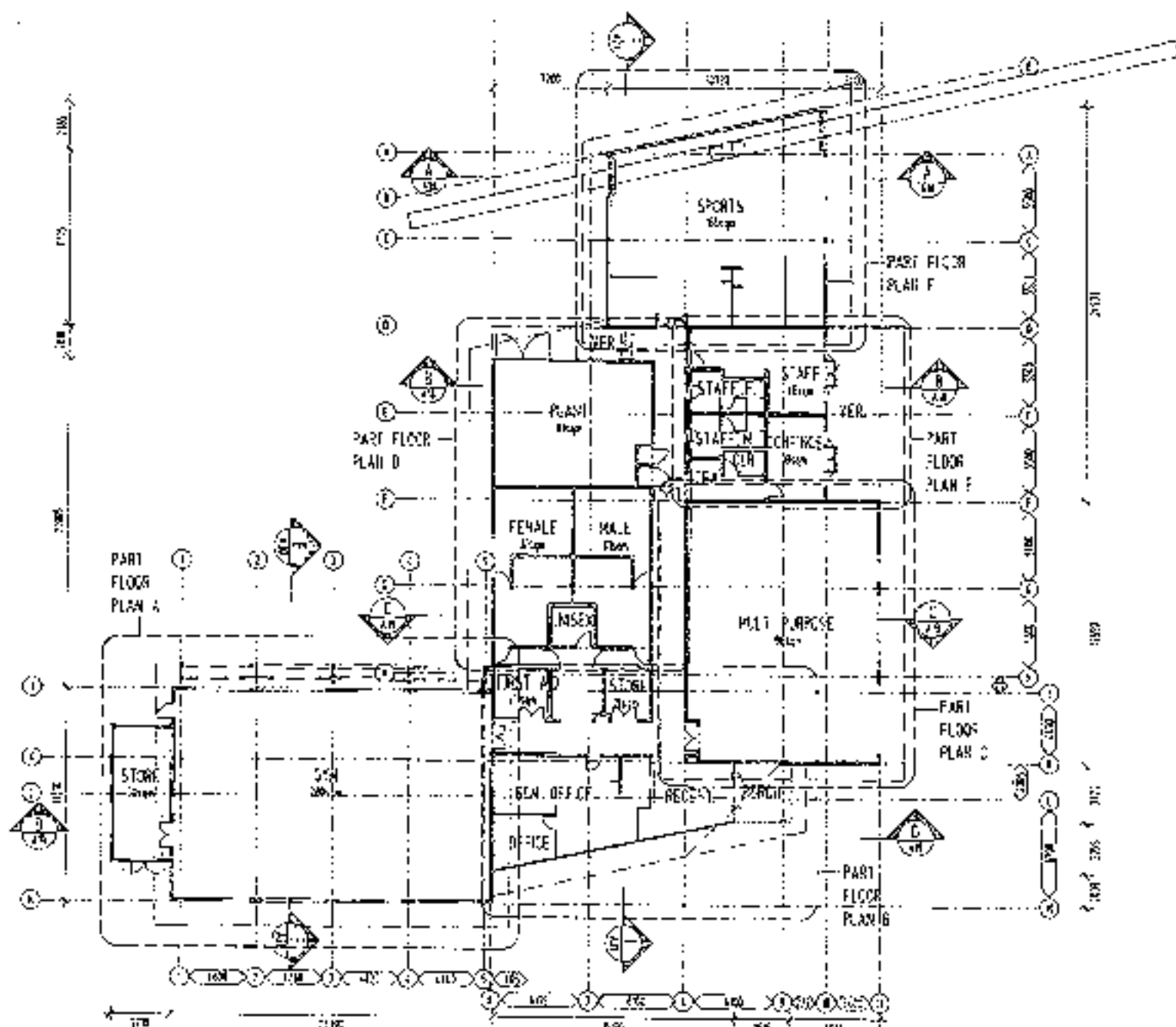
DATE	ISSUED FOR	DATE
01/10/2011	FOR APPROVAL	01/10/2011
PROJECT OFFICE		

PRELIMINARY

FLOOR PLAN - SPORT & REC
 PROPOSED SPORT, REC. & MEDICAL FACILITY
 CHARLES DARWIN UNIVERSITY
 CASUARINA CAMPUS
 CHARLES DARWIN UNIVERSITY

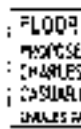
25

DATE	ISSUED FOR	DATE
01/10/2011	FOR APPROVAL	01/10/2011
PROJECT OFFICE		



FLOOR PLAN - SPORT & REC
 PART 1 - 25 of 31

MANAGEMENT
 PROJECT MANAGEMENT
 PROJECT OFFICE
 1/10/2011
 1/10/2011

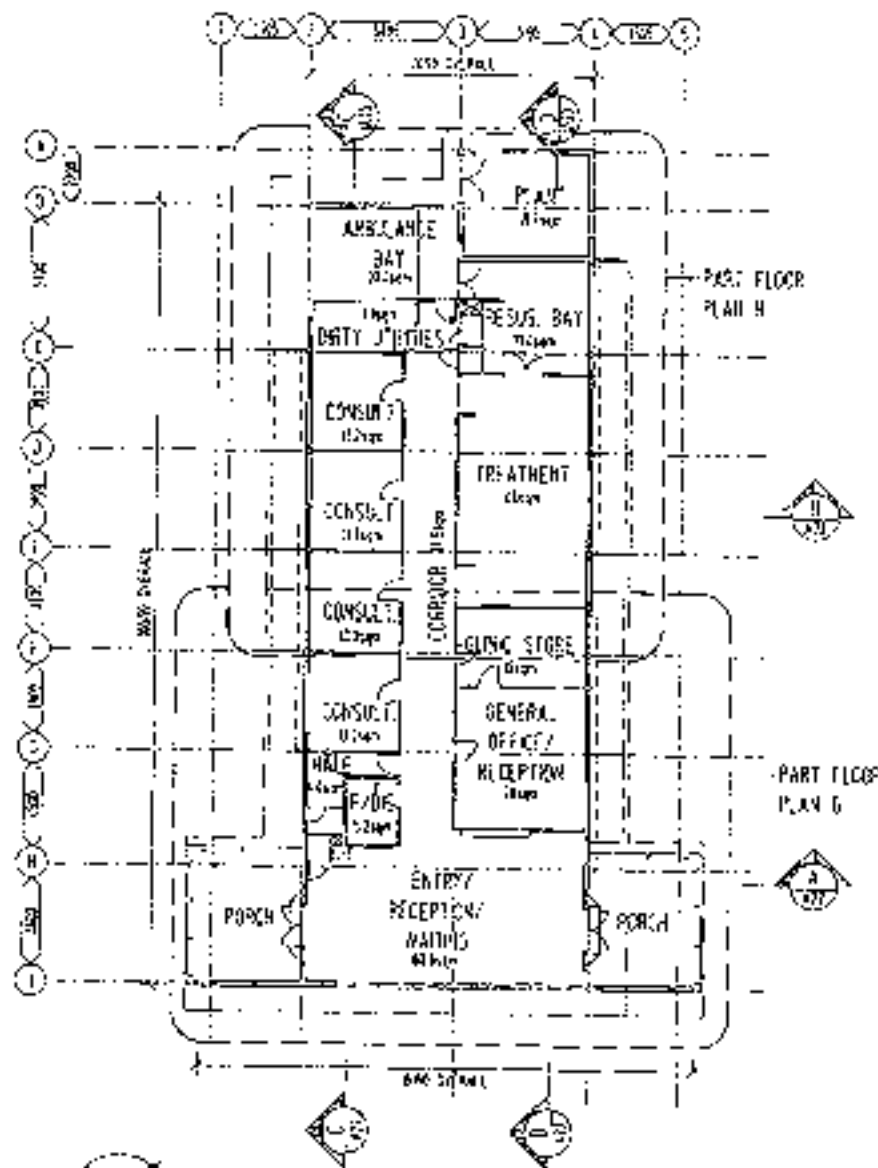


ARCHITECTS

- 1 VERIFY ALL DIMENSIONS AND LEVELS AT THE SITE BEFORE CONSTRUCTION AND ON SITE WORKS SHALL BE REFERENCED TO COMPLY WITH RELEVANT AND STANDARDS BY STANDARDS SPECIFIC TO AUSTRALIA
- 2 THE NOTES TO BE DEEMED TO COMPLY STANDARDS PREPARED BY THE IN DEPT OF WATER
- 3 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURE DURING CONSTRUCTION AND PROVIDE ADEQUATE PROTECTION AND SUPPORT TO ALL EXISTING AND ADJACENT AREAS TO BE EXCAVATED
- 4 NATURAL VENTILATION TO BE PROVIDED TO ALL AREAS AND SYSTEM TO BE INSTALLED AS PER
- 5 ALL OPEN FLOORS & WALLS TO BE MADE PROPERLY FINISHED TO SUIT HIGH FLOOR FINISHES & ROOM REQUIREMENTS TO SUIT FINISHES
- 7 ALL NATURAL LIGHT TO BE PROVIDED WITH ASBESTOS
- 8 PROVIDE SUFFICIENT TONGUE JOINTS TO PROVIDE A TIGHT AND DENSE JOINT FINISHES
- 9 LAUNDRY, WASH, DRYING, & PRESSING FACILITIES TO COMPLY WITH SPECIFIC OF THE CODE FOR FIRE RISK
- 10 PROVISION FOR DISABLED PERSONS WILL INCLUDE WALKS, ONE PARKING & STAIRS ARE TO BE IN ACCORD WITH AUSTRALIAN REFER TO STANDARDS FOR BUILDING CONSTRUCTION TO BE PROVIDED TO BE IN ACCORD TO COMPLY WITH CODE OF THE ACT
- 11 PROVISION FOR SIGNIFICATION MANAGEMENT SHALL BE PROVIDED IN ACCORDANCE WITH STANDARDS

DRAWING REFERENCE

REF. NO. 1001	REF. NO. 1002	REF. NO. 1003	REF. NO. 1004
REF. NO. 1005	REF. NO. 1006	REF. NO. 1007	REF. NO. 1008
REF. NO. 1009	REF. NO. 1010	REF. NO. 1011	REF. NO. 1012
REF. NO. 1013	REF. NO. 1014	REF. NO. 1015	REF. NO. 1016



FLOOR PLAN - MEDICAL
SCALE: 1/8" = 1'-0"

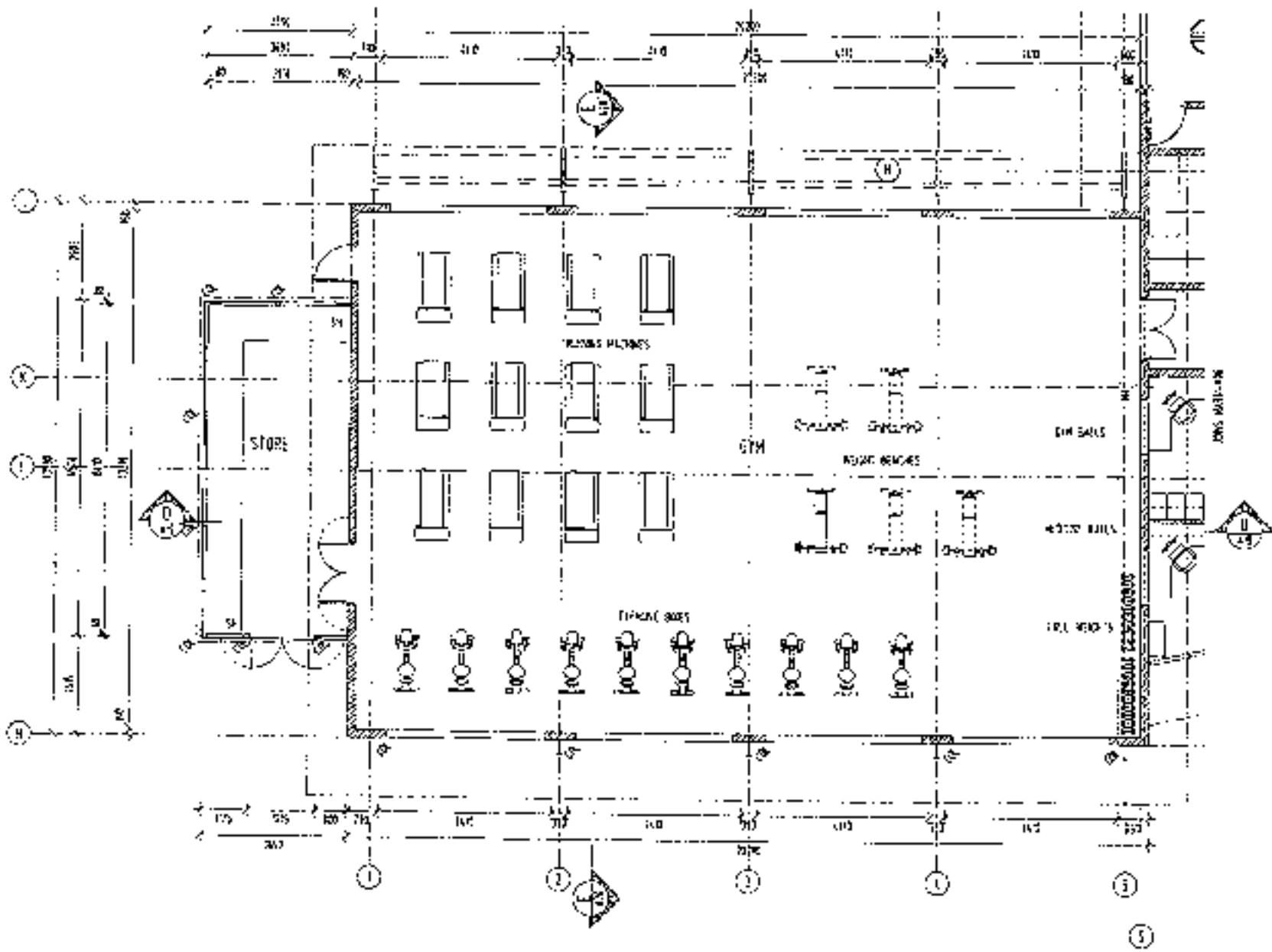
PRELIMINARY

ARCHITECTURE
PROJECT MANAGEMENT
PLANNING DESIGN
CONSTRUCTION
1000 North Street
Suite 100
Melbourne VIC 3000
Australia
Tel: 03 9412 3400
Fax: 03 9412 3401
www.pmk.com.au



FLOOR PLAN - MEDICAL
PROPOSED SPORT, REC. & MEDICAL FACILITY
CHARLES DARWIN UNIVERSITY
CASUARINA CAMPUS
DRAWING NUMBER: 26

DATE: 10/10/2011	BY: [Signature]	SCALE: 1/8" = 1'-0"
DATE: 10/10/2011	BY: [Signature]	SCALE: 1/8" = 1'-0"
DATE: 10/10/2011	BY: [Signature]	SCALE: 1/8" = 1'-0"
DATE: 10/10/2011	BY: [Signature]	SCALE: 1/8" = 1'-0"



- 200 SERIES ELEVATORS
- 200 SERIES STRUCTURAL FULL HEIGHT WALL TO UNDERSIDE OF ROOF
- 75 STEEL STUD ROOFING WALL
- 75 STEEL STUD FULL HEIGHT WALLS TO UNDERSIDE OF ROOF (WALL TO BE CONSIDERED IN ROOF LOAD CALCULATIONS)
- FULL HEIGHT 15 STEEL STUD ROOFING WALL TO UNDERSIDE OF ROOF
- STRUCTURAL COLUMN
- STRUCTURAL SECTION
- CEILING
- WOOD MEMBER LOCATION
- DOOR FRAME LOCATION
 SF - SWPT. L. REG. CENTER
 W - REG. CENTER
- ENTRANCE
- ONE-LEGGED CAST-IRON WATER CHUT
- DRAINAGE SIPHON
- SINK
- PLUG GASKET
- VAN HOOK SEAL
- ICE STORAGE PANEL
- FLOOR WASTE
- HAND WASH
- LOCKERS
- MASTER SWITCHBOARD
- MAILBOX
- DRESSING SHELF
- RECEPTION COUNTER
- REFRIGERATOR
- SEAT
- SHELF
- SHOWER
- SINK
- SUMP
- ILS
- TREATMENT BED
- WATER CLOSET
- UTILITY

11	6500 FOR THIS PROJECT	1/2" = 1'-0"
12	6500 FOR THIS PROJECT	1/2" = 1'-0"
13	6500 FOR THIS PROJECT	1/2" = 1'-0"

PART FLOOR PLAN A
 SCALE: 1/8" = 1'-0"

ARCHITECTURE
 PROJECT: CHARLES D. JAMIN
 WATER FOR DESIGN

TKNS
 ARCHITECTS

PRELIMINARY
 PART FLOOR PLAN A
 PROPOSED SPORT, REC. & MEDICAL FACILITY
 CHARLES D. JAMIN UNIVERSITY
 CHARLESTON CAMPUS
 CHARLES COUNTY, VIRGINIA

27

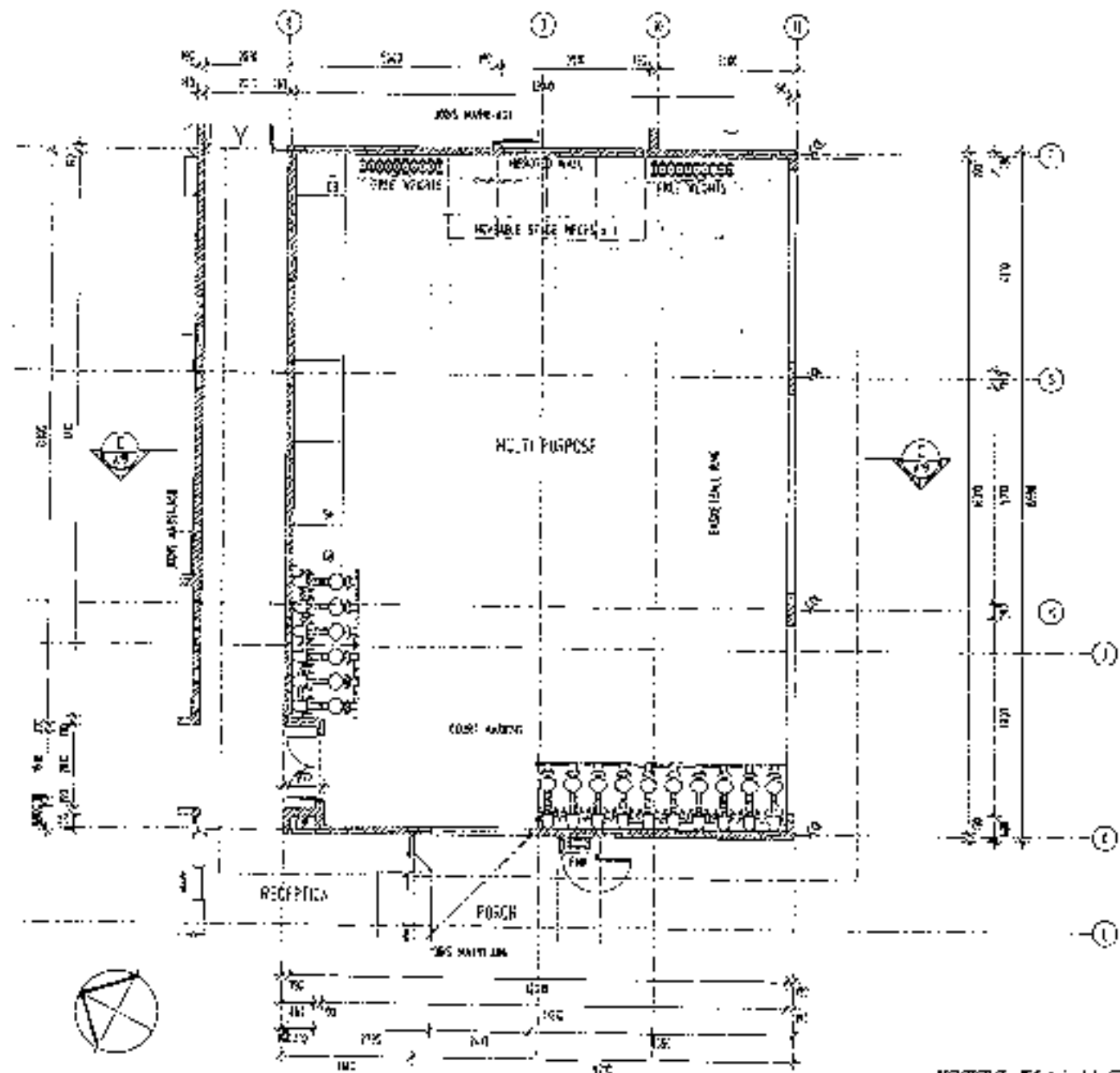
DATE: 11/11/99

SCALE: 1/8" = 1'-0"

NO. 01

MA 99-AGE 01

- 201 SERIES SULLYWORK
- 201 SERIES SULLYWORK FULL HEIGHT WALL TO UNDERFACE OF ROOF
- IS STEEL STUD FRAME WALL
- IS STEEL STUD FULL HEIGHT ROOFING WALL TO UNDERFACE OF ROOF EQUAL TO R20 JOIST SPACING
- FULL HEIGHT TO STEEL STUD FRAME WALL LINED WITH PLASTERBOARD TO UNDERFACE OF ROOF
- STRUCTURAL JOIN
- STRUCTURAL PLATE
- EQ. ARE
- WYOM. NUMBER LOCATION
- ROOM NUMBER LOCATION
 - EN - SPORTS & REC. CENTER
 - MC - MEDICAL CENTER
- 05 CUPBOARD
- 0600 CHANGING ROOMS WALLS ONLY
- 05 CLEANERS LUG
- 06 BENCH
- 07 FLOOR DRAIN
- 04 FIRE EXIST. PANEL
- 07 FIRE EXIST. PANEL
- 08 FLOOR WASTE
- 08 HAND BASH
- 08 LEXUS
- 08MS MASTER SWITCHBOARD
- 06 RAINWELL
- 05 OFFSHOOT SHELF
- 05 RECEPTION COUNTER
- 08 RECEPTION
- 05 SEA
- 05 SHELF
- 08 SHOWER
- 05 SAN
- 05 SLAB
- 05 TUB
- 05 TRENCH BED
- 06 WALKER CLOSET
- 05 WOODS



PART FLOOR PLAN C
SCALE: 1/8" = 1'-0"

ARCHITECTURE
PROJECT CONSULTANT
IN TRADE CANNON
AND ARCHITECTS

PRELIMINARY

PART FLOOR PLAN C
PROPOSED SPORTS REC. & MEDICAL FACILITY
CHARLES DARMAN UNIVERSITY
CAROLINA CAMPUS

29

NO.	REVISION	DATE

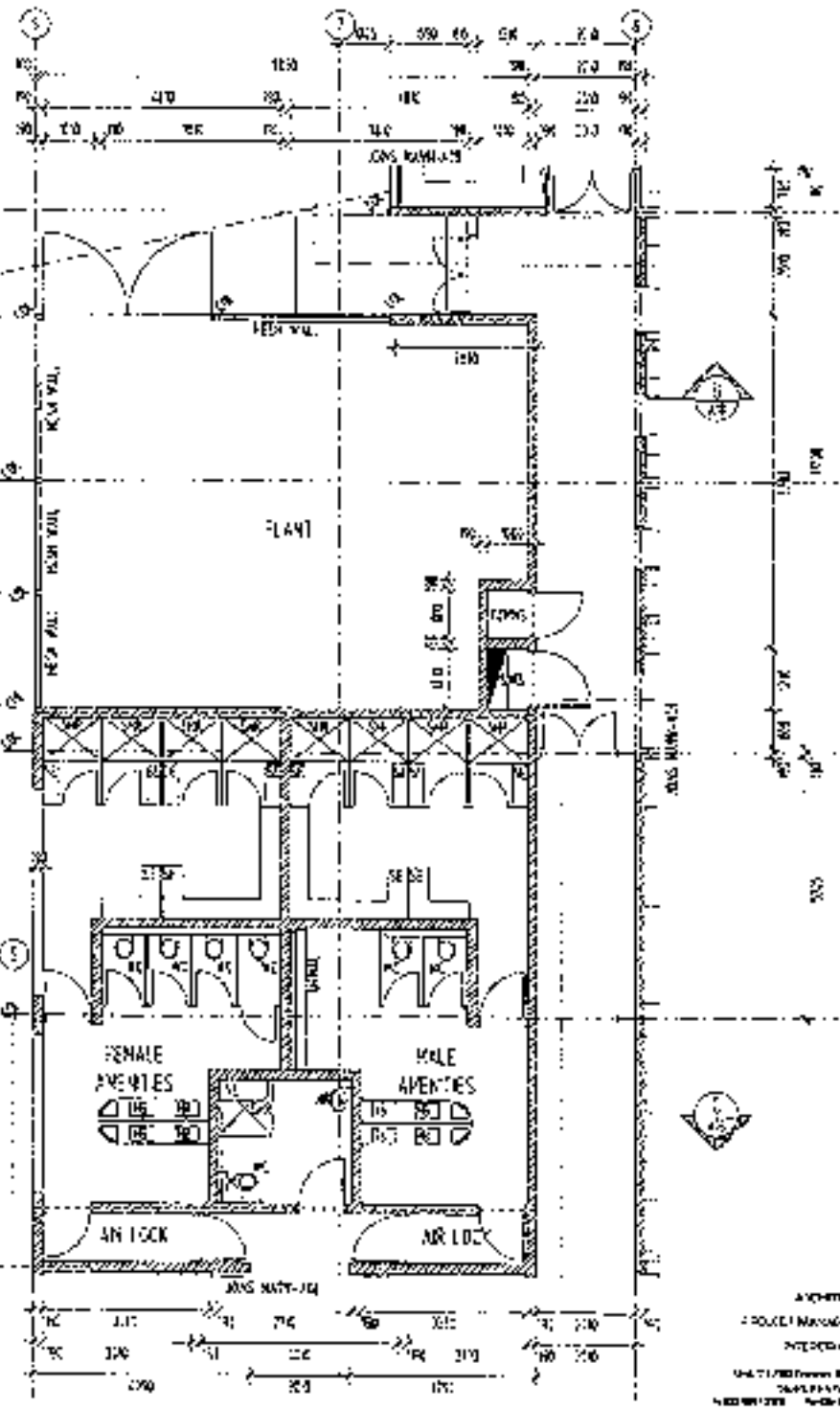
DATE	BY
01/15/2008	GERN

DATE	BY
01/15/2008	GERN

- 219 STEEL STRUCTURE
 - 219 SERIES BLOCKWAY FULL VIEW WALL TO INTERIOR OF ROOF
 - 25 STEEL STEEL FRAME WALL
 - 25 STEEL STEEL FULL VIEW EXTERIOR WALL TO INTERIOR OF ROOF JOINT TO CURB SIDE EXTERIOR
 - 25H HONEY TO STEEL STEEL FRAME WALL LINE WITH PLASTERBOARD TO INTERIOR OF ROOF
 - STRUCTURE COLUMN
 - STRUCTURE COLUMN
 - COLUMN
 - WINDOW HAZARD LOCATION
 - GYM HAZARD LOCATION
- CB CURBBOARD
 - CLW2 CAPPED DRAINAGE PATCH UNIT
 - CS CLEANERS SINK
 - RE RENCH
 - FC FLUNG CABINET
 - FMS FIRE MOUNTING POST
 - FH FIRE HAZARD PANEL
 - FW FLOOR WASTE
 - HS HAND SINK
 - LD LOADERS
 - MSR2 MIRROR (SWITCHBOARD)
 - MSR MIRROR
 - OS OVERHEAD SHEET
 - RE RECEIPTION CABINET
 - REP REFRIGERATION
 - SE SEAT
 - SH SHELF
 - SNS SINK
 - SC SINK
 - TC TAB
 - TST TREATMENT STO
 - WC WATER CLOSET
 - WS WOODSINK

11	USED FOR THE FINISH	0.00
22	ROOMS	6.14
	TOTAL ROOMS	

DATE:	10/10/2001	BY:	G. E. H. D.
CHECKED:		DATE:	
SCALE:	1/4" = 1'-0"	PROJECT NO.:	
OWNER:	MA 991- A08	ARCHITECT:	GI



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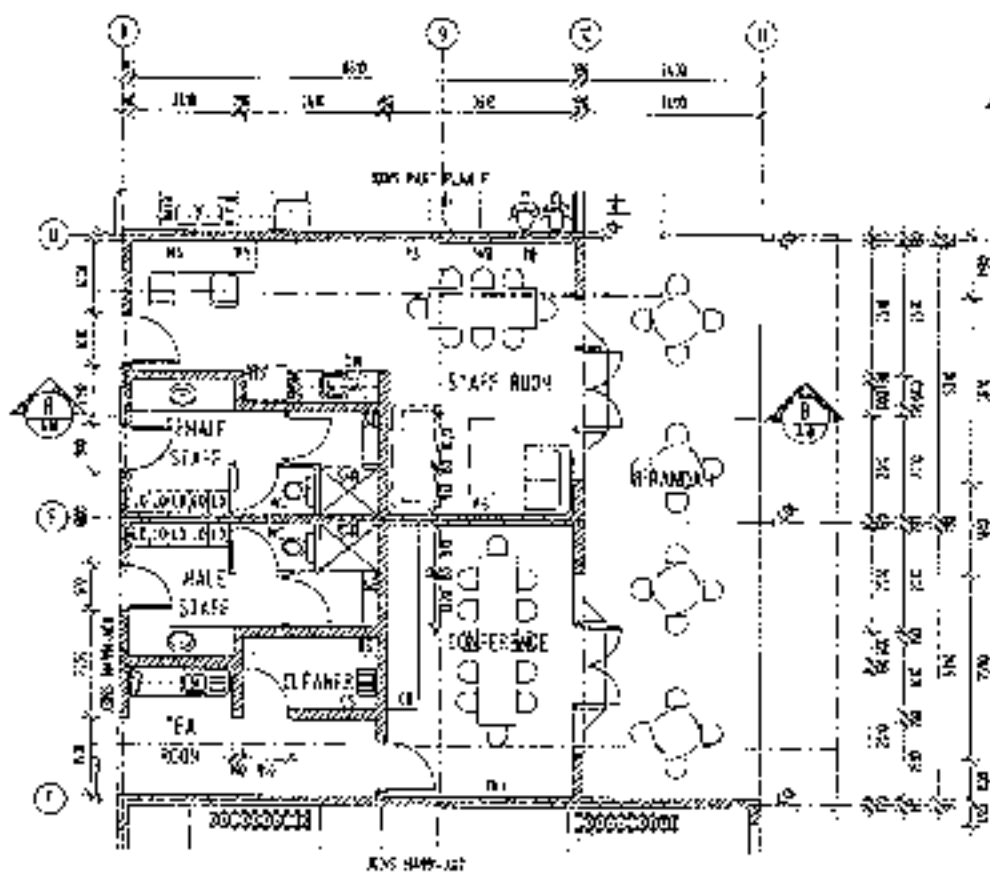


PART FLOOR PLAN D
PAGE 1 OF 4-13

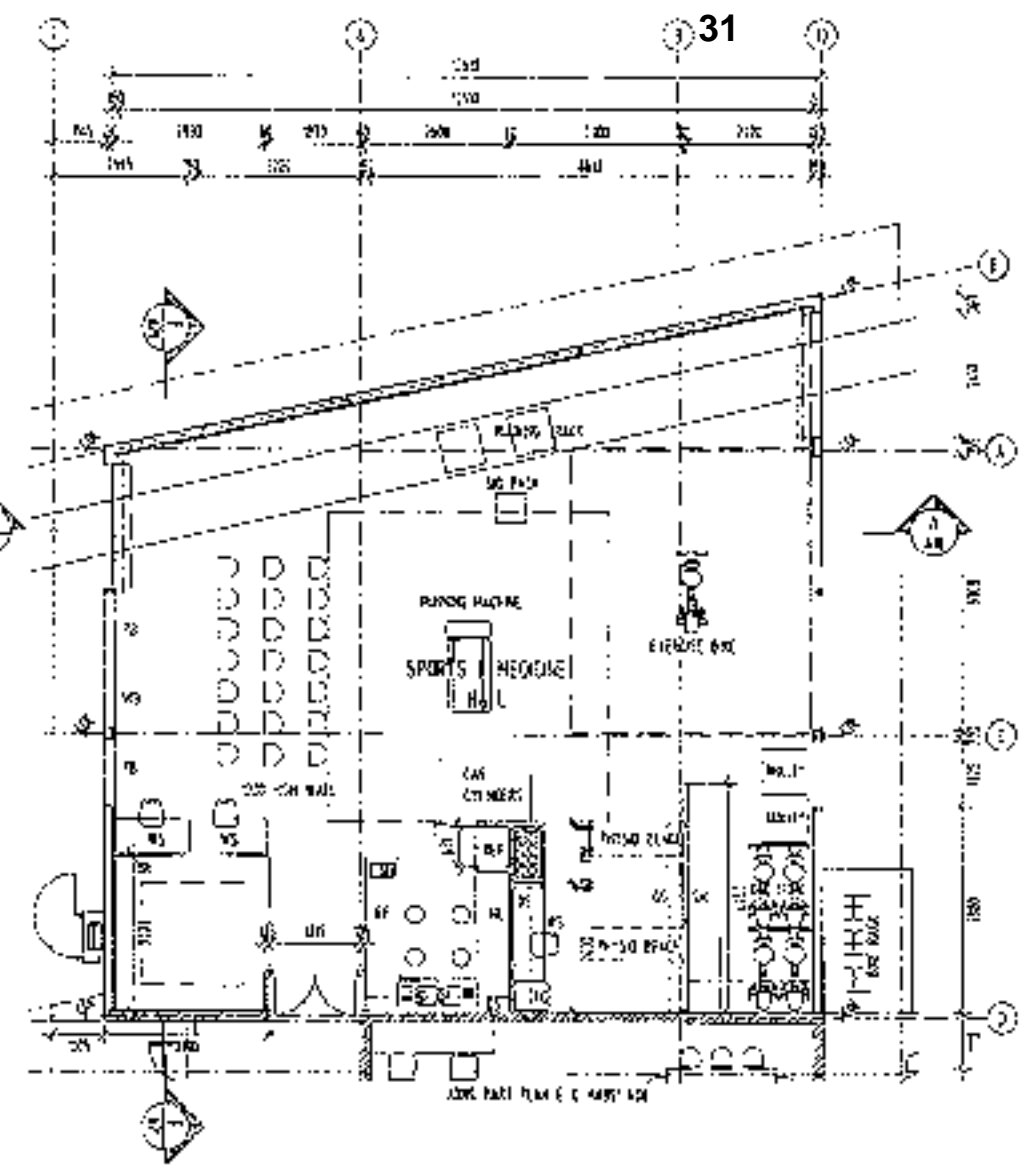
ARCHITECTS
PROJECT MANAGER
PROJECT DESIGN
SCALE 1/4" = 1'-0"



PRELIMINARY
PART FLOOR PLAN D
PROPOSED SPORT, SEC. & MEDICAL FACILITY-
CHARLES DARWIN UNIVERSITY
CASUARINA CAMPUS
G. E. H. D. ARCHITECTS



PART FLOOR PLAN E
SCALE 1/8" = 1'-0"



PART FLOOR PLAN F
SCALE 1/8" = 1'-0"

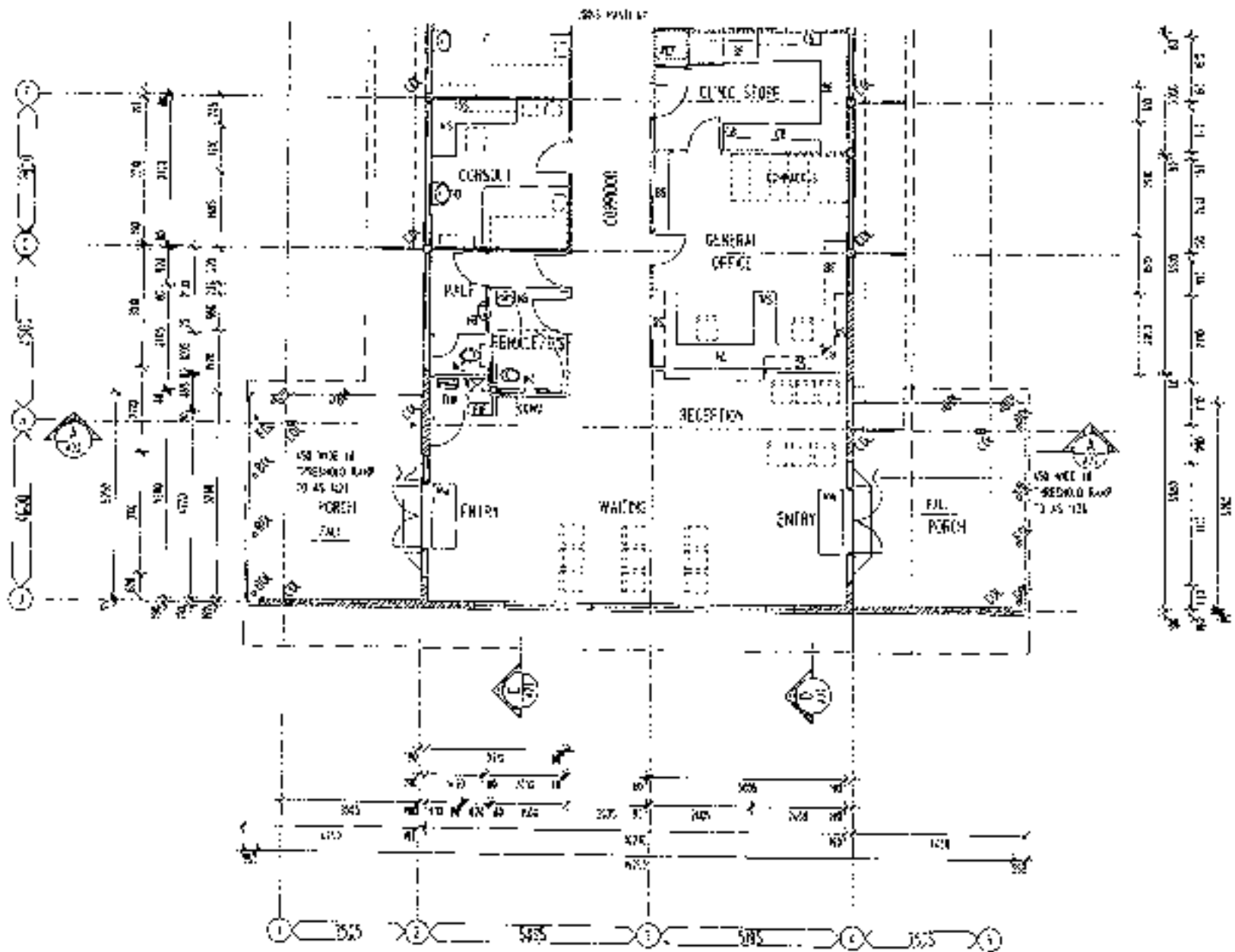
ARCHITECT
PROJECT MANAGER
INTERIOR DESIGN
1000 STATE STREET
BOSTON, MA 02118
TEL: 617-552-1100
WWW: www.mikearch.com



PRELIMINARY
PART FLOOR PLAN E & F
PROPOSED SPORT, REC. & MEDICAL FACILITY
CHARLES DEWEEY UNIVERSITY
CASIMIR CAMPUS
CHARLES DEWEEY UNIVERSITY

DATE	DESCRIPTION	BY
10/15/11	ISSUE FOR PERMITS	MM
10/15/11	ISSUE FOR PERMITS	MM

DATE	DESCRIPTION	BY
10/15/11	ISSUE FOR PERMITS	MM
10/15/11	ISSUE FOR PERMITS	MM



- 2X STEEL STRUCTURE
- 2X 3/4" X 1/4" BRIDGE PLATE FULL HEIGHT WALL TO INSIDE OF ROOF
- 2X STEEL SHD FRAM WALL
- 2X STEEL SHD FULL HEIGHT ROOFING WALL TO INSIDE OF ROOF EQUAL TO COR BRN1 PANEL
- FULL HEIGHT 2X STEEL SHD FRAM WALL LINED WITH FLASTERBOARD TO INSIDE OF ROOF
- STRUCTURAL COLUMN
- STRUCTURAL BEAM
- ELEVATION
- ROOM NUMBER LOCATION
- ROOM NAME? LOCATION
- SM - SPORT & REC CENTRE
- MC - MEDICAL CLINIC
- 12 - CLINIC
- 13 - CHILLED DRIVING WATER UNIT
- 14 - CLEANING LAB
- 15 - BEACH
- 16 - FILING CABINET
- 17 - FIRE HOSE REEL
- 18 - FIRE LOCATOR PANEL
- 19 - FLOOR WASH
- 20 - HAND DRYER
- 21 - LOCKERS
- 22 - MASTER SW ROOM
- 23 - HALLWAY
- 24 - STORAGE ROOM
- 25 - RECEPTION SIGN OFF
- 26 - RECEPTION SIGN OFF
- 27 - RECEPTION SIGN OFF
- 28 - SEAT
- 29 - SEAT
- 30 - SEAT
- 31 - SEAT
- 32 - SEAT
- 33 - T.V.
- 34 - TELEPHONE BOOTH
- 35 - WATER CLOSET
- 36 - WATER CLOSET

PART FLOOR PLAN G
SHEET 03 OF 03



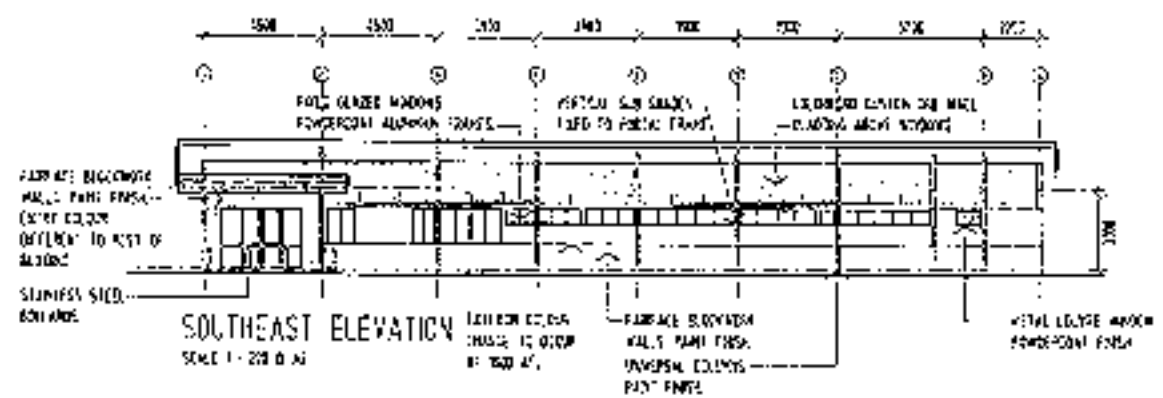
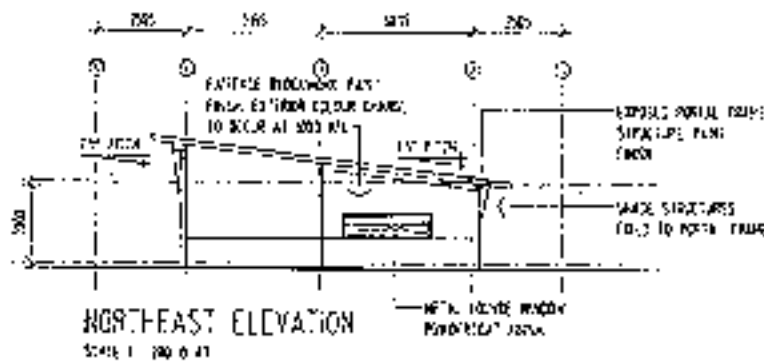
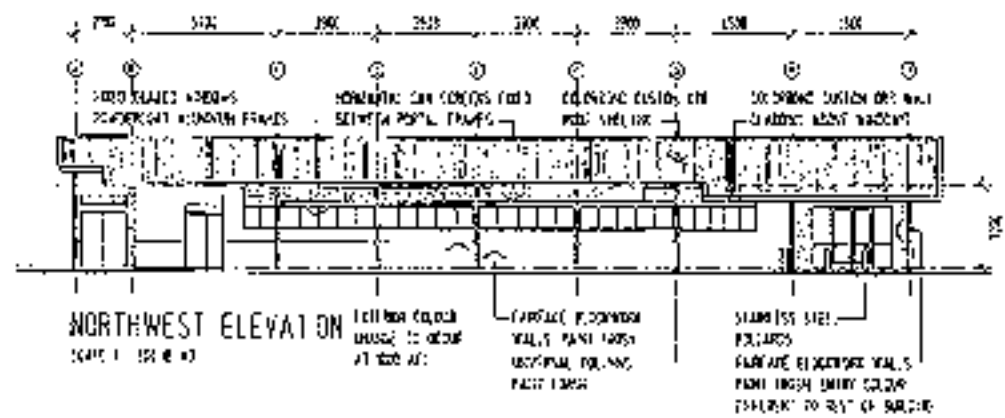
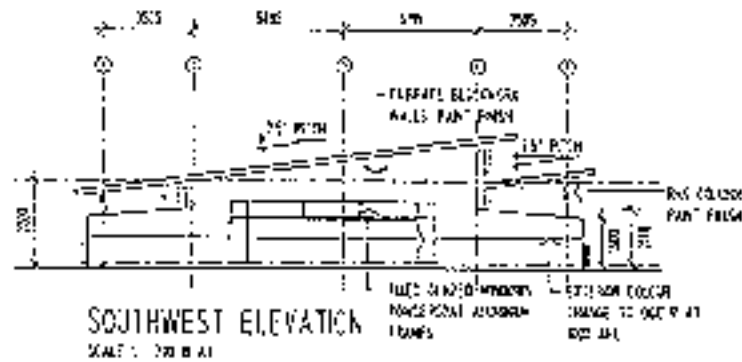
WILLIAMS
PROJECT MANAGEMENT
ARCHITECTS
100 WINDYBUSH ROAD
DUNEDIN 9010
TEL: 03 477 1000
WWW.WILLIAMS.CO.NZ



PRELIMINARY
PART FLOOR PLAN G
PROPOSED SPORT, REC. & MEDICAL FACILITY
CHARLES DUMFRIES UNIVERSITY
CASUARINA CAMPUS
DUNEDIN SOUTH ISLAND

1	DATE OF THIS DRAWING	1/11/11
2	REVISION	1/11/11
3	DATE / TIME	

DATE OF THIS DRAWING		1/11/11
REVISION		1/11/11
DATE / TIME		
1	DATE	1/11/11
2	TIME	11:00
3	DATE	1/11/11
4	TIME	11:00



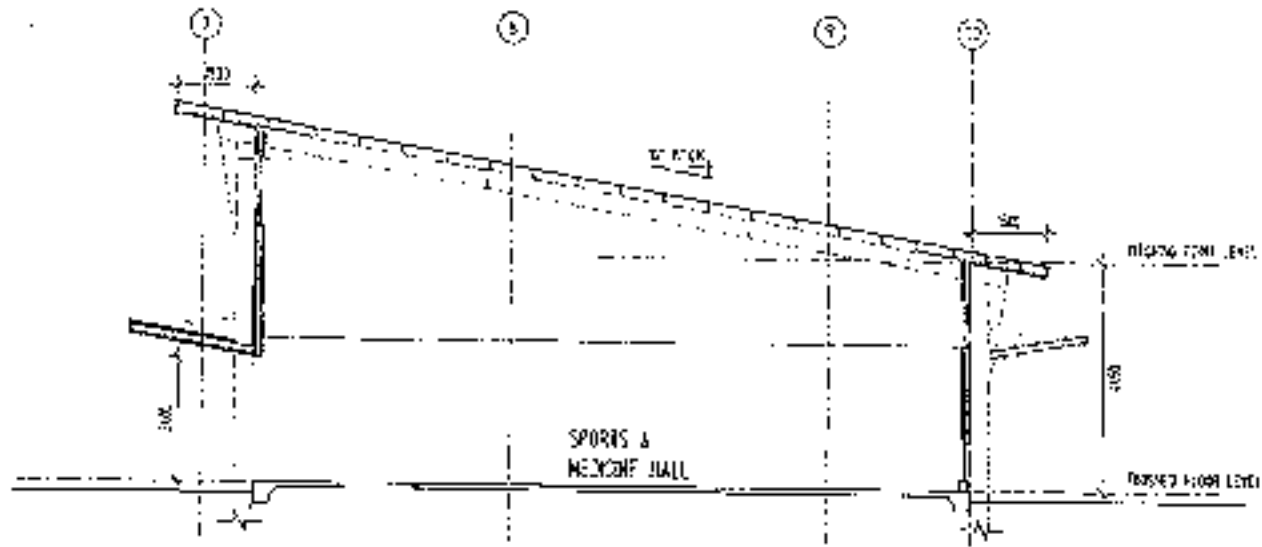
ARCHITECTURE
PROJECT MANAGEMENT
INTERIOR DESIGN
LAW OFFICES
PLANNING



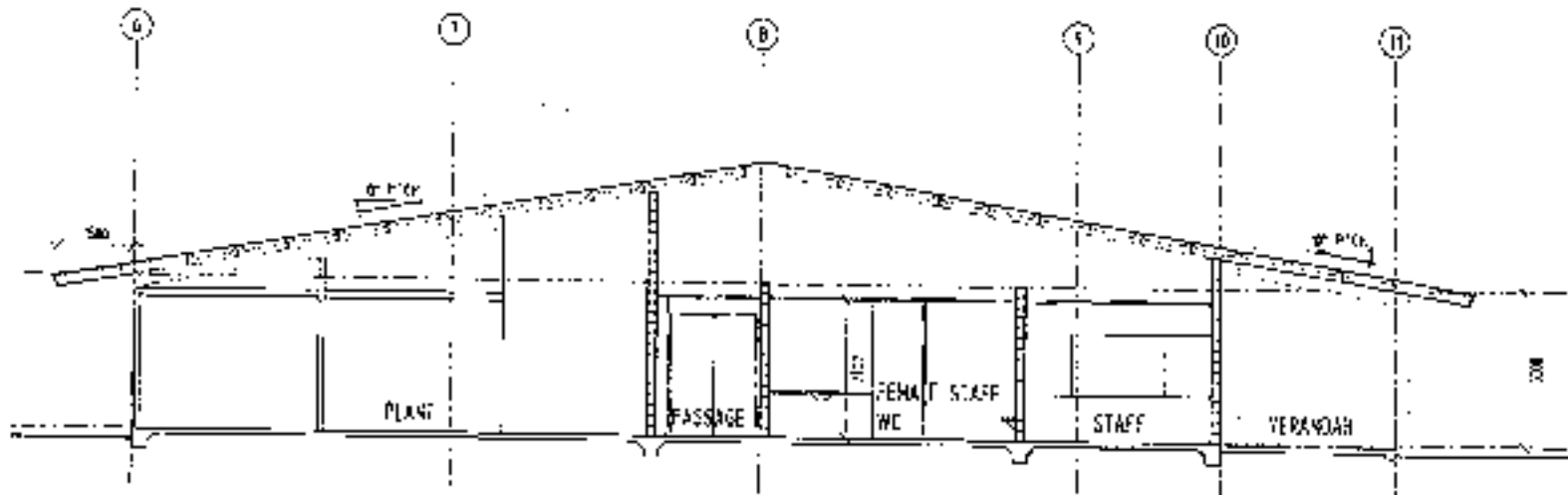
PRELIMINARY
ELEVATIONS SHEET 3 - MEDICAL
PROPOSED SPORTS, REC. & MEDICAL FACILITY
CHARLES DARNLEY UNIVERSITY
ONS. ARMA CAMPUS
CHARLES DARNLEY UNIVERSITY

33

DATE	DESCRIPTION	BY	CHECKED
10/11/2011	ISSUED FOR PERMIT	...	...
10/11/2011	REVISED	...	...
10/11/2011	REVISED	...	...
10/11/2011	REVISED	...	...



SECTION A-A
SCALE: 1/8" = 1'-0"



SECTION B-B
SCALE: 1/8" = 1'-0"

1	PROJECT NO.	DATE
2	REVISION	DATE
DRAWN BY		

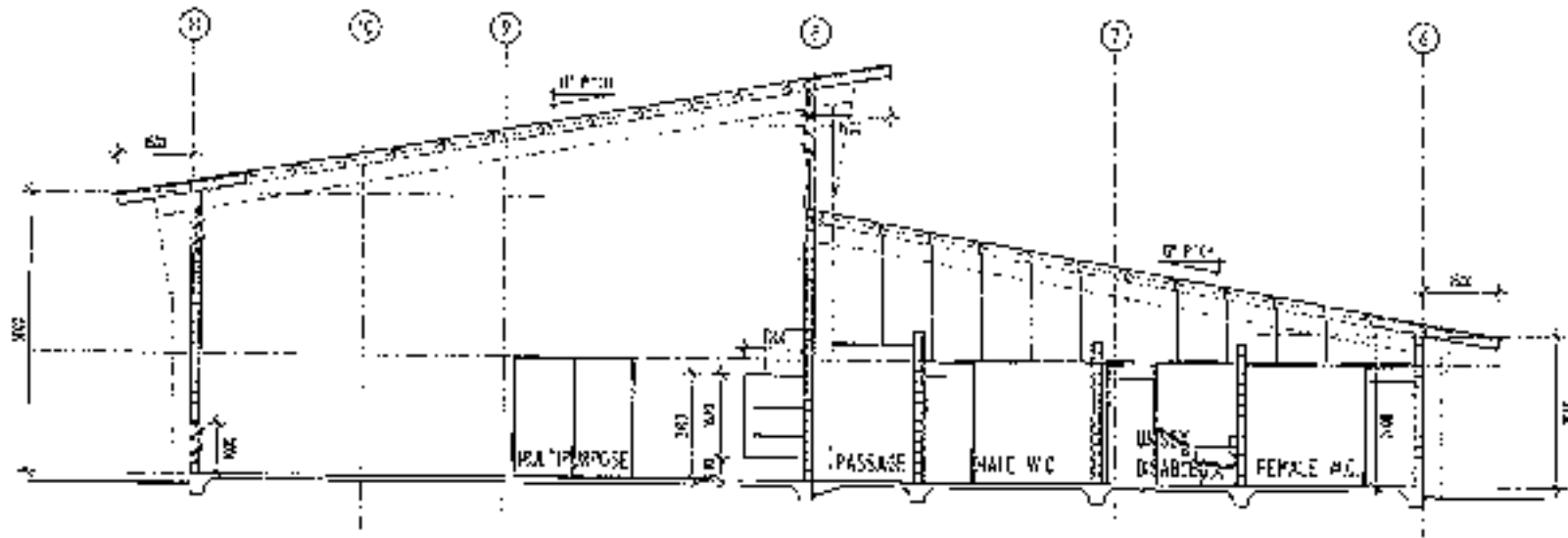
ARCHITECTURE
PROJECT MANAGEMENT
EXTERIOR DESIGN
1100 PRINCE STREET
SUITE 100
WILMINGTON, DE 19801-2000



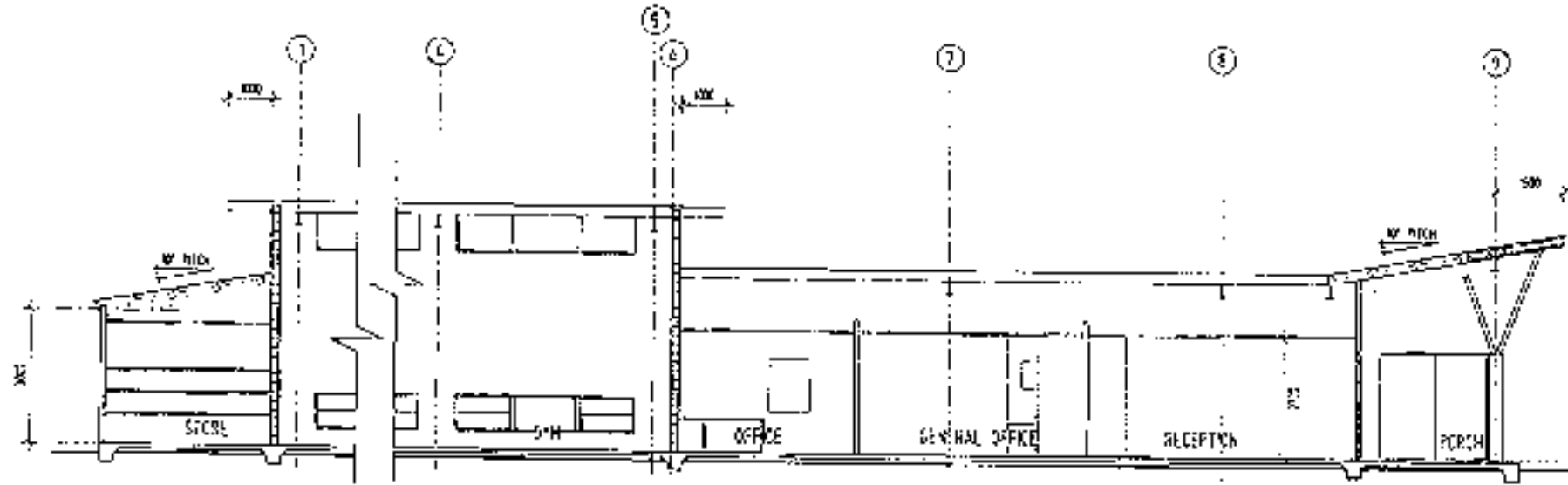
PRELIMINARY
SECTION A-A & B-B
PROFESSOR SPORTS, REC. & MEDICAL FACILITY
CHARLES DARTMOUTH UNIVERSITY
CASUARINA CAMPUS
CHARLES DARTMOUTH UNIVERSITY

34

3	SCALE	DATE
4	REVISION	DATE
DRAWN BY		
CHECKED BY		
5	PROJECT NO.	DATE
6	REVISION	DATE
DRAWN BY		
CHECKED BY		



SECTION D-C
SCALE 1/8" = 1'-0"



SECTION D-D
SCALE 1/8" = 1'-0"

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	10/1/01
2	ISSUED FOR PERMIT	10/1/01

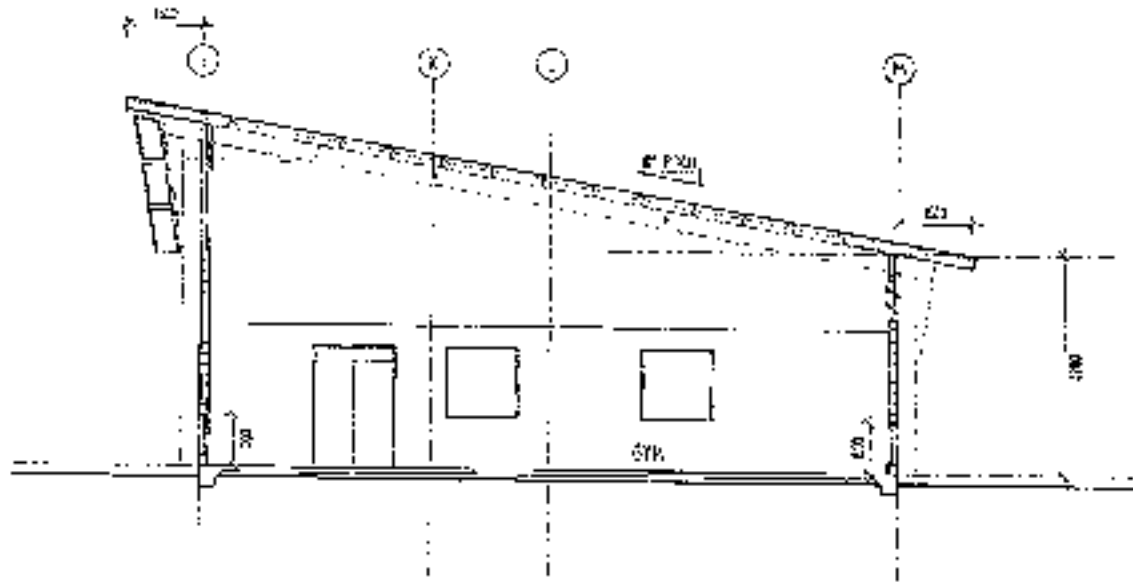
ARCHITECTURE
PROJECT MANAGER-LIAISON
INTERIOR DESIGN
1700 UNIVERSITY BLVD. SUITE 100
DALLAS, TEXAS 75201
TEL: 972.242.0000
WWW.MHFCO.COM



PRELIMINARY
SECTION C-C & D-D
PROPOSED SPORT, REC. & MED. CAL. FACILITY
CHARLES DARRIN UNIVERSITY
CASADARMA CAMPUS
DALLAS TEXAS 75201

35

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	10/1/01
2	ISSUED FOR PERMIT	10/1/01



SECTION E-E
SCALE 1/8" = 1'-0"

DATE	1/12/00	BY	JK
NO.	1	REVISION	ADD
DATE & FORN			

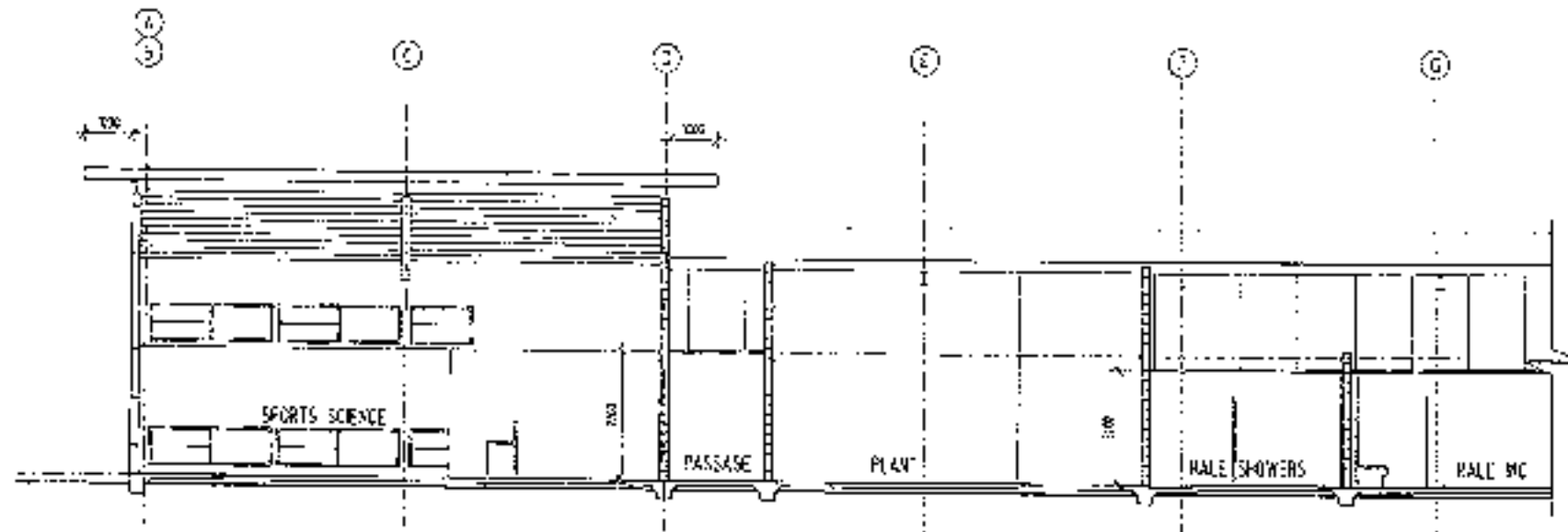
ARCHITECTURE
PROJECT MANAGEMENT
CONCEPT DESIGN
100 WOOD STREET, SUITE 200
CHARLESTON, SC 29401
TEL: 803.733.1100 FAX: 803.733.1101



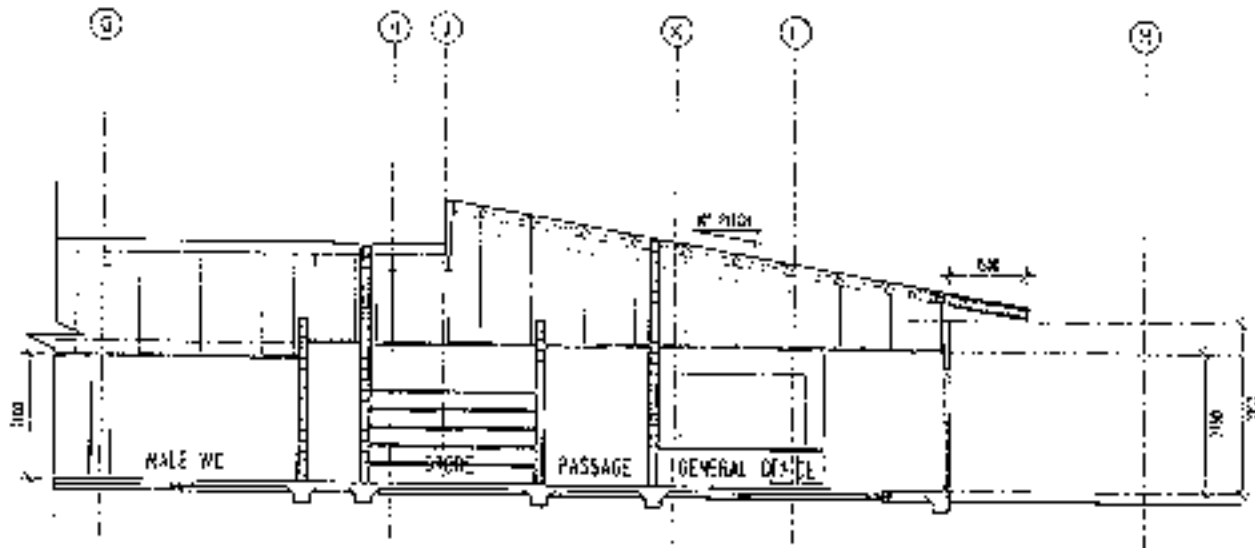
PRELIMINARY
SECT 04 E-E
PROPOSED SPORT, REC. & MEDICAL FACILITY
CHARLES DORRIS UNIVERSITY
CASUARINA CAMPUS
DATE: 01/12/00

36

DO NOT SCALE OFF THIS DRAWING & CHECK ALL DIMENSIONS FOR CONSTRUCTION	
DATE	1/12/00
NO.	1
REVISION	ADD
DATE	1/12/00
NO.	1
REVISION	ADD
DATE	1/12/00
NO.	1
REVISION	ADD



SECTION F-F
SCALE 1/8" = 1'-0"



SECTION F-F (CONT)
SCALE 1/8" = 1'-0"

DATE	10/10/2011	BY	WJ
REVISION		BY	
DATE		BY	

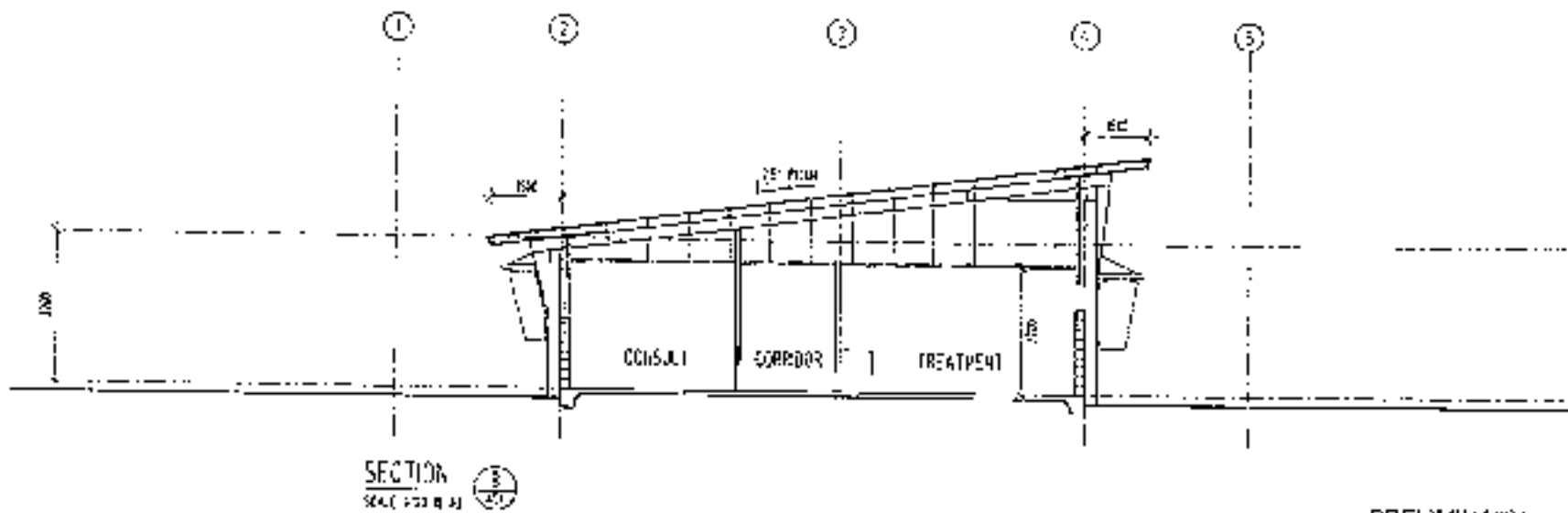
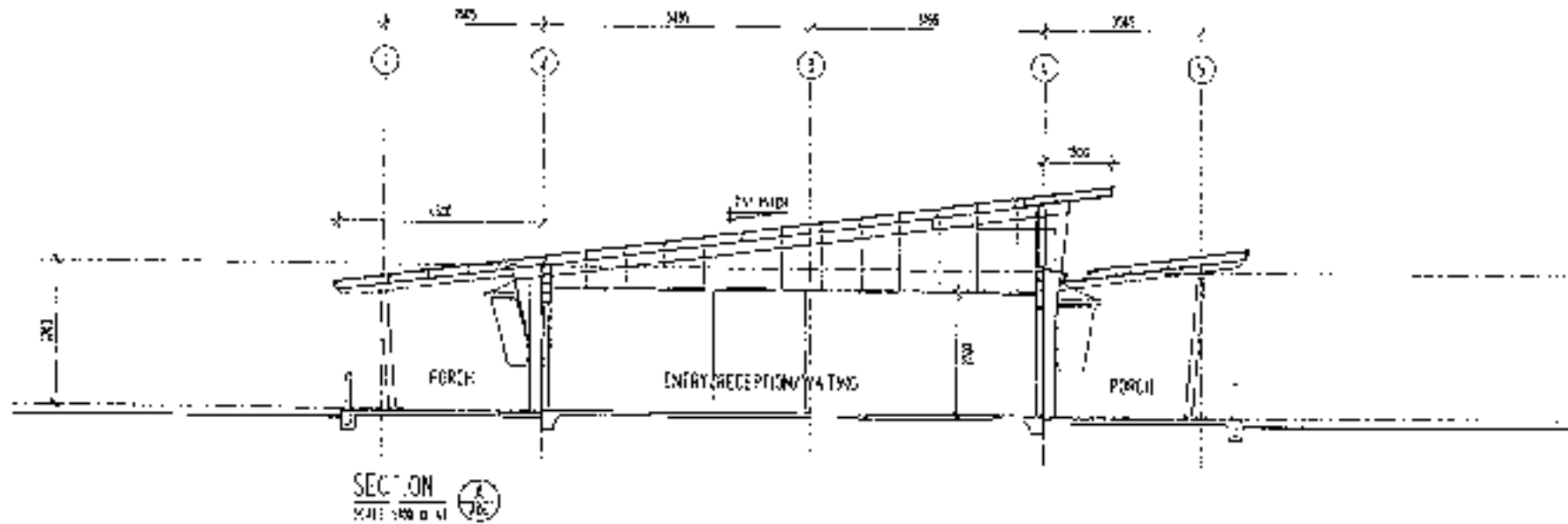
AND FURTHER
PROJECT MANAGEMENT
INTERIOR DESIGN
ONE DEBAC SQUARE BLDG. 200
200 DEBAC SQUARE BLDG. 200
200 DEBAC SQUARE BLDG. 200



PRELIMINARY
SECTION F-F
PROPOSED SPORT REC. & MEDICAL FACILITY
CHARLES DARWIN LYNNEER STY
CASUARVA CAMPUS
CHARLES DARWIN UNIVERSITY

37

DATE	10/10/2011	BY	WJ
REVISION		BY	
DATE		BY	



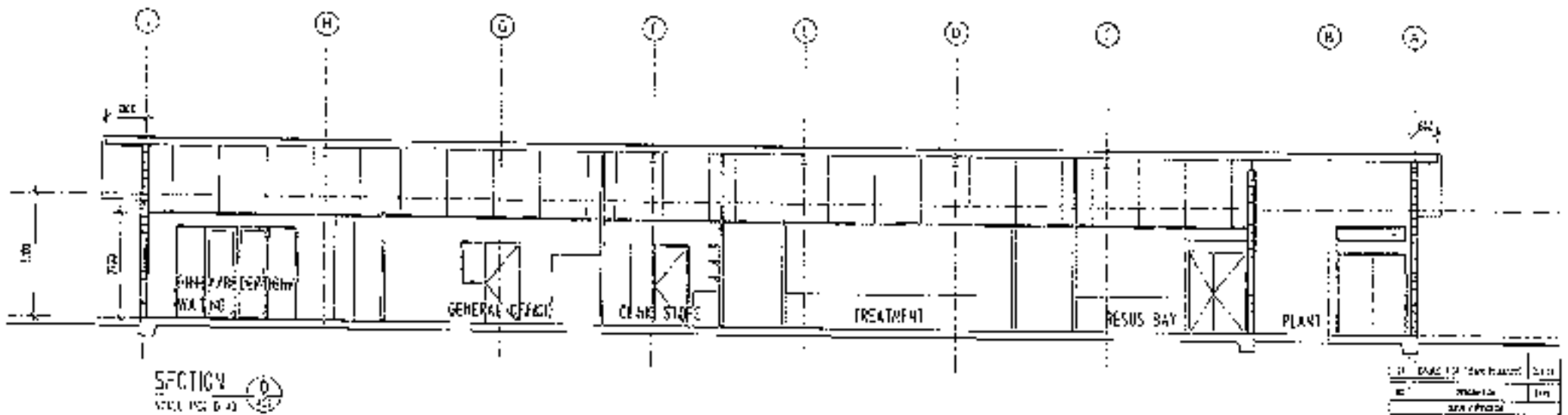
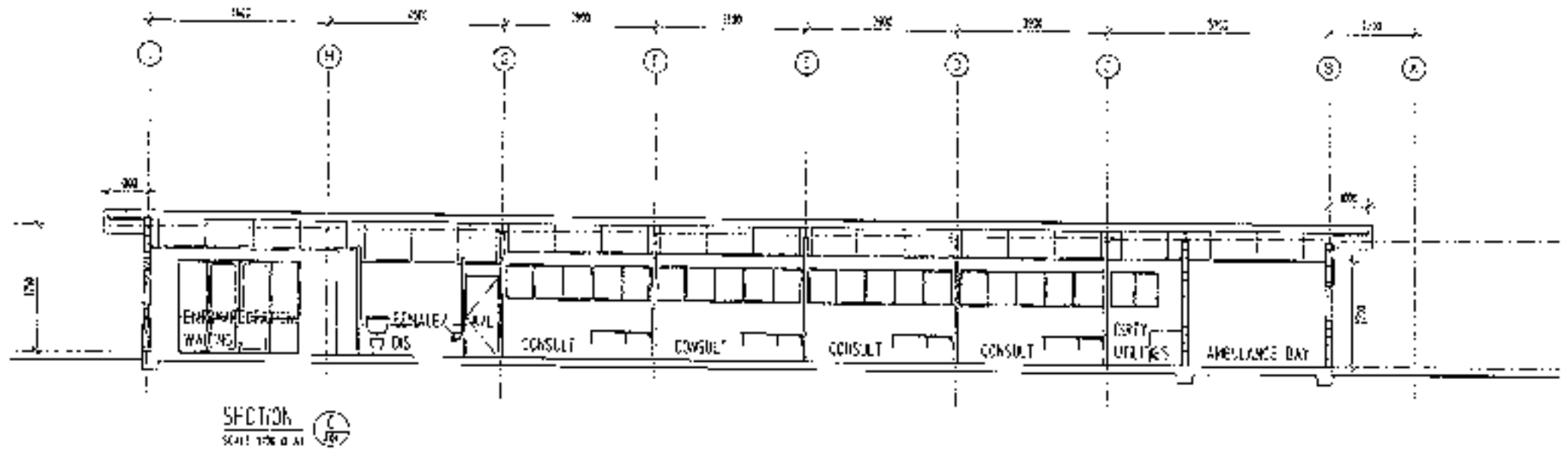
PROJECT NO.	991-A22
DATE	10/1/01
SCALE	AS SHOWN

ARCHITECTS
FIELD PROJECT MANAGER
INTERIOR DESIGN
UNIVERSITY OF CALIFORNIA, SAN DIEGO
CALIFORNIA STATE COLLEGE
SAN MARINO, CALIF. 91761-1111



PRELIMINARY
SECTIONS A & B - MEDICAL
PROPOSED SPORT, REC. & MEDICAL FACILITY
CHARLES DORRIS UNIVERSITY
CASUARINA CAMPUS
CASUARINA SOCIETY

DATE	10/1/01
SCALE	AS SHOWN
PROJECT NO.	991-A22



DATE	DESCRIPTION	BY
10/21/09	REVISED	JK
10/21/09	REVISED	JK

ARCHITECTURE
PROJECT ARCHITECTS
1400 OREGON ST.
SEASIDE, CA 94133
TEL: 415.435.1234
WWW.PAINTERSTUDIO.COM



PRELIMINARY

SECTIONS - MED CAL
PROPOSED SPORT, REC. & MEDICAL FACILITY
CHARLES DERRICK UNIVERSITY
CASPERINA CAMPUS
CASPER EMPLOYMENT

39

DATE	DESCRIPTION	BY
10/21/09	REVISED	JK
10/21/09	REVISED	JK

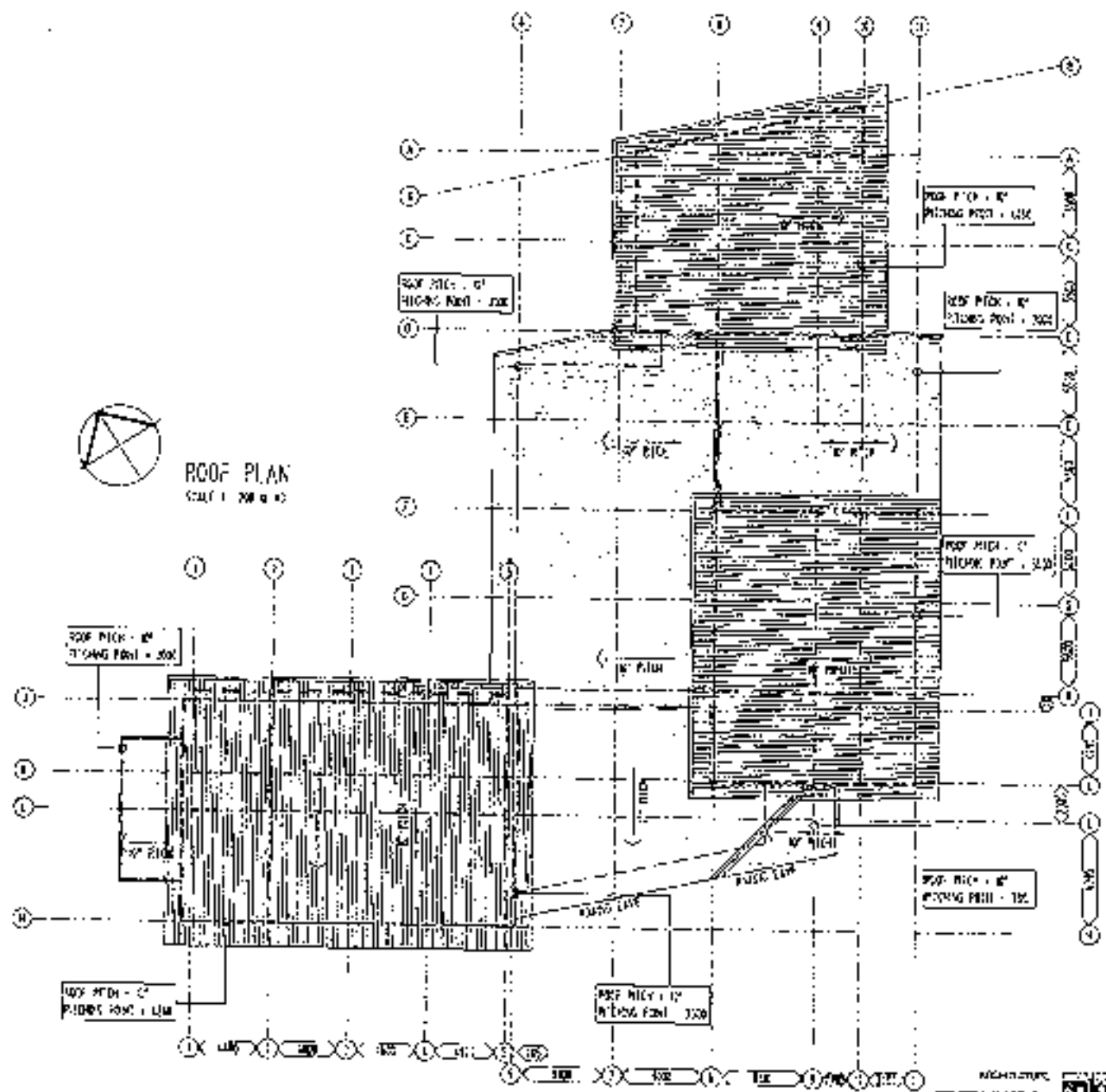
41 GENERAL ROOF NOTES

ROOF FLASHING GENERALLY TO BE SOLICITED
 UNLESS OTHERWISE SPECIFIED PROVIDE THE FLASHING
 TO EXTEND UPWARD TO COVER ALL ROOF
 EXHAUST PENETRATIONS HEALTH CARE
 FLASHING TO SUIT ROOF SHEET PROFILES
 PROVIDE "DETAIL" ROOF FLASHINGS OF MATCHING
 QUALITY TO ALL PLUMBING ROOF PENETRATIONS
 SELECT COLOR TO MATCH ROOF FINISH

DP LOCATION OF DOWN PIPE
 RP RAINWATER LEAK



ROOF PLAN
 SCALE: 1/8" = 1'-0"



NO.	REVISION	DATE
1	Issued	11/11/11
2	Revised	11/11/11
3	Revised	11/11/11

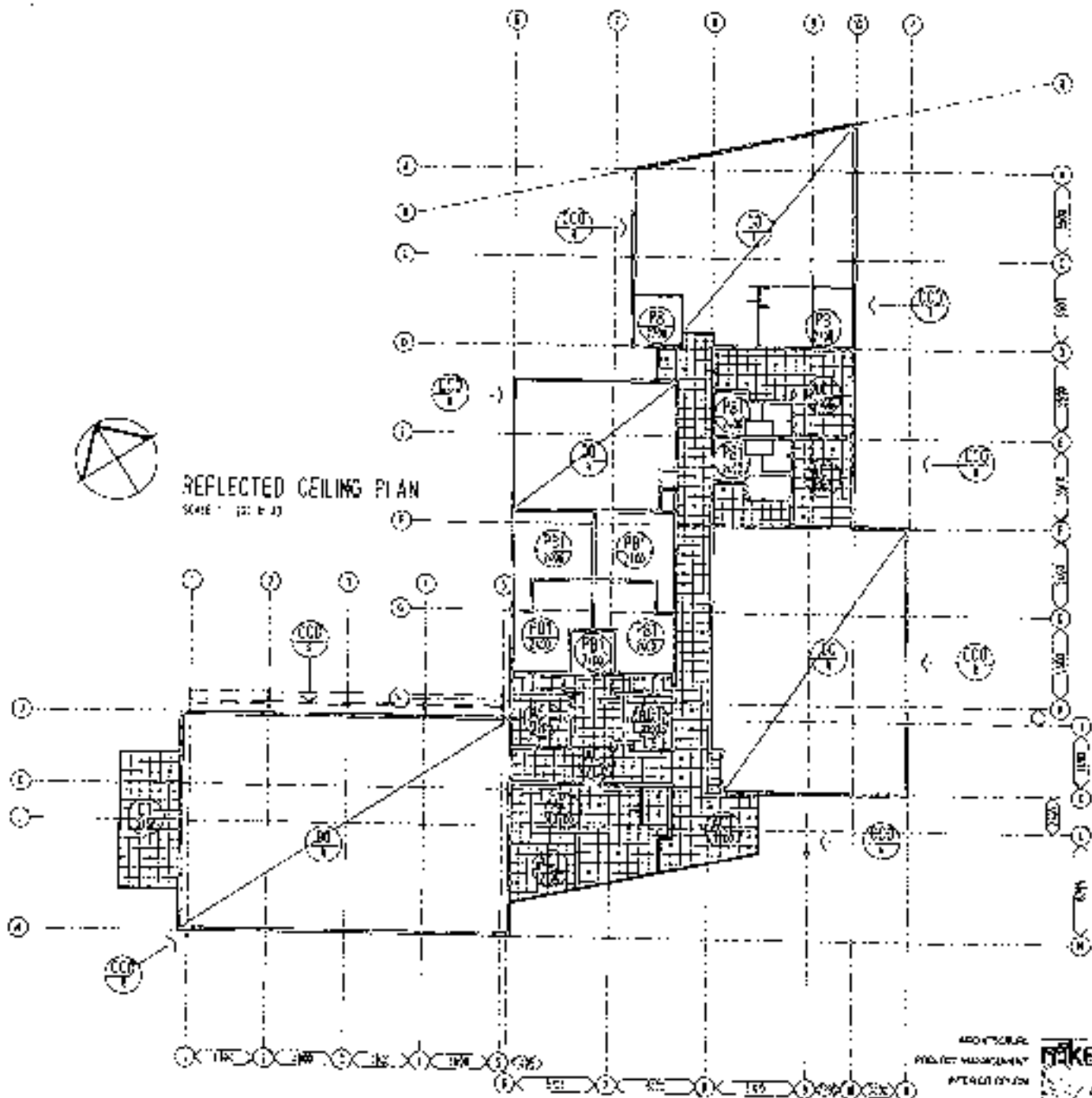
ARCHITECT
 PROJECT MANAGER
 DESIGNER
 CONSULTANT
 CONTRACTOR



PRELIMINARY
 ROOF PLAN SPORT AND REC
 PROPOSED SPORT, REC. & MEDICAL FACILITY
 CHARLES DARWIN JUNIOR ST
 CASUARINA CAMPUS
 CHARLES DARWIN JUNIOR ST

41

NO.	REVISION	DATE
1	Issued	11/11/11
2	Revised	11/11/11
3	Revised	11/11/11



REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

- — SPORTS CEILING TYPE
- — SPORTS CEILING FROM ABOVE
- MS — MASSIVE TILL
- CC — CONCRETE CURB
- CCP — CORE PLATE
- PL — WITH PLASTERBOARD CEILING PAINT TRUSS
- PS — WITH PLASTERBOARD CEILING PAINT TRUSS
- R — RIGID
- USA — UNIFORM CEILING

GENERAL CEILING NOTES

1. THE CONTRACTOR SHALL VERIFY THE TRUE HEIGHT OF ALL CEILING AND SUFFIT TYPES AND VERIFY WITH THE ARCHITECT BEFORE COMMENCEMENT OF WORK.
2. DO NOT SCALE OFF THE DRAWING.
3. SHOWN AS NOT TO BE PAINTED OR AT UNDERGROUND CEILING.

DATE FOR THIS PLANS	1/11/11
NO.	1
PREPARED BY	FAA - Group

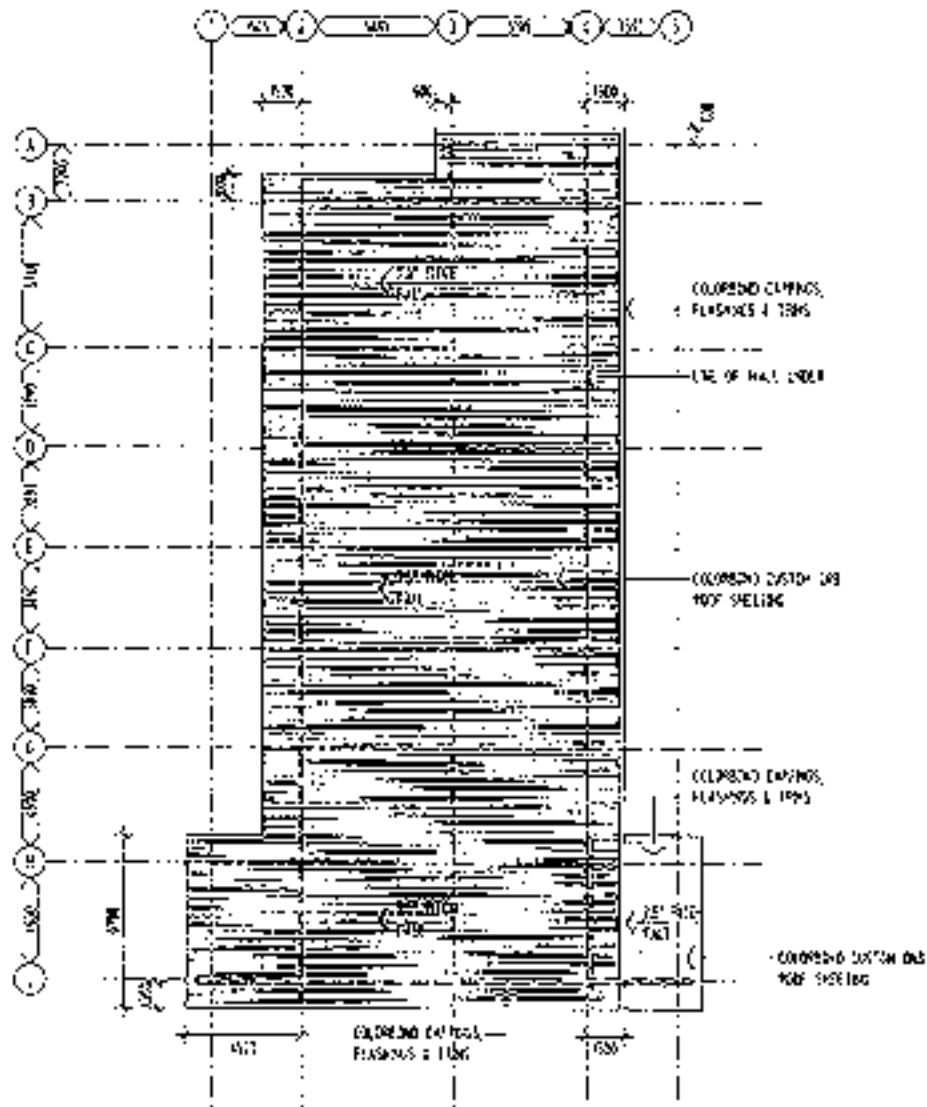
ARCHITECTURAL PROJECT MANAGEMENT
INTERIOR DESIGN
1000 WEST 10TH AVENUE
SUITE 1000 DENVER, CO 80202
303.733.1111



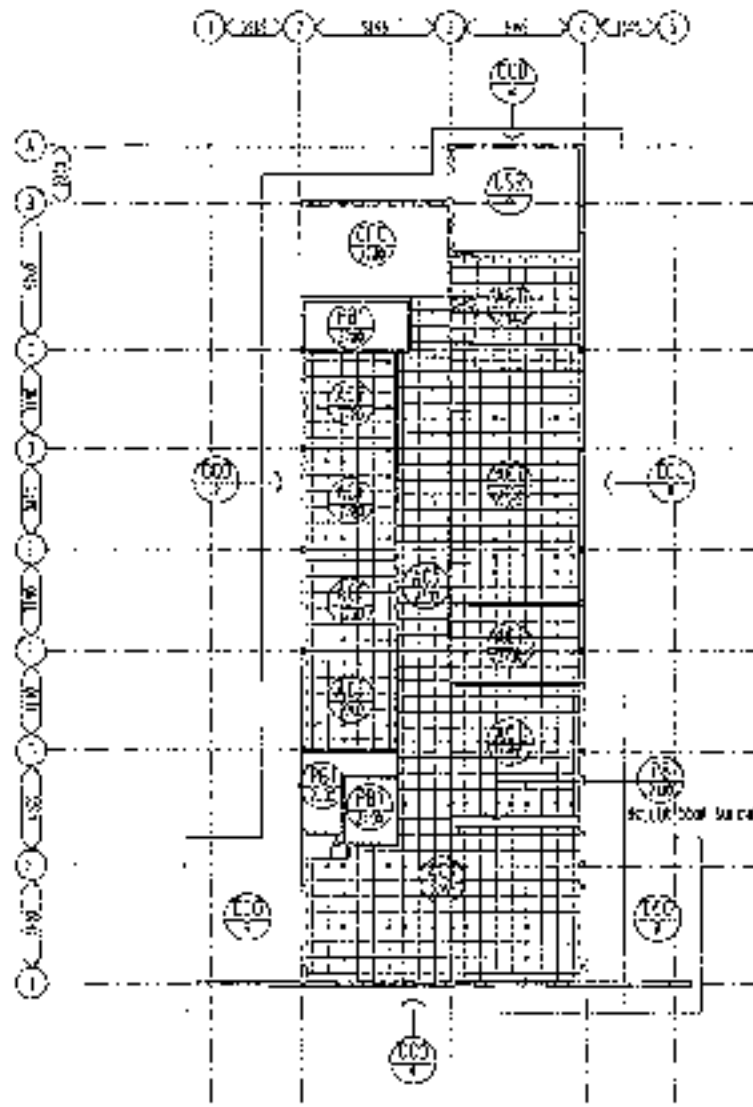
PRELIMINARY

REF. CEILING PLAN - SPORT & REC
PROPOSED SPORT, REC. & MEDICAL FACILITY
CHARLES DARWIN UNIVERSITY
CASUARINA CAMPUS
CHARLES DARWIN UNIVERSITY

DATE	1/11/11	BY	FAA - Group
DATE	1/11/11	BY	FAA - Group
DATE	1/11/11	BY	FAA - Group



ROOF PLAN - MEDICAL
SCALE: 1/8" = 1'-0"



AFFECTED CEILING PLAN - MEDICAL
SCALE: 1/8" = 1'-0"

- LIGHTS USING TYPE
- LIGHTS USING ISOTL TYPE
- MT CLASSIC TILL
- CG COLORED GYPSUM OR
- CFE FIBRE CEMENT
- FE FIBRE REINFORCED SHEETING
- FRT FIBRE REINFORCED TUBING
- FR FIBRE REINFORCED FRUITBOARD
- VL VULCANIZING MATS
- R ROOFING
- SR UNDERLAY OF ROOF

GENERAL C.E.S.D. NOTES

1. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE AND LOCATION OF ALL LIGHTS AND SWITCHES AND REPORT WITH THE ARCHITECT PRIOR TO COMMENCING WORK.
2. DO NOT SCALE OFF THE DRAWING.
3. SHOWN SHALL BEY TO REPORTER OF ALL PLASTERBOARD CEILING.

GENERAL ROOF NOTES

NOTHING SHALL BE DONE UNLESS THE CONTRACTOR HAS BEEN ADVISED BY THE ARCHITECT THAT THE ROOF SHALL BE REMOVED TO EXPOSE ALL ROOF JOINTS AND FLASHINGS TO THE EXTERIOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ROOF JOINTS AND FLASHINGS TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ROOF JOINTS AND FLASHINGS TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ROOF JOINTS AND FLASHINGS TO REMAIN.

- OR LOCATION OF DOWN PIPE
- PK MANHOLE HEAD

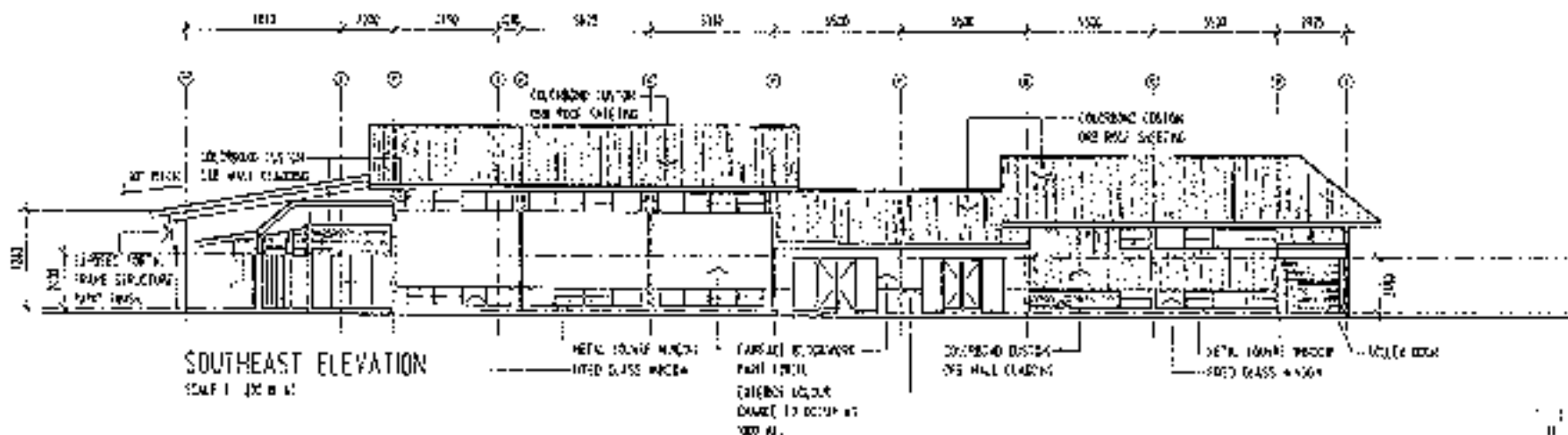
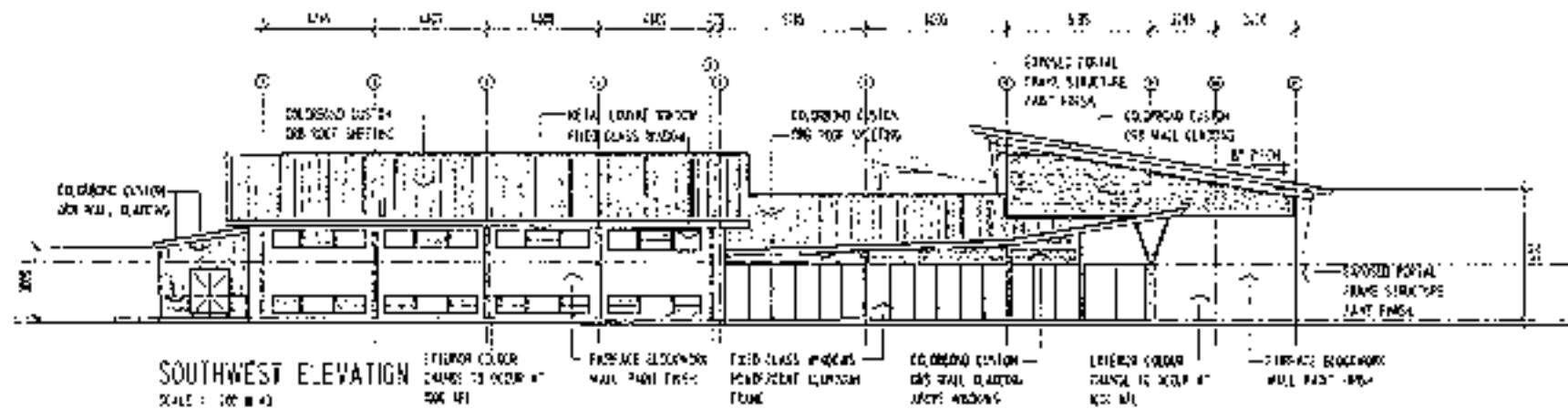
NO.	REVISION	DATE

PROJECT NO.	MA 991- A/4
DATE	
BY	
CHECKED BY	
APPROVED BY	

ARCHITECTURE
PROJECT MANAGEMENT
INTERIOR DESIGN
AND CONSTRUCTION
MANAGEMENT



PRELIMINARY
ROOF PLAN & R.C.P. - MEDICAL
PROPOSED SPORT REC. & MEDICAL FACILITY
CHARLES DEWAIN UNIVERSITY
CASWANA CAMPUS
UNIVERSITY OF MASSACHUSETTS



11	DATE: 12/18/2010	Sheet
12	REVISION	DATE
13	DESCRIPTION	

PROJECT:	
PROJECT NO.	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE

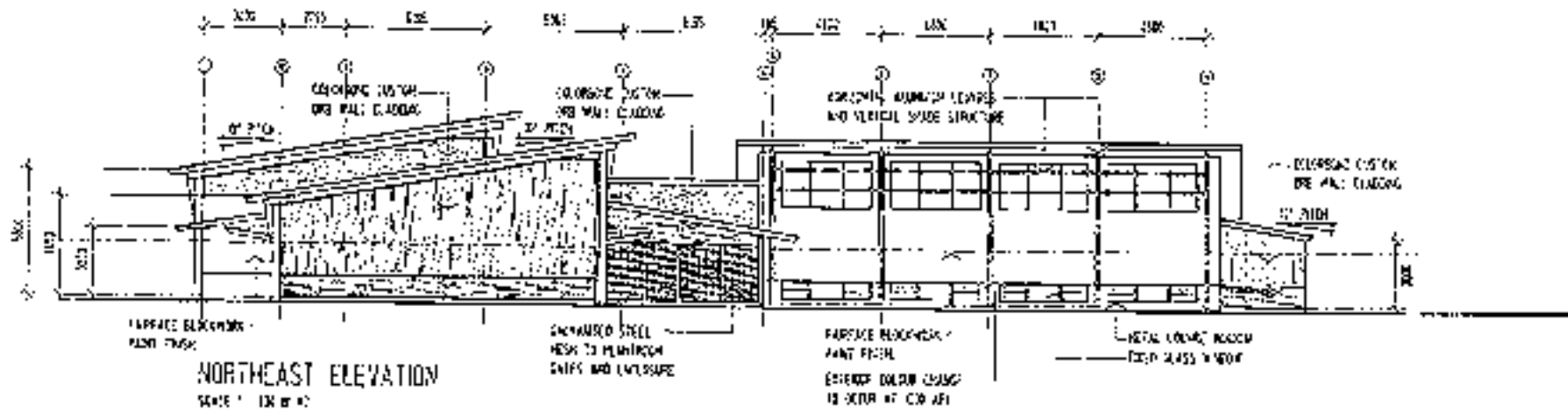
ARCHITECT
PROJECT MANAGEMENT
BY ARCHITECT
AND ENGINEER
REGISTERED ARCHITECT
STATE OF MISSISSIPPI
NO. 10000



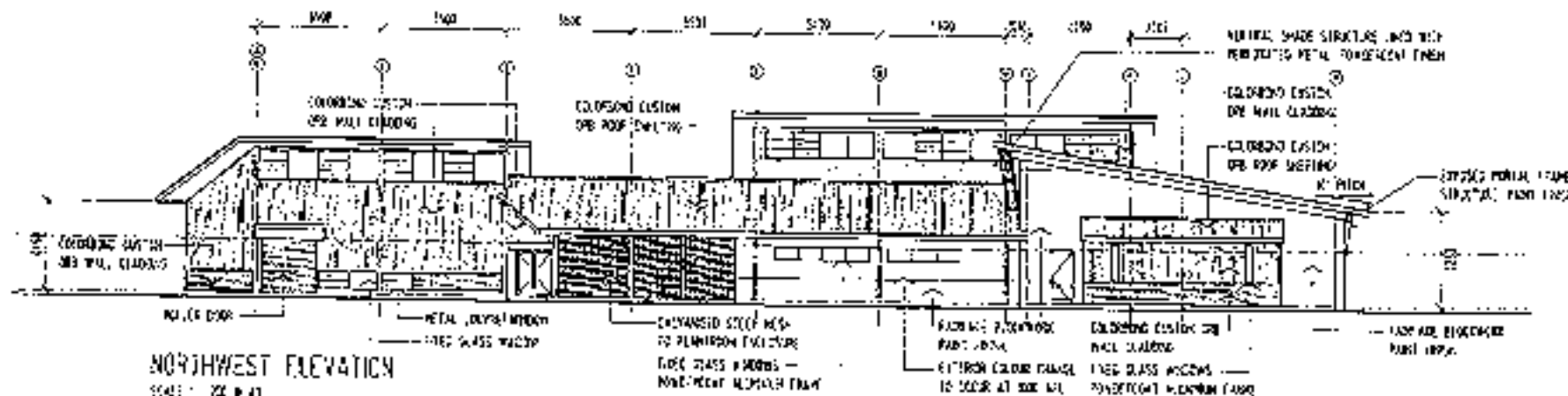
PRELIMINARY
ELEVATIONS SHEET
PROPOSED SPORT, REC. & MEDICAL FACILITY
CHARLES DARMAN UNIVERSITY
CASUARINA CAMPUS
CHARLES DARMAN UNIVERSITY

44

DATE	DATE
DATE	DATE
DATE	DATE



NORTHEAST ELEVATION
SCALE: 1/8" = 1'-0"



NORTHWEST ELEVATION
SCALE: 1/8" = 1'-0"

DATE FOR THIS SHEET	11/11
BY	WJW
PROJECT NUMBER	

PRELIMINARY

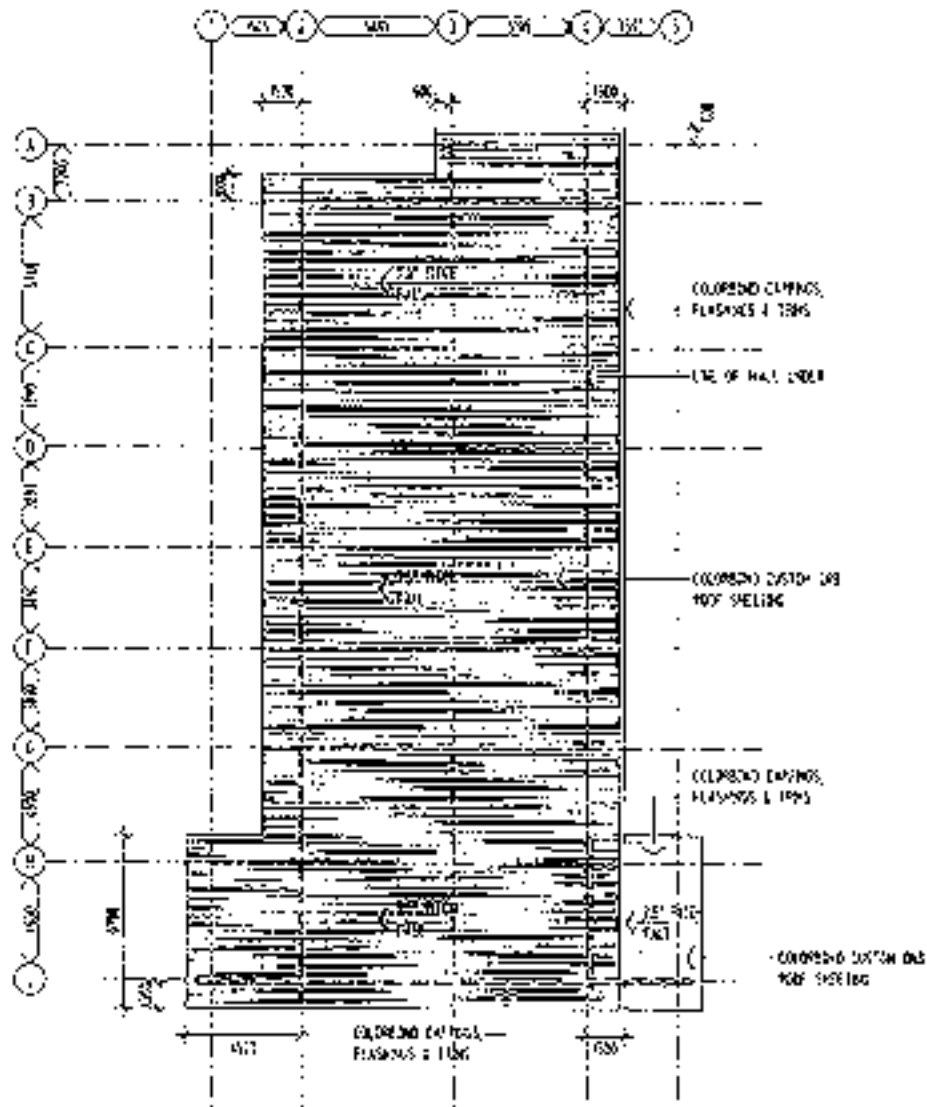
ARCHITECTURE
PROJECT MANAGER
INTERIOR DESIGN
AND PLUMBING BY THE
MECHANICAL GROUP

nke
ARCHITECTS

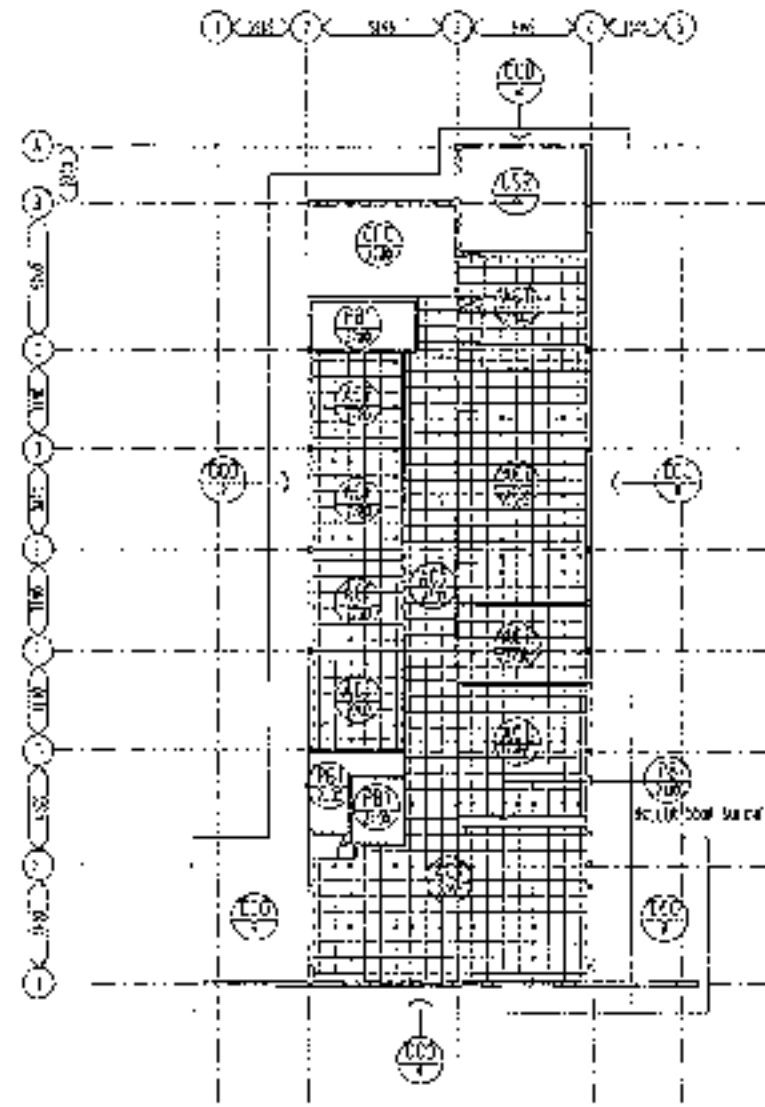
ELEVATIONS SHEET 2
PROPOSED SPORT, REC. & MED. CL. FACILITY
CHARLES DARTMOUTH UNIVERSITY
CASWORTH CAMPUS
DARTMOUTH COLLEGE

45

DATE: 11/11/11
BY: WJW
PROJECT NUMBER: 01



ROOF PLAN - MEDICAL
SCALE: 1/8" = 1'-0"



AFFECTED CEILING PLAN - MEDICAL
SCALE: 1/8" = 1'-0"

- LIGHTS USING TYPE
- LIGHTS USING ISOTL TYPE
- MT GYPSUM TELL
- CG COLORED GYPSUM OR
- CFE FIBRE CEMENT
- FE FIBRE REINFORCED PLASTER SHEETING
- FB FIBRE REINFORCED PLASTER SHEETING
- FR FIBRE REINFORCED PLASTER BOARD
- VL VULCANIZED FIBRE SHEET
- W WATERPROOF
- R ROOFING
- SR UNDERLAY OF ROOF

GENERAL CEILING NOTES

1. THE CONTRACTOR SHALL VERIFY THE TYPE AND SIZE OF ALL CEILING AND LIGHT TYPES AND VERIFY WITH THE ARCHITECT PRIOR TO CONSTRUCTION PROCEEDING.
2. DO NOT SCALE OFF THE DRAWING.
3. SHOWN SHALL BEY TO REFLECTOR OF ALL FIBRE REINFORCED CEILING.

GENERAL ROOF NOTES

- NOTHING IS SHOWN TO BE COLORED UNLESS INDICATED OTHERWISE. PROVIDE FLASHING TO EXTEND FROM ROOF TO COVER ALL ROOF PENETRATION DETAILS. PROVIDE FLASHING TO SEAL ROOF SHEET JOINTS. PROVIDE FLASHING TO SEAL ROOF SHEET JOINTS. PROVIDE FLASHING TO SEAL ROOF SHEET JOINTS. PROVIDE FLASHING TO SEAL ROOF SHEET JOINTS.

- OR LOCATION OF DOWN PIPE
- PK PENETRATION HEAD

ARCHITECTURE
CHARLES DEWAIN UNIVERSITY
MEDICAL FACILITY
1000 DEWAIN BLVD
DORCHESTER, MA 01928

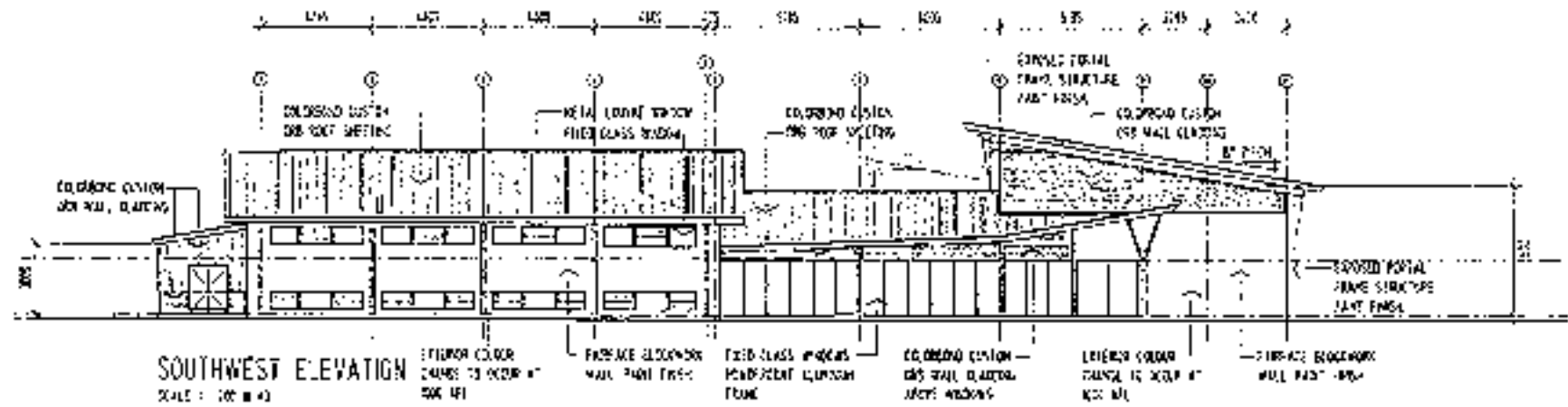
PRELIMINARY

ROOF PLAN & R.C.P. - MEDICAL
PROPOSED SPORT REC & MEDICAL FACILITY
CHARLES DEWAIN UNIVERSITY
DORCHESTER CAMPUS

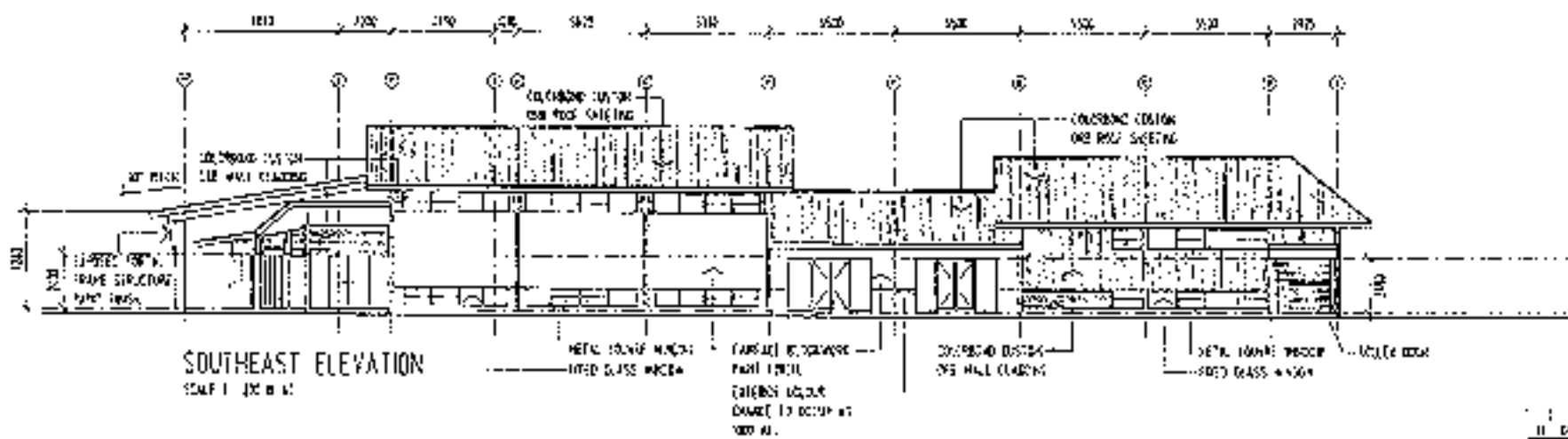
DATE: 01/15/81
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: 1/8" = 1'-0"

46

MA 991-A/4



SOUTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTHEAST ELEVATION
SCALE: 1/8" = 1'-0"

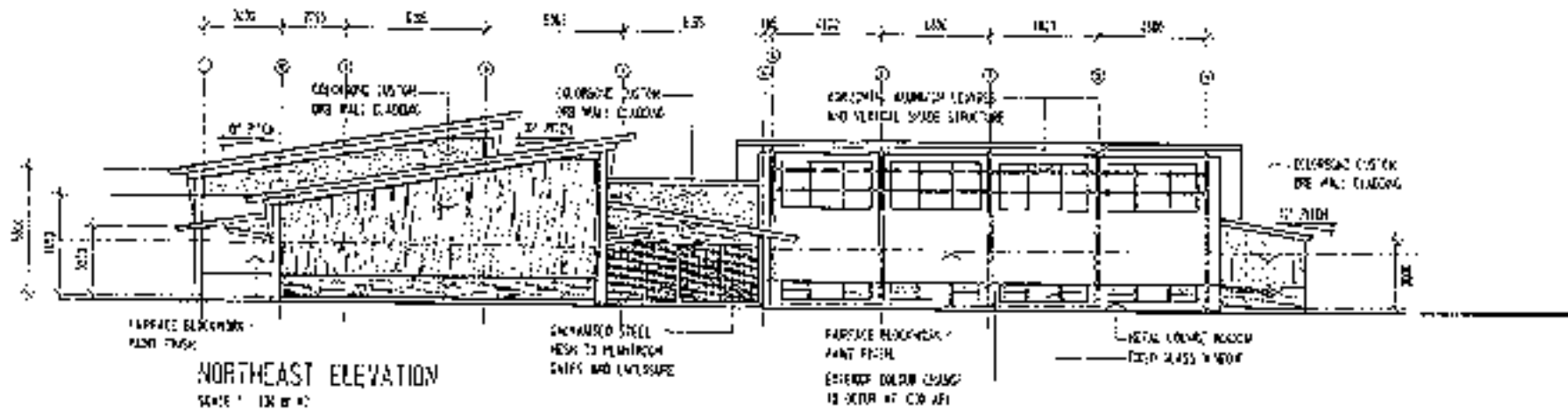
DATE FOR REVISION	BY

ARCHITECTURE PROJECT MANAGEMENT
 1000 UNIVERSITY BLVD
 SUITE 1000
 CHARLOTTE, NC 28202
 TEL: 704.333.1111
 WWW.APMI.COM

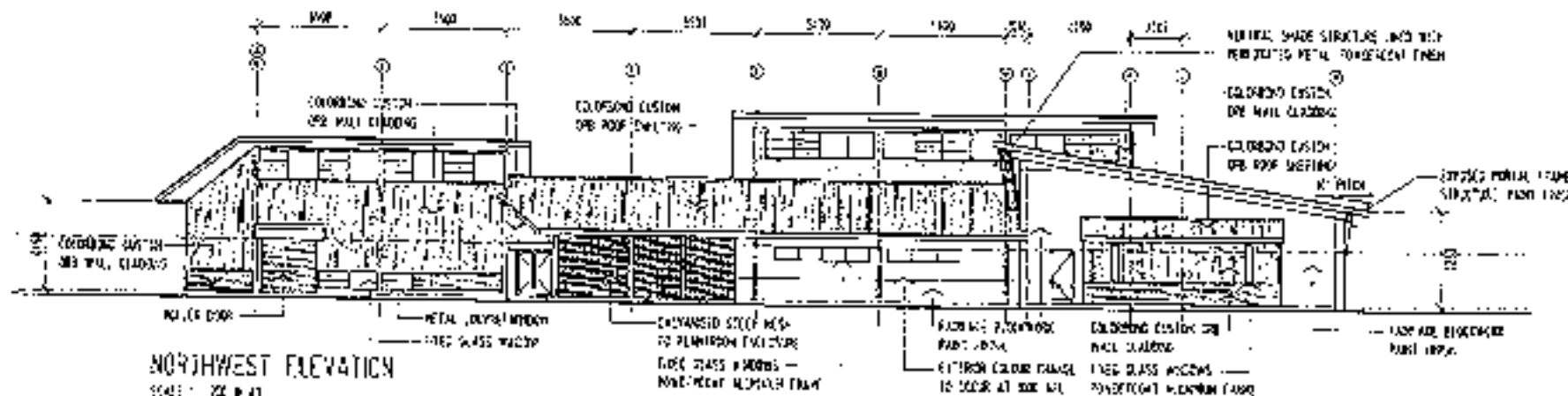
PRELIMINARY
 ELEVATIONS SHEET
 PROPOSED SPORT, REC. & MEDICAL FACILITY
 CHARLES DORRIS UNIVERSITY
 CASUARINA CAMPUS
 CHARLES DORRIS UNIVERSITY

47

DATE FOR REVISION	BY



NORTHEAST ELEVATION
SCALE: 1/8" = 1'-0"



NORTHWEST ELEVATION
SCALE: 1/8" = 1'-0"

DATE FOR THIS SHEET	1/11
BY	AMANDA
FILE NUMBER	

PRELIMINARY

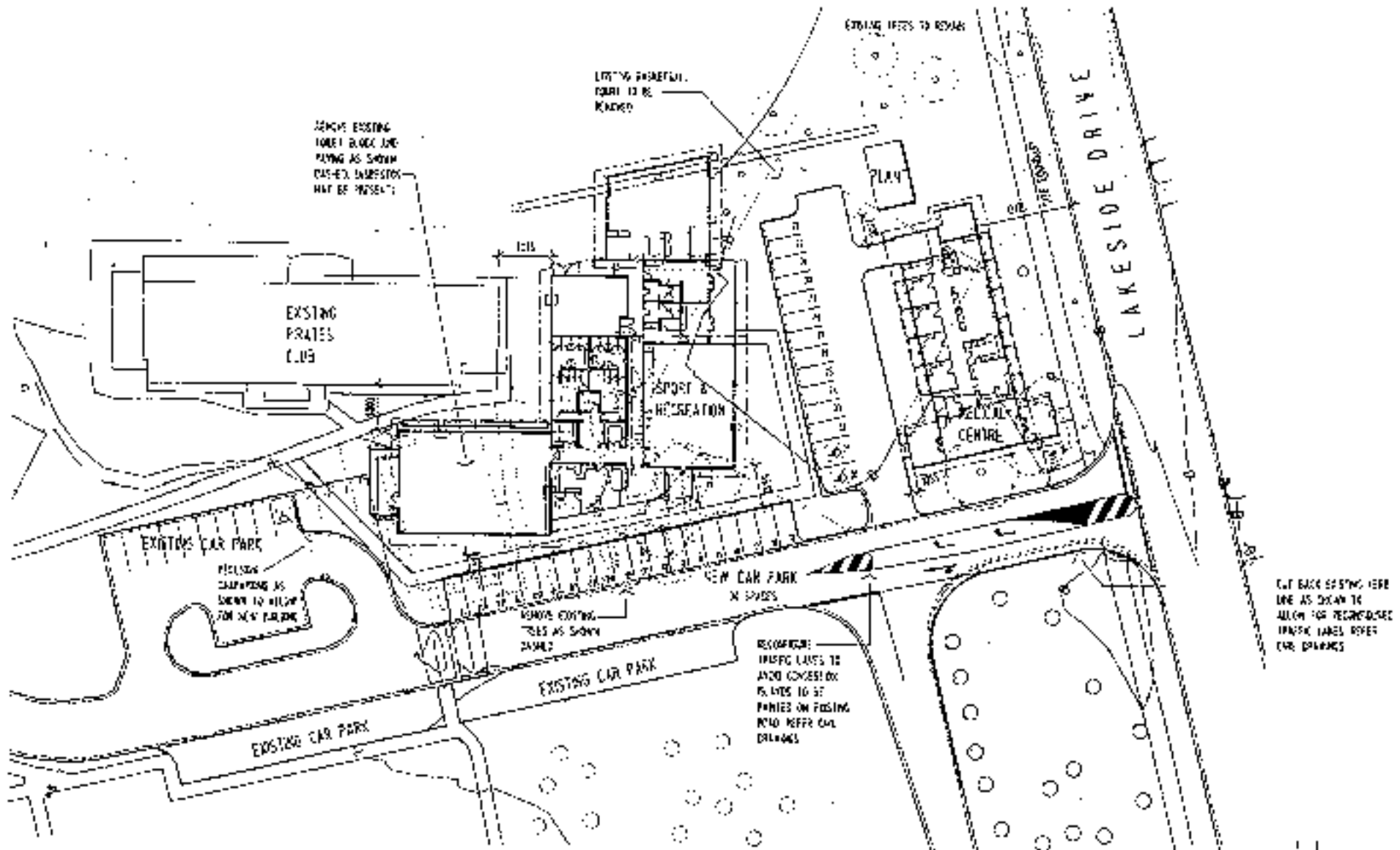
ARCHITECTURE
PROJECT MANAGEMENT
INTERIOR DESIGN
AND PLANNING SERVICES
MEMBER OF THE
HOK GROUP

nke
ARCHITECTS

ELEVATIONS SHEET 2
PROPOSED SPORT, REC. & MED. CL. FACILITY
CHARLES DARTMOUTH UNIVERSITY
CASWORTH CAMPUS
DARTMOUTH COLLEGE

48

DATE	1/11
BY	AMANDA
FILE NUMBER	
DATE	1/11
BY	AMANDA
FILE NUMBER	



PART SITE PLAN
SCALE: 1:500 (A1)



ARCHITECTURE
PROJECT MANAGEMENT
INTERIOR DESIGN
10/100 Collins Street
Melbourne VIC 3000
Tel: 03 9246 9000 Fax: 03 9246 9001

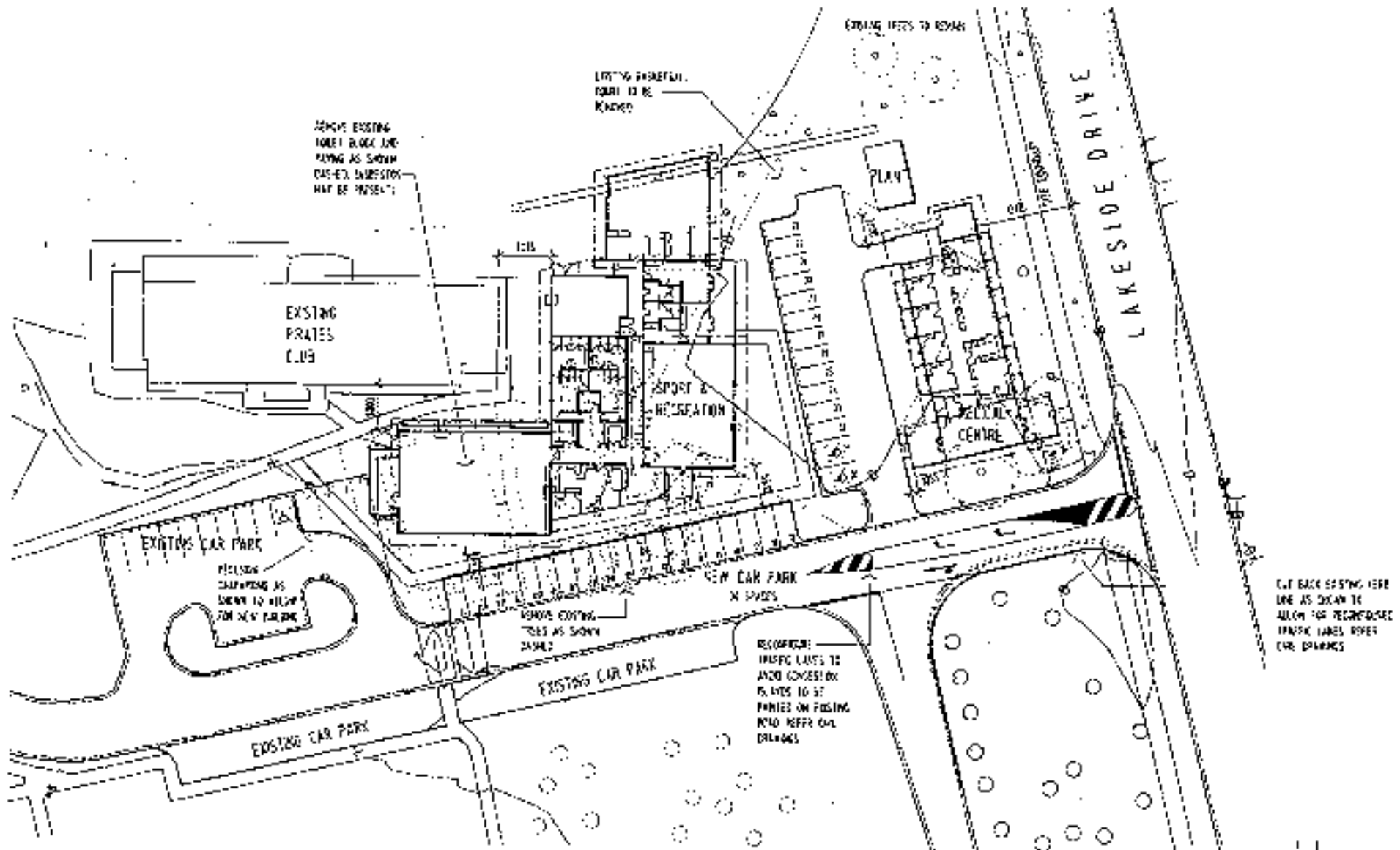


PRELIMINARY
PART SITE PLAN
PROPOSED SPORT, REC. & MEDICAL FACILITY
CHARLES DARWIN UNIVERSITY
DARWIN CAMPUS
CHARLES DARWIN UNIVERSITY

49

NO	DATE	BY	APP'D
01	10/10/00	...	...

DATE OF THIS DRAWING: 10/10/00	
SCALE: 1:500	DATE: 10/10/00
PROJECT NO: 001	DATE: 10/10/00
NO: MA 991-002	REV: 01



PART SITE PLAN
SCALE: 50:1 (A3)



ARCHITECTURE
PROJECT MANAGEMENT
INTERIOR DESIGN
100/100/100
100/100/100
100/100/100

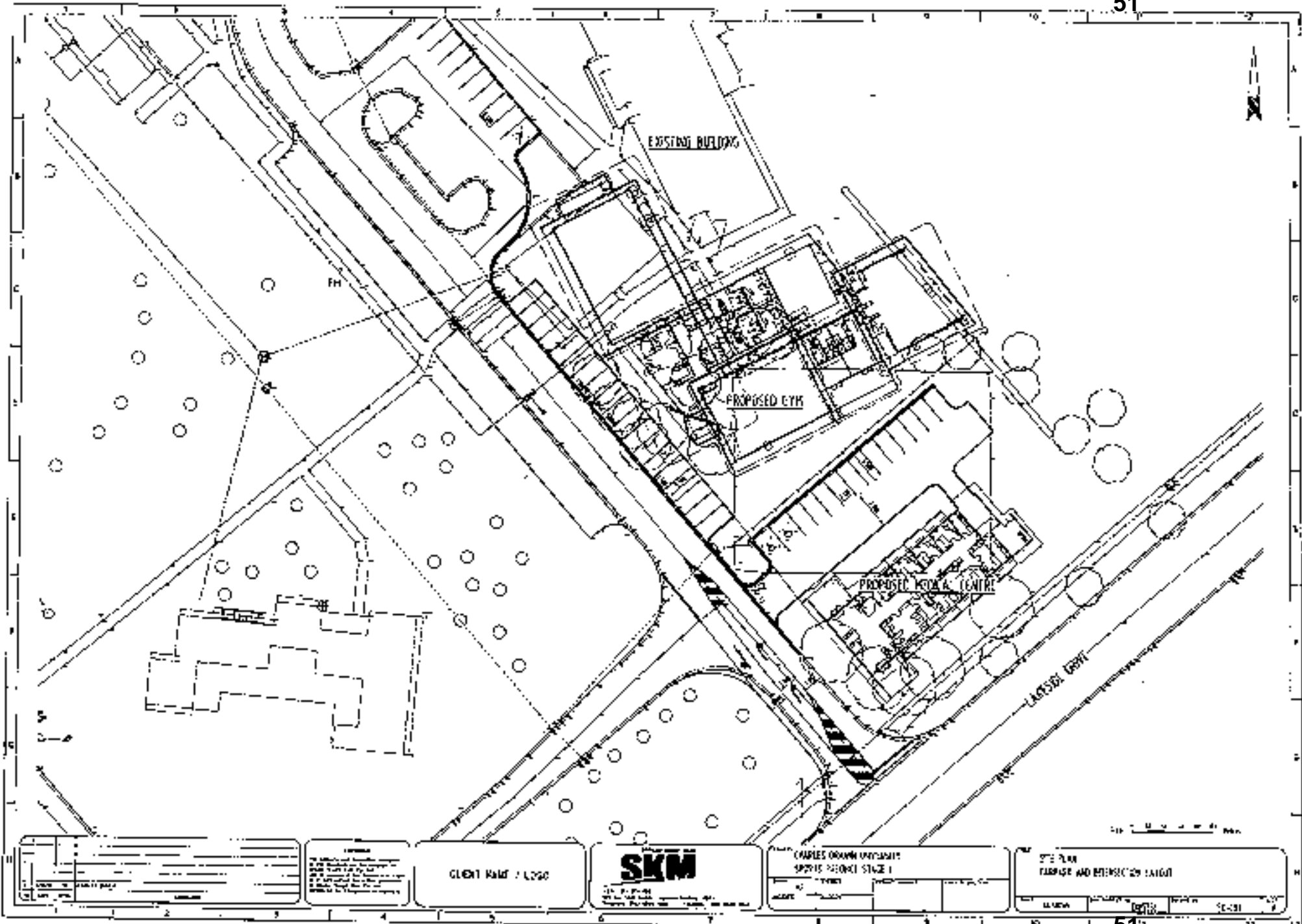


PRELIMINARY
PART SITE PLAN
PROPOSED SPORT, REC. & MEDICAL FACILITY
CHARLES DARWIN UNIVERSITY
DURASARNA CAMPUS
CHARLES DARWIN UNIVERSITY

50

NO.	DATE	BY	REVISION

DATE OF ISSUE		DATE OF REVIEW	
NO.	DATE	BY	REVISION



DATE	10/11/2011
SCALE	AS SHOWN
PROJECT	CHARLES DRAWHOUSE
CLIENT	CHARLES DRAWHOUSE
LOCATION	10/11/2011
DESIGNER	SKM
CHECKED	
APPROVED	

REVISIONS 1. Initial Design 2. Final Design 3. Final Design 4. Final Design 5. Final Design 6. Final Design 7. Final Design 8. Final Design 9. Final Design 10. Final Design

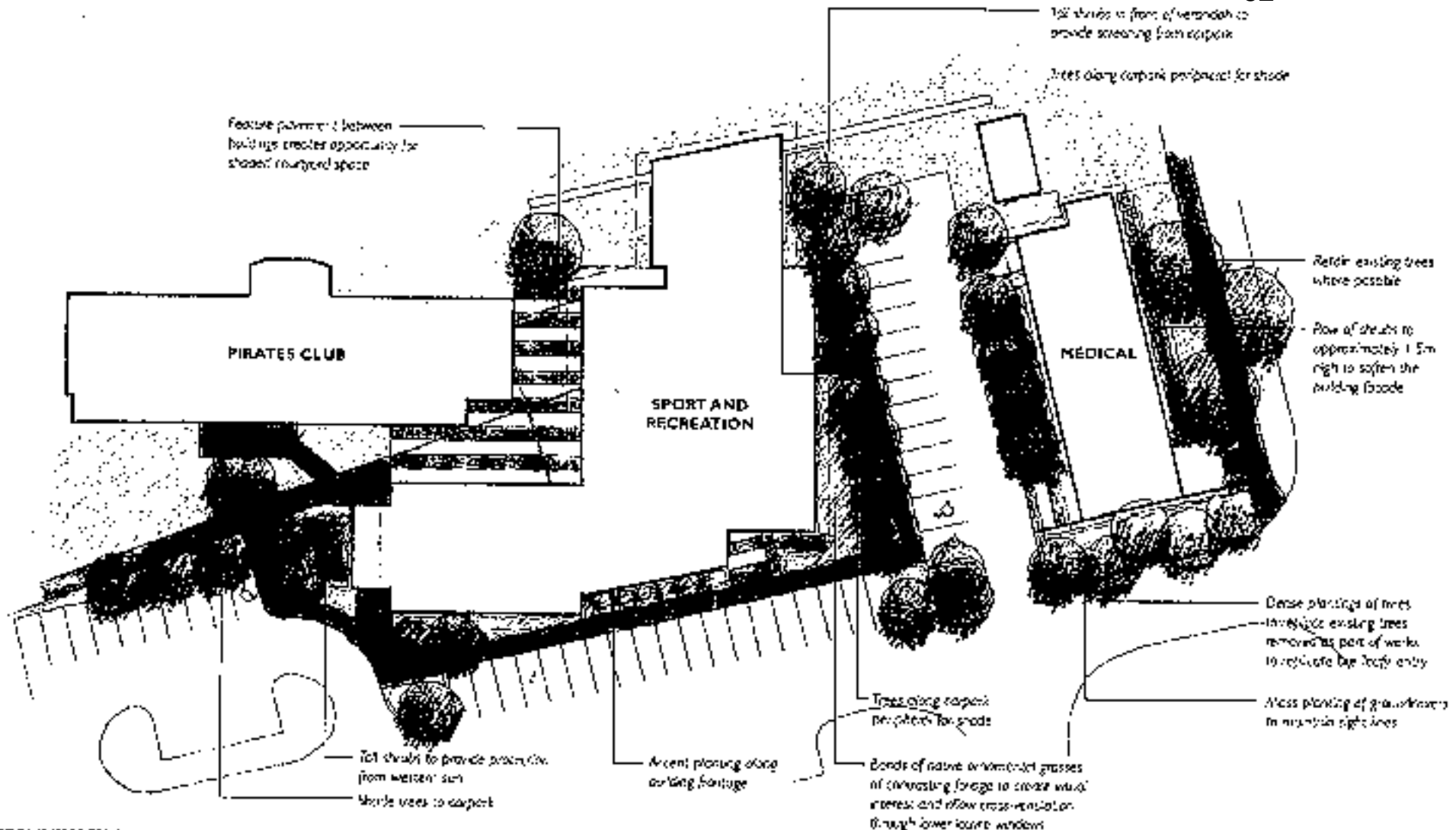
CLIENT NAME / LOGO

SKM

25, P. Street
 1000, Canberra ACT 2600
 Phone: 02 6259 6000
 Fax: 02 6259 6001
 Email: info@skm.com.au

CHARLES DRAWHOUSE
 10/11/2011
 STAGE 1

DATE: 10/11/2011
 SCALE: AS SHOWN
 PROJECT: CHARLES DRAWHOUSE
 CLIENT: CHARLES DRAWHOUSE
 LOCATION: 10/11/2011
 DESIGNER: SKM
 CHECKED: []
 APPROVED: []



PRELIMINARY PLANTING SCHEDULE

Trees	Shrubs	Groundcovers	Ornamental Grasses	Accent Plants
<i>Argentea a. coccinea</i>	<i>Acacia pycnantha</i>	<i>Asplenium nidus</i>	<i>Cymbopogon elongatus</i>	<i>Cycas amabilis</i>
<i>Corymbia ptychocarpa</i>	<i>Acacia limicola</i>	<i>Synedrella nodiflora</i>	<i>Drosera sp.</i>	<i>Conyza sp.</i>
<i>Mimusops laevis</i>	<i>Acacia robusta</i>	<i>Gonolobus retusus</i>	<i>Cymbopogon bambusoides</i>	<i>Zinnia mexicana</i>
<i>Platanus obtusifolia</i>	<i>Gonolobus retusus</i>			
	<i>Melastoma malindinum</i>			



Scale: 1:1000

North Arrow

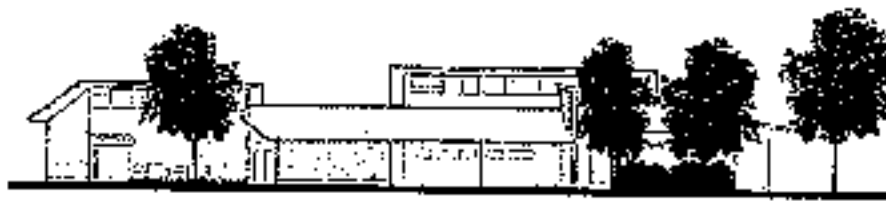
DATE: 10/10/2021

PROJECT: [Illegible]

DESIGNER: [Illegible]

CLIENT: [Illegible]

LOCATION: [Illegible]



SOUTH-EAST ELEVATION



NORTH-EAST ELEVATION



NORTH-WEST ELEVATION



SOUTH-WEST ELEVATION



SOUTH-EAST ELEVATION

	<p>UNIVERSITY OF NORTH CAROLINA CHapel Hill</p>	<p>INIS</p>	<p>Space, Planning and Marketability - Design Development SPORT AND RECREATION CENTER ELEVATIONS</p>	<p>ARCHITECT UNIVERSITY OF NORTH CAROLINA</p>
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SOUTH-WEST ELEVATION



SOUTH EAST ELEVATION

	<p>Office Name MECHANICAL</p>	<p>DATE 1/15/15</p>	<p>College, Department and Medical Faculty - Chapel Hill University MEDICAL FACULTY ELEVATIONS</p>	<p>10677 2/15/15 Project Number</p>
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Please quote: 1643626 PL:av

17 September 2009

Mr Doug Losh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 9260 (77) Lakeside Drive, Brinkin, Town of Nightcliff
Proposed Development – Sports Education Facility, Multi-purpose Hall and
Medical Clinic**

Thank you for the Development Application referred to this office on 4 September 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- 1). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**

Council comments in relation to the Northern Territory Planning Scheme:

- a). **Council requests that the Authority requires additional information from the applicant regarding car parking provision for the proposed development, as Council submits that insufficient car parking is being proposed within the development application.**

- 1). The applicant states on page 3 of the MKEA Architects P/L Planning Report that the *"sports and recreation facilities are catering to the same students that are using the rest of the campus, for whom car parking spaces already exist."* On this basis the applicant is not proposing any new car parking spaces for the gymnasium and multi-purpose hall. New car parking is proposed however, for the sports science research and teaching facility (assessed as a tertiary education classroom) and the medical centre.

...2/



DARWIN 400

2). Council submits that new car parking should also be provided for the gymnasium and multi purpose hall, for the following reasons:-

- I. University students and staff using the gymnasium and multi-purpose hall may frequently use the facilities outside of university teaching hours. As the university car parks are located some distance from the proposed sporting facilities, students and staff will need to be able to park close to the gym for both convenience and safety reasons. This will be particularly important during the early mornings and in the evenings when it is dark. For example, the current gymnasium in this location, Fitness Unlimited, operates outside of daylight hours as is open from 6am to 9pm Monday to Friday. There is no mention in the report whether this current proposal for a gymnasium and multi-purpose hall is to replace the existing Fitness Unlimited facilities on the University site.
- II. It is possible that the gymnasium and multi-purpose hall will also be available for community use and that university car parking will not be available to this group of people. The existing gymnasium on the site, Fitness Unlimited, offers gym membership packages to the wider Darwin community and not just students and staff of the university.
- III. There is already a high demand for car parking both on the university campus and on the surrounding streets close to the university. It is therefore, very important that sufficient new car parking is provided as part of the development.

3). Council's assessment of the car parking requirement for the proposed development is set out in the table below:

Car Parking Requirements (Based upon requirements of Clause 6.5.1 of the NT Planning Scheme)			
Proposed Use	Planning Scheme Requirement	Assessed Requirement	Totals
Sports Science Research & Teaching Facility (classroom for 21 students)	1 space per classroom + 1 space per 6 students + 2 additional spaces	1 + 3.5(21/6) + 2 6.5 spaces	6.5
Gym & Multipurpose Hall (leisure & recreation)	10 per 100m ² net floor area	Gym (280m ²) + Multi purpose Hall (196m ²) = 47.6 spaces	47.6
Admin Offices	2.5 per 100m ² net floor area	Office (60m ²) = 1.5	1.5
Medical Centre	4 per consulting room	4 rooms = 16	16
Total			71.6 (72) spaces

13/

There are 2 car parking plans provided by the applicant for the development application. Both plans are called 'Part Site Plan', with one plan showing 28 new car parking spaces to be created and the other 30 new spaces. In addition, the applicant has stated on page 3 of the MKEA Architects P/L Planning Report that the proposal includes the construction of 33 new carparking spaces. It therefore appears that there is a car parking shortfall of 39 to 44 spaces, proposed by the applicant and this is not supported by Council.

- 4). Should the application be approved by the Authority with a car parking shortfall, Council requests the Authority requires a monetary contribution to be paid to Council, in accordance with its Car Parking Contribution Plan, in lieu of the on-site car parking shortfall.

- ii). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **Council requests that the Authority requires additional information from the applicant regarding the proposed changes to the alignment of the university access road intersection with Lakeside Drive.** The 'Part Site Plan' showing car parking and access indicates some 'cut back' to the existing kerb line to allow for reconfigured traffic lanes. As Lakeside Drive is a Council Road, it is recommended that the applicant contacts Council's Strategic Town Planner, Peter Lindwall, on telephone number 8930 0528 to discuss the traffic management and also car parking issues associated with the development.
- b). **Council requests the Authority includes the following condition on any development permit issued which demonstrates changes to the Lakeside Drive intersection:-**

"Designs and specifications for the realignment of the Lakeside Drive intersection with the University access road shall be submitted for approval by the General Manager of Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense".

- c). **Council requests the Authority requires a schematic plan demonstrating how stormwater to be collected on the site and discharged underground to Council's stormwater drainage system.** Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into Council's stormwater drainage system. The plan should include details of site levels and Council's stormwater drain

...47

connection point/s within the vicinity of the site. It is necessary to ensure that no stormwater will sheet-flow onto the road reserve.

- d). **Council requests the Authority require amended plans demonstrating waste bin storage in accordance with Council's waste bin storage policy (Policy No. 333 as amended 26/02/08).** No waste bin storage facilities are indicated on the submitted plans. The applicant is invited to contact Council's Manager Climate Change and Environment to discuss waste bin storage facilities for the proposed development.

- e). **Council requests the Authority includes the following condition on any development permit issued which demonstrates footpath and landscaping works within Council's road reserve:**

"Notwithstanding the approved plans, footpath and landscaping works within the Lakeside Drive road reserve are subject to Council's approval and shall meet all Council's requirements to the satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council."

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager of Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.
- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.
- Kerb crossovers and driveways to the site shall be provided and disused crossovers removed, public footpath and cycleways shall be provided, stormwater shall be collected and discharged into Council's drainage network, and reinstatement works carried out, all to the requirements and satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.
- Sight lines shall be provided at crossovers to public streets to the satisfaction of the General Manager of Infrastructure, Darwin City Council. No wall, fence or tree exceeding 0.6 metres in height shall be constructed or planted in front of the sight line.
- Car parking spaces and internal driveways shall meet the requirements of the relevant Australian Standard and be linemarked and sealed with an impervious material.

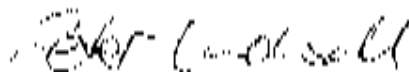
...5/

- The total number of required disabled car parking bays shall be met on site.
- Pursuant to clause 6.5.2 of the Northern Territory Planning Scheme and s.70 (5) of the Planning Act a monetary contribution shall be paid to Darwin City Council for any determined parking shortfall.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager of Infrastructure, Darwin City Council.
- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Charles Darwin University

ENCL: yes

DARWIN CITY COUNCIL**DATE:** 21/09/09**REPORT****TO:** TOWN PLANNING COMMITTEE MEETING
OPEN B **APPROVED:** CT**FROM:** GENERAL MANAGER INFRASTRUCTURE **APPROVED:** PL**REPORT NO:** 09TS0167 PL:sv **APPROVED:** LC**COMMON NO:** 1653717**SUBJECT:** DEVELOPMENT APPLICATION LOT 5966 (130) SMITH STREET
DARWIN CITY TOWN OF DARWIN PROPOSED DEVELOPMENT – 42
X 2 BEDROOM MULTIPLE DWELLINGS IN A 12 STOREY BUILDING
INCLUDING GROUND LEVEL SHOPS**ITEM NO: 10.2****SYNOPSIS:**

A Development Application for Lot 5966 (130) Smith Street, Darwin City for 42 x 2 bedroom Multiple Dwellings in a 12 Storey building including ground level shops has been referred to Council for comment pursuant to Section 48 of the Planning Act. The following report addresses relevant Council issues and recommends that Council endorses comments provided to the Development Consent Authority by staff.

GENERAL:**Applicant:** Kim Enterprises**Zone:** CB (Central Business) **Area:** 918 m²**Proposal:**

The proposal is to develop a 12 storey residential building, with ground level retail, at Lot 5966 (130) Smith Street, Darwin City. The site is in a prominent location at the corner of Smith Street and Harriet Place, Darwin City. The site also has frontage to the Smith Street (West) shopping precinct. The building will be developed with its main frontage to Smith Street, with vehicle access to the levels 1 to 4 car parks from Harriet Place. The building layout is proposed as follows:

- The ground floor will comprise 411 m² of shops with frontages to Smith Street, Harriet Place and the shopping precinct. The waste bin enclosure will also be located on the ground floor, with a service bay for the bin collection truck. Entry to the service bay will be from the main Harriet Place vehicle access, with an exit for the bin truck only to the Smith Street shopping precinct.
- Levels 1 to 4 will comprise car parking floors with 21 car parking bays on each floor making a total of 84 bays.

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 REPORT NO: 09TS0167 PL:sv
 SUBJECT: DEVELOPMENT APPLICATION
 LOT 5966 (130) SMITH STREET DARWIN CITY TOWN OF DARWIN
 PROPOSED DEVELOPMENT – 42 X 2 BEDROOM MULTIPLE DWELLINGS
 IN A 12 STOREY BUILDING INCLUDING GROUND LEVEL SHOPS

- Levels 5 to 11 will each comprise 6 x 2 bedroom units making a total of 42 multiple dwellings. Each multiple dwelling will have an outdoor balcony / verandah.

The proposal is shown at **Attachment A**.

Site and Surrounds

The site is within the CB (Central Business) zone of Darwin and is currently developed for a 24 hour diner style café. Land to the north, north-east and south-west of the site is also within zone CB and is developed for various commercial uses. There is a local park located directly to the south-east of the site and zone HR (High Rise Residential) to the north-east.

Northern Territory Planning Scheme:

Interim Development Control Order No. 18 (IDCO No. 18) applies to this land. The IDCO restricts building heights in Central Darwin. The construction of a building or structure of a height exceeding 36 metres above ground level is prohibited on this site. The proposed building appears to exceed the IDCO height limit as it is 36.7 metres in height from ground level to the top of the roof, when measurements are taken from Development Application Plan Sheet 5/8 – Smith Street Elevation, as follows:

- Ground Level – 4.5 metres
- Car Park Levels 1 to 4 – 10.4 metres (2.6 metres x 4)
- Residential Levels 5 to 10 – 16.8 metres (2.8 metres x 6)
- Residential Level 11 to top of lift shaft – 5 metres
- Total: 36.7 metres

The proposal is for a mixed residential and commercial use within Zone CB (Central Business). Residential and commercial land uses are discretionary within zone CB, subject to complying with the following Planning Scheme requirements:

Clause	Requirement	Complies / Not Complies
Clause 6.3 Building Heights in Central Darwin	Refer to IDCO No. 18 – as above	Does not comply
Clause 6.5.1 Parking Requirements	See note below.	See note below.
Clause 6.5.3 Parking Layout	Car parking area should be appropriately designed, constructed and maintained for its intended purpose.	Comment – Appears to comply
Clause 6.6 Loading Bays	A shop use requires 1 loading bay for every 2000m ² of net floor area.	Comment - Total floor area of ground floor shops is 411m ² . Loading bay is not required.

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 IN A 12 STOREY BUILDING INCLUDING GROUND LEVEL SHOPS

Clause 7.5 Private Open Space	For each dwelling without ground floor access, a 12m ² minimum area, with dimensions of 2.8 metres x 4.0 metres.	Complies
Clause 7.6 Communal Open Space	Minimum of 15% of site, being not less than 6 metres across at any one point.	Does not comply – No communal open space is provided. Variation requested.
Clauses 7.8 and 8.2 Building Design	Purpose of clause is to promote site-responsive building designs.	Elevation plans and building perspectives provided to display design features of the building.

Car Parking Assessment

Clause 6.5.1 of the Planning Scheme sets out car parking requirements for new developments located within Darwin's Central Business (CB) Zone. The requirement is for 2 spaces for every multiple dwelling and 3 spaces for every 100m² of net retail, restaurant and office floor-space. The applicant's plans show 42 multiple dwellings and a total of 84 car parking bays provided for the multiple dwellings on Levels 1 to 4 of the building, which meets Planning Scheme requirements. However, no car parking is provided for the proposed shop units.

There is a total of 411m² of commercial floor-space, proposed for the ground floor of the building which will be used for shops. Whilst there is existing 'on-street' Council car parking for the Smith Street West and Harriet Place shopping precincts, the applicant should provide additional car parking for any increase in commercial floor-space as a result of the development. As, the applicant has failed to provide any details of the existing commercial floor-space on Lot 5966, it is not possible to assess the additional car parking, if any, required for the proposed development.

Disability Discrimination Legislation:

Disability Discrimination Act issues are addressed under the Building Act requirements. Council places a statement of support for equal opportunity on all responses.

Council Issues:

Crossover and Driveway: The applicant is proposing a 7.0 metre vehicle crossover and driveway from Harriet Street to the upper level car parks and the service bay for the waste bin vehicle. A 7.0 metre vehicle crossover is also proposed to the Smith Street shopping precinct car park, as an exit for the waste bin vehicle only. The proposed vehicle crossovers will result in the loss of 4 on-street angled car parking bays from Harriet Place and 3 right-angled bays from the Smith Street shopping precinct car park. Council will request that a condition is placed upon any development permit issued requesting a monetary contribution to be paid by the applicant to Darwin City Council in lieu of the total number of on-street car parking spaces lost as a result of the development.

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 LOT 5966 (130) SMITH STREET DARWIN CITY TOWN OF DARWIN
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 IN A 12 STOREY BUILDING INCLUDING GROUND LEVEL SHOPS

Stormwater Drainage: Proposals for on-site stormwater collection and discharge underground to street stormwater mains have not been included on the development application plans. Stormwater plans to be requested from applicant.

Lot 5966 is not covered by a Developer Contribution Plans for Stormwater Drainage Works, as gazetted by Council in 2007.

Easements: There are no easements shown on the applicant's plans.

Footpath / Verge: No footpath or landscaping works to the Smith Street and Harriet Place frontages to the site are shown on the development application plans.

Awnings: There is a proposed 2.6 metre wide awning around the Smith Street and Harriet Place frontages of the site. Council's standard awnings condition to be requested.

Overhangs to Council Land: The development application Ground Floor Plan (Sheet 2/8) and the Building Elevation Plans (Sheets 5/8, 6/8 and 7/8) demonstrates various roof, window shade and architectural feature overhangs to Council land on Smith Street, Harriet Place and the Smith Street shopping precinct. With the exception of street level awnings, Council will not support any other overhangs on Council's land and these should be removed from the development application plans. The applicant should be advised that Council will not approve any roof, window shade and building / architectural features overhanging Council's land.

Waste bins: Additional information from the applicant regarding waste management and waste collection facilities for proposed development. The waste bin facilities shown on the applicant's Ground Floor Plan (Sheet 2/8) are not adequate for the proposed development, for the reasons set out below.

Council's Waste Bin Policy (Policy No. 333 – as amended 26/02/08) requires that a development of 42 multiple dwellings has a waste bin enclosure of adequate size to store 11 x 240 litre garbage bins (serviced twice weekly) and 7 x 240 litre recycling bins (serviced weekly) and a separate waste bin enclosure for commercial waste, with facilities for food waste meeting health requirements. The applicant's Ground Floor Plan (Sheet 2/8) currently shows a linear waste bin enclosure holding only 6 x 240 litre waste bins, adjacent to a 'bulk bin collection truck' service bay.

Council's Policy advises that in developments of 20 or more multiple dwellings the building owner may, with Council approval, choose to provide a bulk refuse collection through a commercial waste collection contractor. Applications for an 'exemption' from Council's standard service must provide details to Council of the alternate waste service proposed. The alternative service should provide bulk bin capacity equal to Council's standard service, with a waste bin capacity of minimum 80 litres of garbage and 40 litres of recycling material per week and that high rise residential developments of six storeys or more should provide garbage chutes.

Whilst a waste chute for the apartment tower is indicated on the development application plans, the position of the bin chute on the residential floors and through

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 IN A 12 STOREY BUILDING INCLUDING GROUND LEVEL SHOPS

the car parking levels, does not line up with the position of the ground floor waste bin enclosure. In addition, the ground floor waste bin enclosure does not include a facility for reception of waste from a chute, but instead the 6 x 240 litre stand alone garbage bins, as mentioned above.

The applicant's plans indicate that a 'bulk bin collection truck' will enter the building at ground floor level to service the waste bins. However, the 4.5 metre floor to ceiling clearance of the ground floor may be inadequate for an overhead loader to service the bins. The overhead loaders that supply the bulk bins have a vehicle height clearance of 4.5 metres, increasing to 6.5 metres with arms extended.

FINANCIAL IMPLICATIONS:

Nil.

STRATEGIC PLAN IMPLICATIONS:

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

- 1.1 Improve relations with all levels of Government
 - 1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin
 - 1.1.5 Influence Government and developers to develop sustainable projects which reflect Darwin's lifestyle
- 1.2 Effectively engage with Community
 - 1.2.1 Increase involvement of the Business Community for developing solutions to local issues

LEGAL IMPLICATIONS:

This item is not considered "Confidential".

PUBLIC RELATIONS IMPLICATIONS:

Not assessed.

COMMUNITY SAFETY IMPLICATIONS:

Not assessed.

DELEGATION:

To the Chief Executive Officer to provide standard Development Permit conditions as appropriate.

CONSULTATION:

Through the Development Application statutory process.

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REPORT NO: 09TS0167 PL:sv
SUBJECT: DEVELOPMENT APPLICATION
LOT 5966 (130) SMITH STREET DARWIN CITY TOWN OF DARWIN
PROPOSED DEVELOPMENT – 42 X 2 BEDROOM MULTIPLE DWELLINGS
IN A 12 STOREY BUILDING INCLUDING GROUND LEVEL SHOPS

PROPOSED PUBLIC CONSULTATION PROCESS:

Nil

APPROPRIATE SIGNAGE:

Not Applicable.

RECOMMENDATIONS:

THAT the Committee resolve under delegated authority:-

- A. THAT Report Number 09TS0167 PL:sv entitled Lot 5966 (130) Smith Street Darwin City Town of Darwin - Proposed Development – 42 x 2 Bedroom Multiple Dwellings in a 12 Storey Building including Ground Level Shops be received and noted.
- B. THAT Council endorse the letter to the Development Consent Authority in Attachment B to Report Number 09TS0167 PL:sv.

PETER LINDWALL
STRATEGIC TOWN PLANNER

DROSSO LELEKIS
ACTING GENERAL MANAGER INFRASTRUCTURE

Any queries on this report can be directed to Peter Lindwall on 8930 0528 or email p.lindwall@darwin.nt.gov.au

Darwin City Council
1/10/2009

17 SEP 2009

File Number: PA2009/1333
Exhibition Period: 18/09/2009Consent Authority: Darwin
To: 02/10/2009

PROPOSED DEVELOPMENT SITE

ADDRESS: Lot 05066 Town of Darwin (130 Smith St, Darwin City)

ZONE: Central Business

PROPOSAL: 42 x 2 bedroom units in a 12 storey building

APPLICANT: Kim Enterprises

CLOSING DATE FOR SUBMISSIONS: 4 PM 02/10/2009

FOR DETAILS PHONE:

LODGE SUBMISSIONS AT:

GPO Box 1680	or	PO Box 2130	or	PO Box 1171
DARWIN NT 0801		ALICE SPRINGS NT 0871		KATHERINE NT 0851
Fax 8999 6055		Fax 8951 9223		Fax 8973 8666

EXHIBITION SIGNAGE INSTRUCTIONS

You have been provided with signage to be placed on the development site as required by the *Planning Act* and Regulations (see overview for extract of regulations)

Please read and follow the instructions below - if you are unclear on any of the instructions, please ask Development Assessment Services staff

1. Signs must be completed with the details specified above;
2. Use a waterproof, black permanent marker;
3. Use black letters;
4. Text must be clear and large (about the same size as the printing on the sign);
5. Signs must be placed on the site and must be clearly visible from the required public road (preferably on the boundary);
6. Signs should be secured with wire to the boundary fence, star pickets or similar to avoid wind damage or unauthorised removal;
7. Signs must be in place on the site by 8.00 am on the first day of the exhibition period;
8. Signs must remain in place for the entire exhibition period (if lost or damaged during the time please contact Development Assessment Services staff immediately to arrange for the collection of replacement signs);
9. It is the responsibility of the applicant to ensure the maintenance of the signage for the full exhibition period;
10. After the exhibition period is complete, signs must be removed and disposed of responsibly and the "Unaltered Declaration" provided with the signs completed and returned to Development Assessment Services staff.

NOTE: If the signage is not erected and displayed for the full exhibition period in accordance with these instructions the development application will require re-exhibition. This will involve payment of a further \$240 advertising fee and may delay the date on which the application is considered by the consent authority.

NORTHERN TERRITORY OF AUSTRALIA

Planning Act

Application for Development Permit - section 46

1. LAND INFORMATION

LOCATION OF PROPOSED DEVELOPMENT
 Town/Local authority: Lot 1266
 Parcel Number(s) and/or Unit number: 1266 TOWN OF DARWIN
 L.U. Plan:
 Chamber and Street Name:
 Zone: CRZ

LAND OWNER INFORMATION

Is the applicant the land owner? YES/NO
 Owner's name(s): KIM ENTICOPRISSE P/L
 Postal address: PO BOX 3122
 DARWIN DCNT

Attach owner's authorisation if applicant is not the land owner
 SEE ATTACHMENT C/D FOR FURTHER INFORMATION

ATTACHMENT A
 ONE (1) COPY



2. APPLICANT INFORMATION

APPLICANT: KIM ENTICOPRISSE P/L
 BUS Customer no. (if known):
 Company name (if applicable):
 ABN or ACN (if applicable): 6109 042 344
 Title: Mr Mrs Miss Ms Dr Other:
 Family name(s):
 Given name(s):
 Preferred name(s):
 Postal address:
 Telephone no. (business/home): 08 11 22 3 291
 Facsimile no.: 08 11 22 3 291
 E-mail address: k.enticopriss@nt.gov.au

CONTACT PERSON FOR FURTHER INFORMATION (OR WRITE 'AS ABOVE')

BUS Customer no. (if known):
 Company name (if applicable): M. M. M. M.
 ABN or ACN (if applicable):
 Title: Mr Mrs Miss Ms Dr Other:
 Family name(s):
 Given name(s):
 Preferred name(s):
 Postal address: PO Box 3122 Darwin DCNT

Telephone no. (business/home): 08 11 22 3 291
 Facsimile no.: 08 11 22 3 291
 E-mail address: k.enticopriss@nt.gov.au

NOTE:
 ALL CORRESPONDENCE
 WILL GO TO THE PERSON
 AND ADDRESS INDICATED
 HERE.

3. DEVELOPMENT / PROPOSAL

EXISTING LAND USE

BRIEF DESCRIPTION OF DEVELOPMENT/PROPOSAL

Proposed Commercial Residential Unit Development

Value of works (excluding land)

FROM FEDERAL DEVELOPMENT COUNCIL

VARIATIONS SOUGHT

change of zoning / other matters

4. STATEMENT OF EFFECT OF USE OR DEVELOPMENT PROPOSAL

SEE ATTACHMENT GUIDE FOR FURTHER INFORMATION

ATTACHMENT B
Ten (10) COPIES



5. DIMENSIONED PLANS

SEE ATTACHMENT GUIDE FOR FURTHER INFORMATION

ATTACHMENT C
Ten (10) COPIES



6. SUBDIVISION / CONSOLIDATION

Site area (m²)

Number of existing lots

Number of lots to be created

Existing buildings on site

YES/NO

If YES, attach statement of compliance of existing building(s) with the Building Act following subdivisions

SEE ATTACHMENT GUIDE FOR FURTHER INFORMATION

ATTACHMENT D
One (1) COPY



7. APPLICANT TO SIGN AND/OR AFFIX SEAL

The application is complete and all required documentation is attached.

[Handwritten signature]

10 / 9 / 2003

SIGNATURE

DATE

PRIVATE AND/...

The Department of Planning and Infrastructure, on behalf of the Council, is authorized under the Planning Act to collect the information on this form, or otherwise provided by you, to consider a proposal to grant a Development Permit. Failure to provide the information will likely result in delays in processing of the application.

Some of the personal information provided by you on this application may be publicly available, as part of a public exhibition process. The information is also regularly provided to other 141 Government agencies, the Australian Statistical Census, local governments and companies for the relevant Department and agencies, as required by law.

Collection of personal information on this form is done in accordance with the privacy legislation contained within the Information Privacy Act 2000. For more information please refer to the Department of Planning and Infrastructure privacy notice at <http://www.dpi.qld.gov.au>

Any personal information provided you or your company is accepted by you on behalf of your business. If you have any queries about the Queensland Development Commission, please call 1300 30 30 30.

Savvas P Savvas
ARCHITECT

3.9.2009

NT Council Authority

**DEVELOPMENT ASSESSMENT OF PROPOSED DEVELOPMENT AGAINST
RELEVANT CLAUSES OF THE NORTHERN TERRITORY PLANNING
SCHEME**

Lot Number: LOT 5066 CBD
Town/Hundred: Darwin NT
Zone: CBD
Site Area: 918sqm
Proposal: Proposed Residential Unit and commercial Development

Applicable clauses pursuant to the Northern Territory Planning Scheme are (6.2, 6.3), 6.5.1, 7.5, 7.6, and 7.8

6.2, 6.3 General Height Requirement

The overall height of the proposal is below 36m hence the proposal complies with this condition.

6.5.1 Parking Requirements

1. The purpose of this clause is to ensure that sufficient off street car parking, constructed to a standard and conveniently located, is provided to service the proposed use of a site.

The proposal accommodates the entire car parking requirements for the residential component in four storeys of aboveground multilevel car parking. We are respectfully requesting your consideration to allow the commercial area located at ground level to be serviced by existing arrangements on and around the site, that is the existing commercial areas of the site is currently serviced by car parking located at adjoining off street City Council premises and adjoining street parking (Harriet Place). We are of the opinion that the car parking requirement generated from the

proposed commercial component should be significantly reduced given that the proposed area is significantly less than the existing commercial areas.

The number of residential dwellings proposed = 42 x 2 bedroom units
The number of car parking bays required = 84; provided on site = 84.

All car parking bays are minimum 2.5m width x 5.5m length.

The proposed ramps shall be as per AS 2890.1 with maximum gradient of 1:4 (25%) for ramps up to maximum 20m as per sheet 26 of A52890.1.

7.5 PRIVATE OPEN SPACE

1. The purpose of this clause is to ensure that each **dwelling** has private open space that is:
 - (a) appropriately sited; and
 - (b) of an adequate size to provide for domestic purposes.

Private open space is provided to each dwelling via large balconies, 27sqm and 30 sqm respectively

2. Private open space areas should:
 - (a) satisfy the minimum area and dimensions contained in the table to this clause; and
 - (b) be directly accessible from the **dwelling** and enable an extension of the function of the **dwelling**.

Each dwelling can enjoy the private open spaces (balconies) in private without view from adjoining dwellings. The balconies are an extension of both the living and bedroom areas. Each bedroom is afforded with separate bathroom facilities and access to the balcony. Large expanses of glass walls and doors will provide expanses of vistas to external areas /balconies and beyond.

7.6 COMMUNAL OPEN SPACE

1. The purpose of this clause is to ensure that suitable areas for communal open space are provided for **hostels, multiple dwellings and supporting accommodation**.
2. A minimum of 15% of the **site**, being not less than five wide at any point, is to be communal open space.
3. The design of the communal open space should consider

Page 7

We are respectfully seeking a variation to the requirements of this clause:
 The site is located opposite a large landscaped open area zoned Open Space.
 The site is located along the busy Smith Street and the quiet Harriet Place.
 The site is accessible from Harriet Place and will provide for easy access.
 The large Open Space is also located along Harriet Place for the enjoyment of those wishing to utilize that open space. The landscaping within the open space along Harriet Place is considerable and mature trees provide shading for the general public.

The site is also located amongst other commercial and residential buildings and is located within very close proximity to public transportation and walking distance to other commercial and CBD amenities and facilities, such as restaurants, doctor's surgery, dentist surgery, cafes, fast food outlets, supermarkets, offices, bus stops, other multiple dwellings.

- (a) the overall **dwelling** density proposed for the site;
- (b) the proximity and quality of alternative private or public open space;
- (c) the need to clearly distinguished communal open space from private and public open space and the need to maintain the reasonable privacy of nearby **dwellings**;
- (d) the type of activities provided for;
- (e) the projected needs of children for outdoor play;
- (f) the provision of landscaping and shade;
- (g) safety issues including lighting and informal surveillance;
- (h) on-site traffic circulation; and
- (i) future maintenance and management requirements.

7.B BUILDING DESIGN FOR MULTIPLE DWELLINGS, HOSTELS AND SUPPORTING ACCOMMODATION

1. The purpose of this clause is to promote site-responsive designs for **hostels, multiple dwellings and supporting accommodation** which are pleasant for the occupants and do not unreasonably affect the use and enjoyment of adjacent land.

The proposal provides for a supporting commercial and residential component. The commercial component is designed to attract both patrons and general public (as is the currently the case).

2. Building design should:
 - (a) locate development on the site for correct solar orientation;
 - (b) minimise expanses of walls by varying building heights, building setbacks and façades;
 - (c) locate air conditioners where they are accessible for servicing;
 - (d) conceal service ducts, pipes, air conditioners, air conditioning plants etc.

The site configuration and location allows the proposal to have three street frontages.

Frontage to Smith Street

Frontage to Harriet Place

Frontage to adjoining public carparking

- (e) avoid overlooking of private open spaces and habitable rooms of adjacent residences on the same and adjacent sites.

The brief for this proposal was to design dwellings affordable to the low cost market. Privacy to and from and between dwellings however was paramount. Each dwelling can enjoy the private open balcony in private and without overlooking adjoining dwellings or intruding on the privacy of other dwellings.

- (f) locate bedrooms and private open spaces away from noise sources;

Given that the building is located along Smith Street, some treatment of balconies along Smith Street will be incorporated. For example, raising 600mm of concrete walls to balconies to assist in acoustic and visual privacy. Residential dwellings commence from the 6th level upwards again assisting in acoustic and visual privacy.

- (g) control its own noise sources and minimize the transmission of noise between dwellings;

Generally private areas of the dwellings are located away from noise sources and Building Code requirements require additional wall treatments where the private areas of one dwelling adjoin public areas of another dwelling.

- (h) where close to high noise sources (such as busy roads and airport flight paths), be of appropriate acoustic design and construction;

The proposed building is to be constructed of Pre-cast concrete.

- (i) balance the achievement of visual and acoustic privacy with passive climate control features;

The open plan arrangement and location of bedroom to balconies and their access allows for passive climate control (balconies provide shading to large glass facades and shielding of door access to bedrooms from balconies).

- (j) allow breeze penetration and circulation;

Breeze penetration and circulation is possible to each individual dwelling.

- (k) minimise use of reflective surfaces; and

- (l) provide internal drainage of balconies and coving on the edge of balconies.

All balconies to each dwelling are to be internally drained.
No highly reflective surfaces are proposed.

46(3)(b): an assessment demonstrating how the proposed development will comply with an interim development control order, if any, applying to the land.

Current interim development control order for height restriction of 36m
The proposed building complies with this order.

46(3)(c): If a public environmental report or an environmental impact statement has been prepared or is required under the Environmental Assessment Act in relation to the proposed development, a copy of the report or statement and the results of any assessment of the report or statement under that Act by the Minister administering that Act;
No such report is supplied.

46(3)(d): an assessment demonstrating the merits of the proposed development.

Merits of the proposal.

The building provides an interesting and interactive street scope appeal
Private enjoyment of open and private areas without compromise to privacy between each dwelling.
Proposed building proximity to other CBD amenities and facilities and opposite large landscaped open space.
Commercial facilities proposed to supplement existing amenities and proposed dwellings
The proposal is consistent with other neighbourly buildings.
The proposal seeks to accommodate affordable housing to the precinct.
Easy and practicable access to all air-conditioning.

46(3)(e): A description of the physical characteristics of the land and a detailed assessment demonstrating the land's suitability for the purposes of the proposed development and the effect of that development on that land and other land.

The site is flat in nature and is located amongst other allotments with same zoning. The site is opposite a large fully landscaped site zoned Open Space and adjoins a quiet road Harriet Place. Harriet place could be considered a secondary access way for these few sites accessible only from that street.

46(3)(f): a statement specifying the public facilities or public open space available in the area in which the land is situated, whether land for

Page 5

public facilities or public open space is to be provided by the developer and whether it is proposed that the facilities or open space be developed by the developer.

The Open Space currently adjoining (opposite) the building is quite significant and substantial hence no further development is envisaged for that open space.

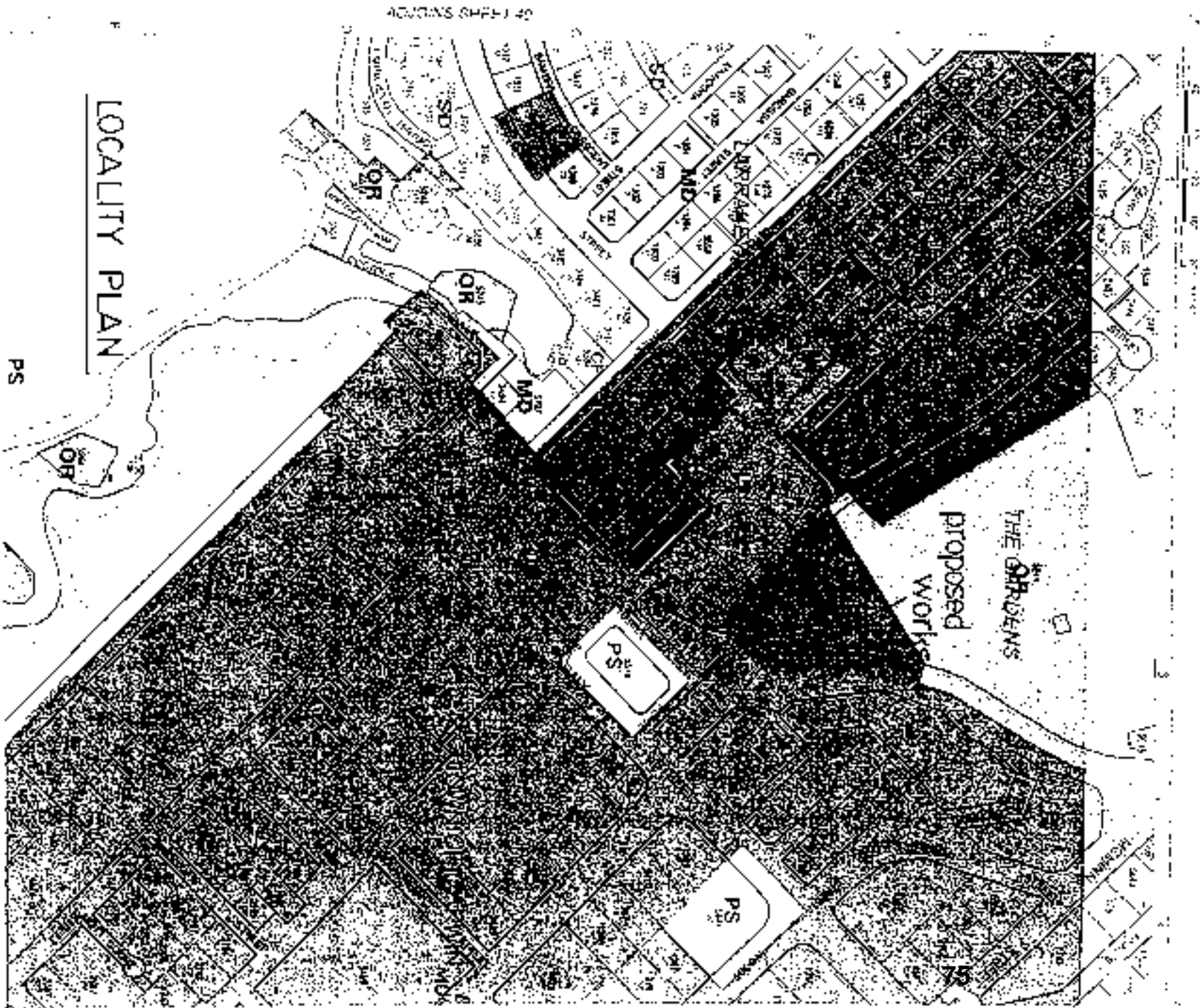
- 4G(3)(g): a statement specifying the public utilities or infrastructure provided in the area in which the land is situated, the requirements for public facilities and services to be connected to that land and whether public utilities or infrastructure are to be provided by the developer or land is to be provide by the developer for the provisions of public utilities or infrastructure.

The site is located amongst a hub of existing public utilities and infrastructure (Shops, restaurants, public transport, medical facilities, offices, fast food outlets, other residential developments, etc.

- 4G(3)(h) an assessment of the potential impact on the existing and future amenity of the area in which the land is situated. The proposal will provide for an interesting building and add to the existing amenities of the precinct. The proposal will increase residential interaction and servicing of existing commercial amenities

- 4G(3)(i) an assessment of the benefit or detriment to the public interest of the development:

The proposal increases residential amenities to the CBD precinct. The increase of residential dwellings may also be the stimulus for an increase and enhancement of further commercial and public facilities in and around that precinct.



LOCALITY PLAN

PS

SARVAAS P SARVAAS
ARCHITECT

1/20/2024
1/20/2024
1/20/2024

PROPOSED 2 REFERENCE UNIT DEVELOPMENT
Lot 5966 CRD Town of Darwin NT

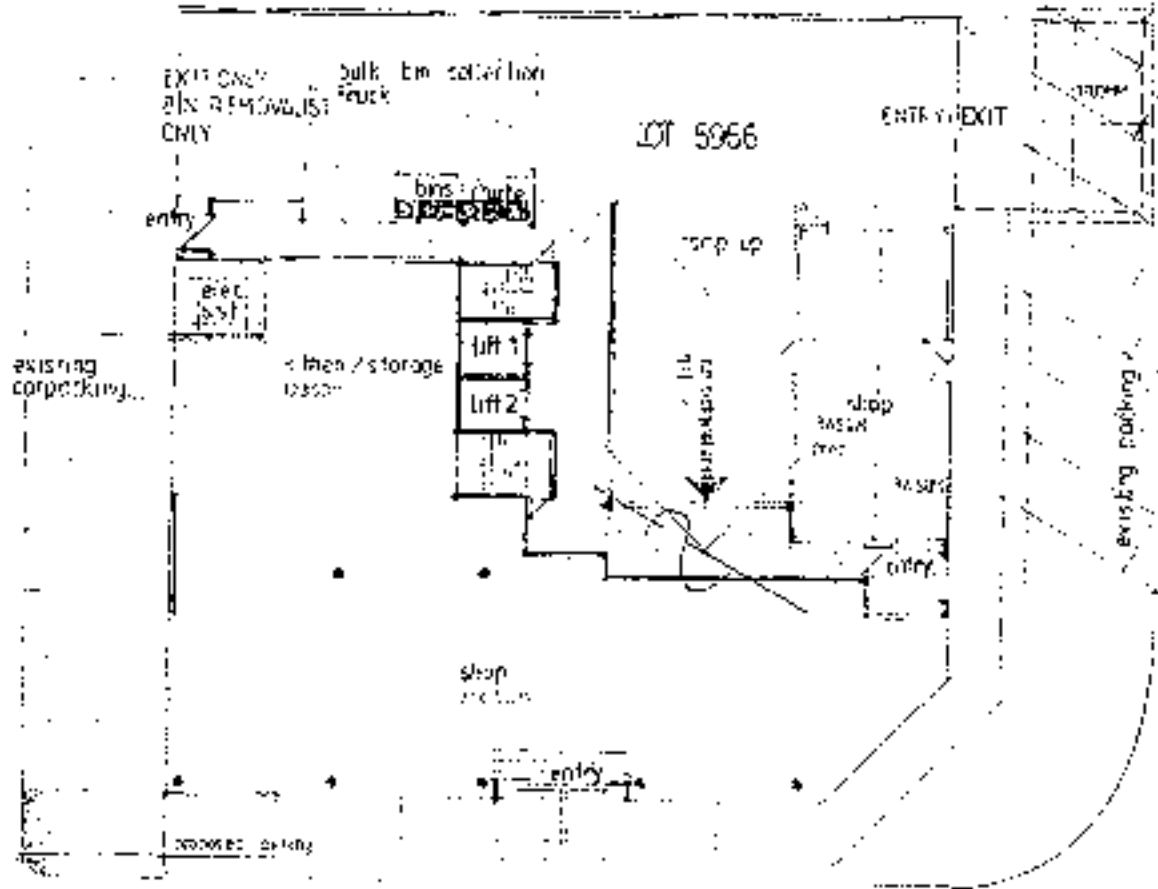
sheet 1 / 1

PA Group P/L
ARCHITECTS
1/20/2024



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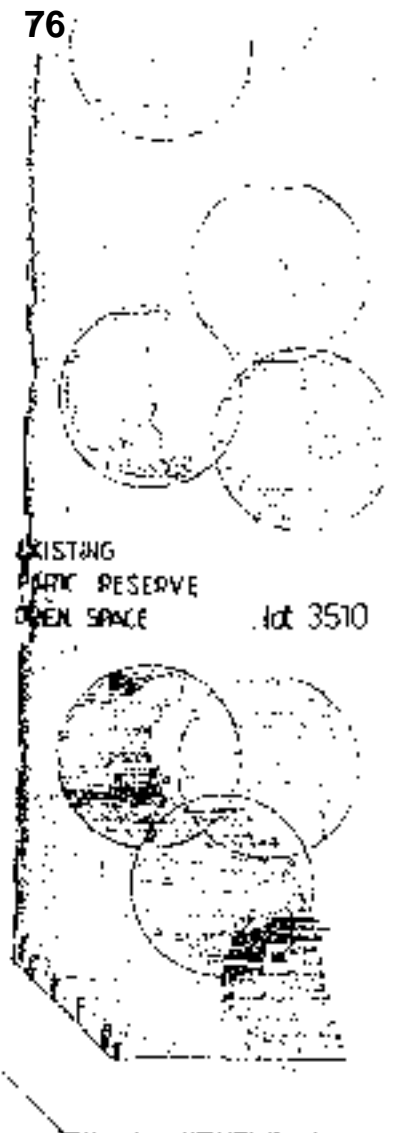
lot 2784



Considers to
D.C Council approval

Herrier Place

EXISTING parking



76

lot 3510

Ground Floor Plan
1-200

Smith Street.



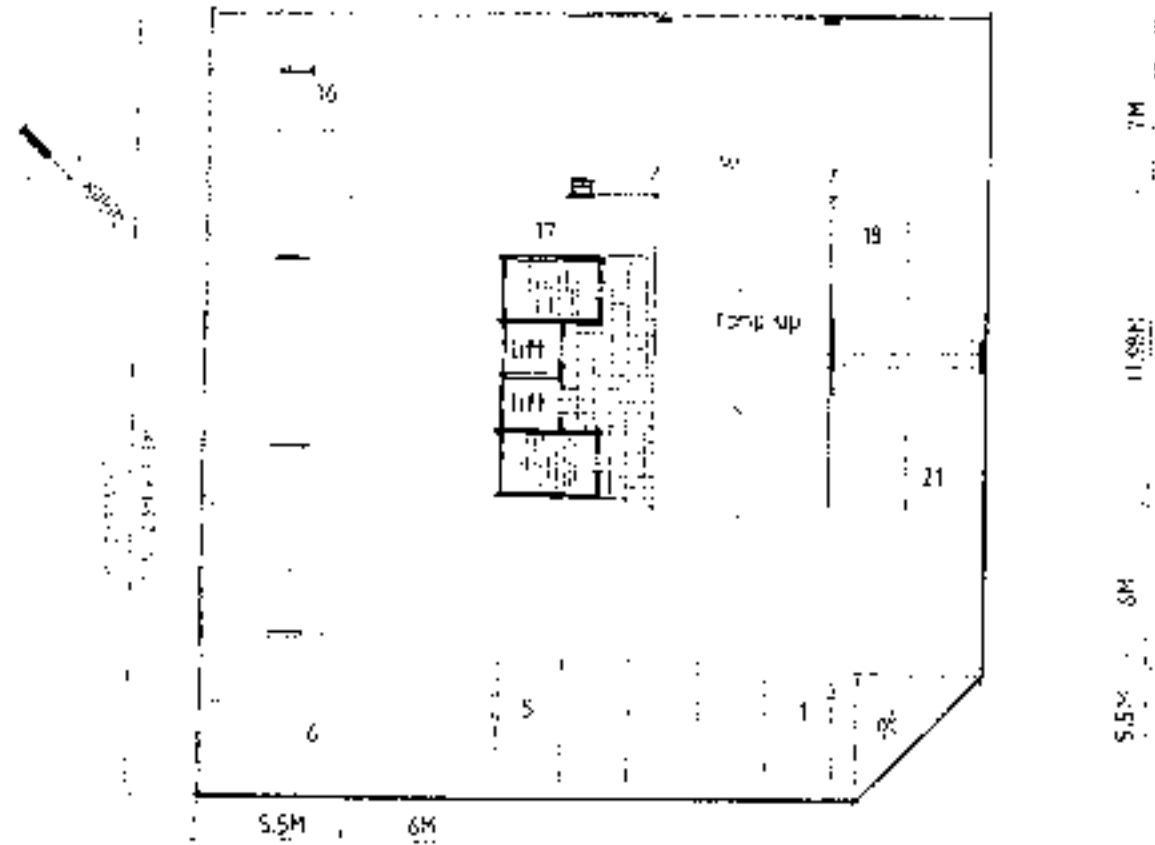
Suzanne F. Suarez
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08 8922 1111
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THE TOWN ENGINEERING DEPARTMENT
Lot 5956 P13 Town of Darwin NT

sheet 2/2

76



Typical Carpark Levels 3-4

1:200



PA Group Pty.
ARCHITECTS

Savita P Stevens
ARCHITECT

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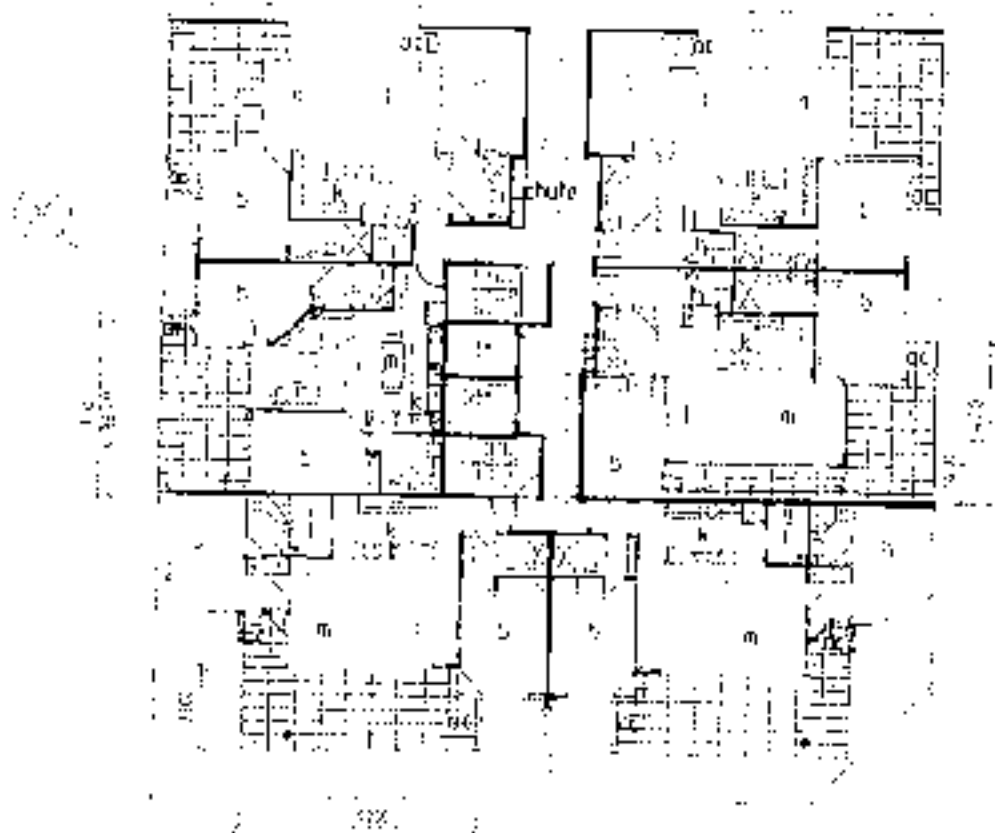
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sheet 3/9

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Typical Floor Plan
1/2"

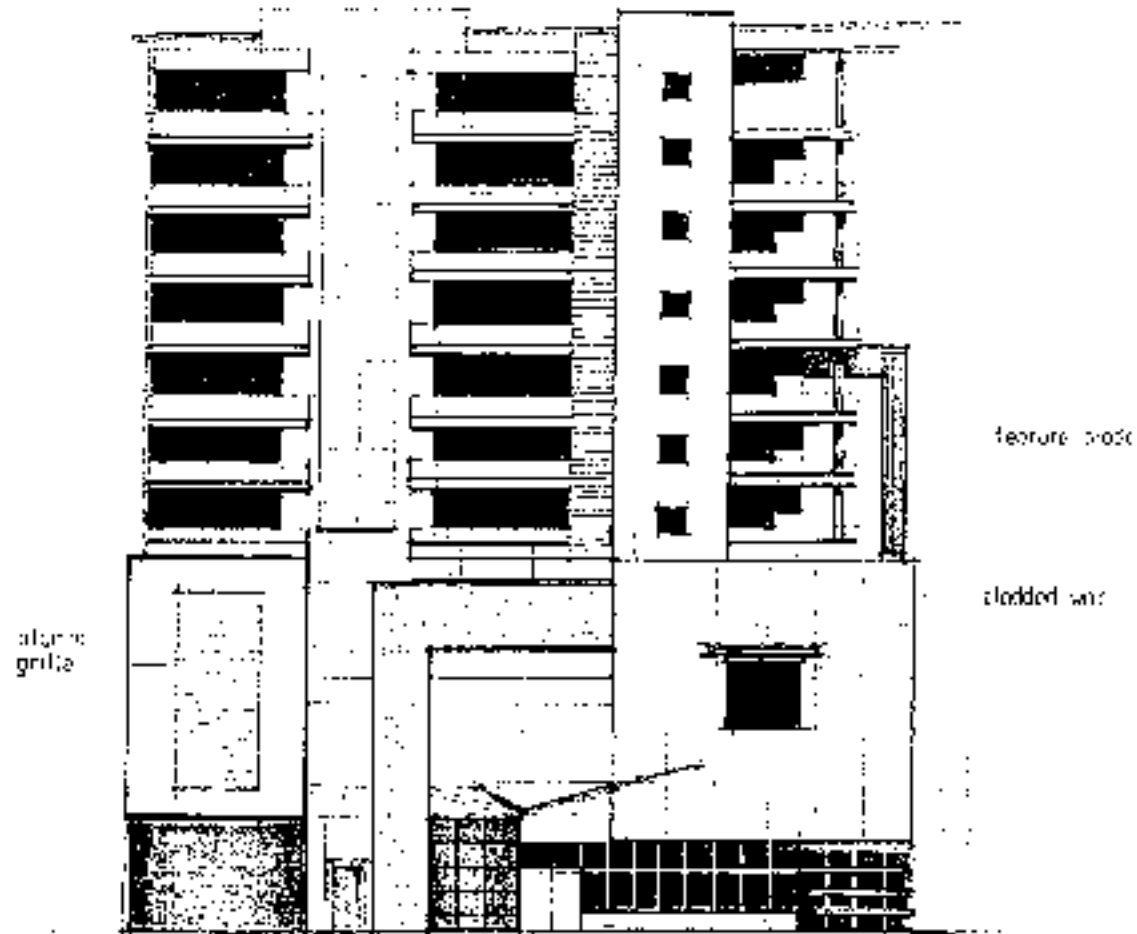


Garvin P. Savitt
ARCHITECT

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New York, NY 10011
Tel: 212 255 1234
Fax: 212 255 1234

PLANNING, DESIGN AND DEVELOPMENT
Lot 5066-003 Town of Down NY

Sheet 6 of 8



aluminum grille

feature brick

cladded wall

Elevation - northwest
 (view from shopping precinct carpark 1)
 1:200



Sydney P Stevens
 ARCHITECT

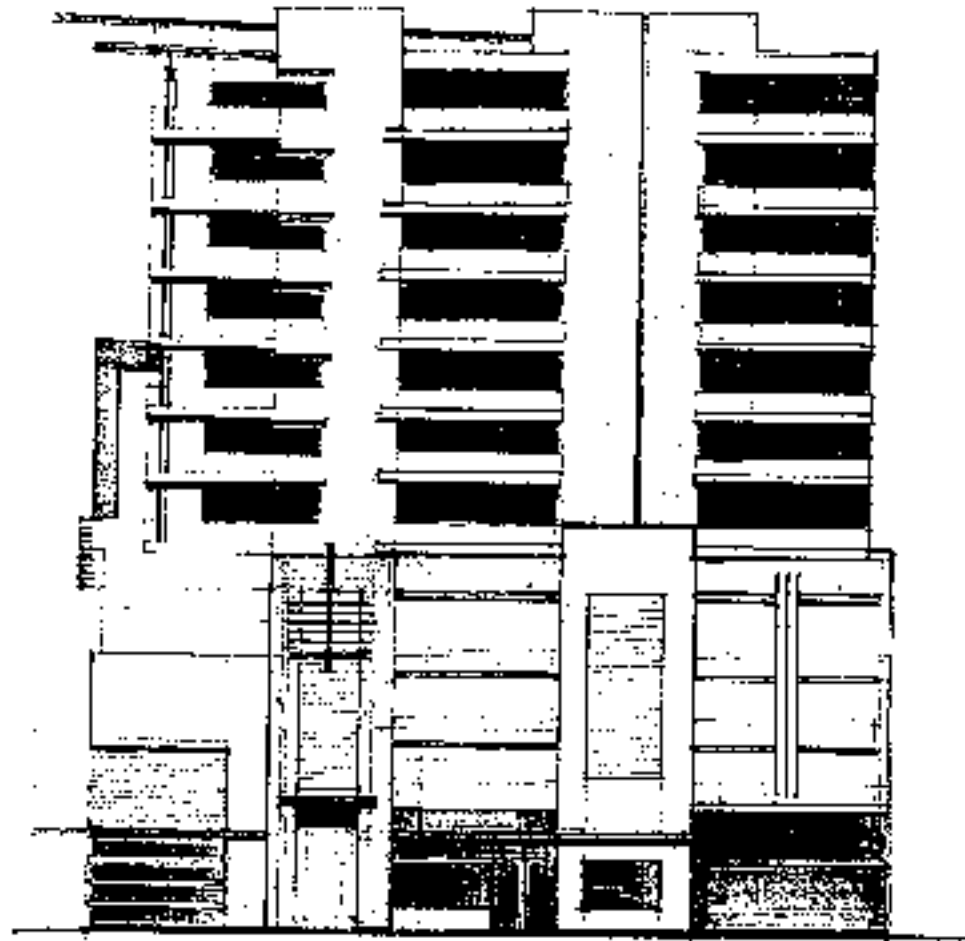
10001 Darwin NT
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APPROVED FOR THE USE OF THE
 SHCC CEO - Town of Darwin NT

10001 Darwin NT

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sheet 5/8



Hornet Place Elevation southeast
1/200



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ARCHITECT

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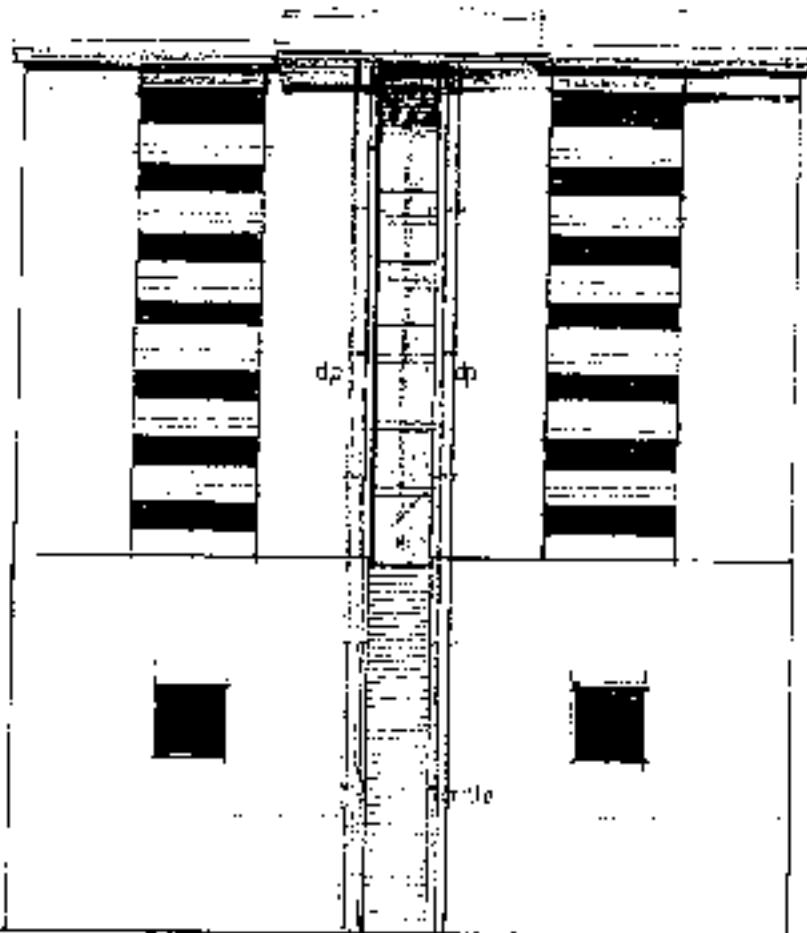
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Sheet - 71B

11/11/2008



1000
 05M
 MAY
 1-200

North Elevation
 adjoining lot 2754
 1-200



R & G
 ARCHITECTS

ARCHITECT

1000
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1000
 05M
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 1-200



Darwin City Council

Website: www.darwin.nt.gov.au

Please quote: 1653717 PL.psv

2 October 2009

Mr Doug Lesh
 Manager Urban Planning
 Development Assessment Services
 Department of Planning and Infrastructure
 GPO Box 1680
 DARWIN NT 0801

Dear Doug,

**Lot 5966 (130) Smith Street Darwin City Town of Darwin
 Proposed Development – 42 x 2 Bedroom Multiple Dwellings in a 12 Storey
 Building Including Ground Level Shops**

Thank you for the Development Application referred to this office on 17 September 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **While Council supports in principle the granting of a Development Permit for this type of use, Council cannot support this application until the following issues are adequately addressed;**
 - a). **Council requests that the Authority requires additional information from the applicant regarding car parking requirements for the ground floor shops. The applicant's planning report requests a waiver for car parking for the shops, but this does not provide sufficient information for this waiver to be supported by Council.**
 1. The Planning Scheme sets out car parking requirements for new developments located within Darwin's Central Business (CB) Zone. The requirement is for 2 spaces for every multiple dwelling and 3 spaces for every 100m² of net retail, restaurant and office floor-space. The applicant's plans show 42 multiple dwellings and a total of 84 car parking bays provided for the multiple dwellings on Levels 1 to 4 of the building, which meets Planning Scheme requirements.

...21

2. There is a total of 411m² of commercial (shops) floor-space, proposed for the ground floor of the building. Whilst there is existing 'on-street' Council car parking for the Smith Street West and Harriet Place shopping areas, the applicant should provide additional car parking for any increase in commercial floor-space as a result of the development. As, the applicant has failed to provide any details of the existing commercial floor-space on Lot 5966, it is not possible to assess the additional car parking, if any, required for the proposed development.
3. The applicant should be advised that pursuant to clause 6.5.2 of the Northern Territory Planning Scheme and s.70 (5) of the Planning Act, a monetary contribution is to be paid to Darwin City Council for any determined car parking shortfall.
4. In addition, Council requests that a condition is placed upon any development permit issued by the Authority, requiring a monetary contribution to be paid by the applicant, to Darwin City Council in lieu of the total number of on-street car parking spaces lost as a result of the development. The applicant's Site Plan (Sheet 2/8) indicates that the proposed vehicle crossovers will result in the loss of 4 on-street angled car parking bays from Harriet Place and 3 'right-angled' bays from the Smith Street shopping precinct car park. **Council requests that the following condition be placed upon any development permit issued:**

"Before the use commences the owner must pay a monetary contribution to the Darwin City Council in lieu of the total number of on-street car parking spaces lost as a result of the development. There are currently 7 on-street car parking bays adjacent to the proposed vehicle crossovers for Lot 5966 that will be lost as a result of the new development."

- b). **Council requests that the Authority requires additional information from the applicant regarding waste management and waste collection facilities for proposed development.** The waste bin facilities shown on the applicant's Ground Floor Plan (Sheet 2/8) are not adequate for the proposed development.

1. Council's Waste Bin Policy (Policy No. 333 as amended 26/02/08) requires that a development of 42 multiple dwellings has a waste bin enclosure of adequate size to store 14 x 240 litre garbage bins (serviced twice weekly) and 7 x 240 litre recycling bins (serviced weekly) and a separate waste bin enclosure for commercial waste, with facilities for food waste meeting all health and safety requirements. The applicant's Ground Floor Plan (Sheet 2/8) currently shows a linear waste bin enclosure holding only 6 x 240 litre waste bins, adjacent to a 'bulk bin collection truck' service bay

...3/

2. Council's Policy also advises that in developments of 20 or more multiple dwellings the building owner may, with Council approval, choose to provide a bulk refuse collection through a commercial waste collection contractor. Applications for an 'exemption' from Council's standard service must provide details to Council of the alternate waste service proposed. The alternative service must provide bulk bin capacity equal to Council's standard service, with a waste bin capacity of minimum 80 litres of garbage and 40 litres of recycling material per household week and that high rise residential developments of six storeys or more should provide garbage chutes.
 3. Whilst a waste chute for the apartment tower is indicated on the development application plans, the position of the bin chute on the residential floors and through the car parking levels, does not line up with the position of the ground floor waste bin enclosure. In addition, the ground floor waste bin enclosure does not include a facility for reception of waste from a chute, but instead the 6 x 240 litre stand alone garbage bins, as mentioned above.
 4. The applicant's plans indicate that a 'bulk bin collection truck' will enter the building at ground floor level to service the waste bins. However, the 4.5 metre floor to ceiling clearance of the ground floor may be inadequate for an overhead loader to service the bins. The overhead loaders that supply the bulk bins have a vehicle height clearance of 4.5 metres, increasing to 6.5 metres with arms extended.
 5. The applicant should be advised that Council will not approve the storage and servicing of 240-litre bins or bulk waste bins on the road reserve and Council requests that the Authority places a note on any Development Permit issued to state the following:

"In no circumstances will Council permit the temporary storage of garbage and recycling waste bins on Council's road reserve for servicing purposes. The bins must always be serviced from the designated waste storage area within the property, with collection vehicles only permitted to enter and exit the property in a forward gear."
 6. **It is recommended that the applicant contacts Council's Manager Climate Change and Environment to discuss waste management arrangements for the proposed development.**
- c). Council requests that the Authority requires amended development application plans that remove all building overhangs onto Council's road reserve in Harriet Place and Smith Street (including the shopping precinct area). The development application Ground Floor Plan (Sheet 2/8) and the Building Elevation Plans (Shoots 5/8, 6/8 and 7/8) demonstrates various roof, window

...A/

shade and architectural feature overhangs to Council land on Smith Street, Harriet Place and the Smith Street shopping precinct. With the exception of street level awnings, Council will not support any overhangs onto Council's land and all overhangs should be removed from the development application plans.

- d) **Council requests the Authority includes the following note on any development permit issued which demonstrates an awning over Council's road reserve:**

"Notwithstanding the approved plans, any proposed awning is subject to Council's approval and shall meet all Council's requirements to the satisfaction of the General Manager Infrastructure, Darwin City Council and at no cost to Council."

The Ground Floor Plan (Sheet 2/8) includes an approximate 2.6 metre wide awning around the Smith Street and Harriet Place frontages of the site

- e). **The location of the proposed vehicle crossovers and driveways on Harriet Place and Smith Street appear to meet Council's requirements. However, Council requests that the Authority requires amended development application plans that demonstrate clear driver sight lines to Harriet Place and the Smith Street car park in accordance with the relevant Australian Standard and to the satisfaction of the General Manager of Infrastructure, Darwin City Council. No wall, fence or tree exceeding 0.6 metres in height shall be constructed or planted in front of the sight line to protect driver and pedestrian safety. The applicant's plans demonstrate full height solid walls at the side of the vehicle exits which may restrict driver sightlines.**
- f). **Council requests the Authority requires a schematic plan demonstrating how stormwater will be collected on the site and discharged underground to Council's stormwater drainage system. The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged underground to Council's drainage network.**

- 1). The plan should include details of site levels and Council's stormwater drain connection point/s within the vicinity of the site. The plan should also indicate how stormwater will be collected on the site and connected underground to Council's system
- 2). Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into Council's stormwater drainage system. It is also necessary to ensure that no stormwater will sheet flow into the road reserve or onto adjoining properties.

..5/

ii). **Should the above issues be adequately addressed, Council offers the following comments:**

a). The proposed building appears to exceed the building height limit for the outer part of the Central Business area. Interim Development Control Order No. 18 (IDCO No. 18) applies to this land. The IDCO restricts building heights in Central Darwin. The construction of a building or structure of a height exceeding 38 metres above ground level is prohibited on this site. The proposed building appears to marginally exceed the IDCO height limit as it is 36.7 metres in height from ground level to the top of the roof, when measurements are taken from Development Application Plan Sheet 5/8 – Smith Street Elevation, as follows:

- Ground Level - 4.5 metres
- Car Park Levels 1 to 4 - 10.4 metres (2.6 metres x 4)
- Residential Levels 5 to 10 - 16.8 metres (2.8 metres x 6)
- Residential Level 11 to top of lift shaft - 5 metres

Total: 36.7 metres

b). The proposed development fails to meet the requirements of Clause 7.8 (Communal Open Space) of the Planning Scheme. A minimum of 15% of the site, being not less than 6 metres across at any one point, should be used for communal open space. However, no communal open space is provided as part of the development.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager of Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.
- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.
- Kerb crossovers and driveways to the site shall be provided and disused crossovers removed, public footpath and cycleways shall be provided, stormwater shall be collected and discharged into Council's drainage network, and reinstatement works carried out, all to the requirements and satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.

.. 6/

- Slight lines shall be provided at crossovers to public streets to the satisfaction of the General Manager of Infrastructure, Darwin City Council. No wall, fence or tree exceeding 0.6 metres in height shall be constructed or planted in front of the sight line.
- Car parking spaces and internal driveways shall meet the requirements of the relevant Australian Standard and be linemarked and sealed with an impervious material.
- The total number of required disabled car parking bays shall be met on site.
- Pursuant to clause 6.5.2 of the Northern Territory Planning Scheme and s.70 (5) of the Planning Act a monetary contribution shall be paid to Darwin City Council for any determined parking shortfall.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager of Infrastructure, Darwin City Council.
- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled

If you require any further discussion in relation to this application please feel free to contact me on 89340 0528

Yours faithfully

PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Kim Enterprises

ENCL: YES

DARWIN CITY COUNCIL**DATE:** 8/09/09**REPORT****TO:** TOWN PLANNING COMMITTEE MEETING
OPEN B**APPROVED:** CT**FROM:** GENERAL MANAGER INFRASTRUCTURE**APPROVED:** PL**REPORT NO:** 09TS0158 PL:sv**APPROVED:** LC**COMMON NO:** 1646501**SUBJECT:** PLANNING SCHEME AMENDMENT PA2009/1271 - LOT 796 (67)
RYLAND ROAD, RAPID CREEK, TOWN OF NIGHTCLIFF
REZONE FROM SD (SINGLE DWELLING RESIDENTIAL) TO MD
(MULTIPLE DWELLING RESIDENTIAL)**ITEM NO: 10.3****SYNOPSIS:**

A Planning Scheme Amendment for Lot 796 (67) Ryland Road, Rapid Creek, has been referred to Council for comment pursuant to Section 19 of the Planning Act. The following report addresses relevant Council issues and recommends that Council endorses comments provided to Strategic Lands Planning, Department of Planning and Infrastructure, by staff.

GENERAL:**Applicant:** Earl James & Associates**Zone:** SD (Single Dwelling Residential) **Area:** Approx.1,010 m²**Proposal:**

Earl James & Associates has applied to the Minister for Planning and Lands to amend the NT Planning Scheme by rezoning Lot 796 (67) Ryland Road, Rapid Creek from Zone SD (Single Dwelling Residential) to Zone MD (Multiple Dwelling Residential).

The applicant has advised that the purpose of the rezoning proposal is to facilitate the construction of 3 x two storey, multiple dwellings on the site. The applicant has advised that there are currently two attached dwellings on the property that were constructed immediately after Cyclone Tracy, as part of a construction camp for the reconstruction of Darwin. The dwellings are now in a state of disrepair.

The exhibition period for PA2009/1271 is from Friday 4 September 2009 to Friday 2 October 2009.

PAGE: 2
 REPORT NO: 09TS0158 PL:sv
 SUBJECT: PLANNING SCHEME AMENDMENT PA2009/1271 - LOT 796 (67) RYLAND ROAD RAPID CREEK, TOWN OF NIGHTCLIFF
 REZONE FROM SD (SINGLE DWELLING RESIDENTIAL) TO MD (MULTIPLE DWELLING RESIDENTIAL)

Attachments:

Attachment A:

- a). The Notice of Exhibition under section 17 of the Planning Act.
- b). Extracts from the NT Planning Scheme relating to Zone SD (Single Dwelling) which presently applies to the land.
- c). Extracts from the NT Planning Scheme relating to Zone MD (Multiple Dwelling Residential)
- d). A locality map.
- e). A copy of the application from Earl James and Associates.

Attachment B:

This is a copy of the letter to Ms Julia Wanane, Project Officer, Strategic Lands Planning, Department of Planning and Infrastructure, which sets out Council's comments on the proposed PSA for Lot 796 (67) Ryland Road, Rapid Creek, Town of Nightcliff.

Site and Surrounds

Lot 796 is located on the corner of Ryland Road and Waters Street in Rapid Creek, with the area under title being approximately 1,010m². The registered owner of the land is Nancy Lee.

All properties adjoining and surrounding Lot 796 are zoned for SD (Single Dwelling Residential). There is no zone MD (Multiple Dwelling Residential) housing within the vicinity of the site.

Northern Territory Planning Scheme:

Clause 5.2 of the Planning Scheme states that the primary purpose of zone MD is to provide for a range of housing options to a maximum height of two storeys. The scale, character and architectural style of infill development should be compatible with the streetscape and surrounding development.

The following table compares the discretionary and permitted uses for the existing Zone SD (Single Dwelling) and the proposed MD (Multiple Dwelling Residential) Zone.

Land Use	Existing SD Zone	Proposed MD Zone
Bed & Breakfast	D	D
Business Sign	P	P
Community Centre	D	D
Dependant Unit	P	P
Group Home	P	P
Home Based Childcare Centre	D	D
Home Based Contracting	P	P
Home Occupation	P	P
Medical Consulting Rooms	D	D

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 REPORT NO: 09TS0158 PL:sv
 SUBJECT: PLANNING SCHEME AMENDMENT PA2009/1271 - LOT 796 (67) RYLAND ROAD RAPID CREEK, TOWN OF NIGHTCLIFF
 REZONE FROM SD (SINGLE DWELLING RESIDENTIAL) TO MD (MULTIPLE DWELLING RESIDENTIAL)

Multiple Dwellings	X	D
Single Dwelling	P	P
Supporting Accommodation	D	D

P= Permitted D=Discretionary X=Prohibited

Clause 7.1 of the Planning Scheme sets our residential density and height criteria for dwellings in Zone MD. The dwelling density is 1 dwelling per 300m² site area with a maximum building height of 2 storeys to a height of 8.5 metres.

Relevant Issues:

Attachment B sets out the relevant Northern Territory Planning Scheme and Council issues associated with the proposed PSA. This attachment is a copy of the letter sent to Strategic Lands Planning, Department of Planning and Infrastructure.

The rezoning of Lot 796 from SD (Single Dwelling Residential) to MD (Multiple Dwelling Residential) is not supported. Lot 796 (67) Ryland Road is located at the corner of Ryland Road and Waters Street, Rapid Creek and the area is zoned almost exclusively for SD (Single Dwelling Residential) use. Lot 796 has an area of around 1,010m², with two dwellings currently constructed on the site. If rezoned to MD (Multiple Dwelling), Clause 7.1 of the Planning Scheme would allow up to 3 medium density dwellings, in 2 storeys to a height of 8.5 metres to be developed on the site. It is considered this intensity of development is out of character with the neighbourhood.

An alternative would be to rezone the site for a "Specific Use" (Zone SD), with specific development criteria established for the multiple dwellings on the site, to ensure that the development would be compatible with the single residential dwellings in the area.

Disability Discrimination Legislation:

Disability Discrimination Act issues are addressed under the Building Act requirements. Council places a statement of support for equal opportunity on all responses.

Council Issues:

The area is serviced for urban development. Any future development application for the site will be subject to various Council approvals including vehicle access, stormwater drainage, landscaping works on Council land and waste bin storage.

FINANCIAL IMPLICATIONS:

Not assessed.

PAGE: 4
REPORT NO: 09TS0158 PL:sv
SUBJECT: PLANNING SCHEME AMENDMENT PA2009/1271 - LOT 796 (67) RYLAND ROAD RAPID CREEK, TOWN OF NIGHTCLIFF
REZONE FROM SD (SINGLE DWELLING RESIDENTIAL) TO MD (MULTIPLE DWELLING RESIDENTIAL)

STRATEGIC PLAN IMPLICATIONS:

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

Goal 1: Achieve Effective Partnerships and Engage in Collaborative Relationships

Outcome

1.1 Improve relations with all levels of Government

Key Strategies

1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin

1.1.5 Influence Government and developers to develop sustainable projects which reflect Darwin's lifestyle

Outcome

1.2 Effectively engage with Community

Key Strategies

1.2.1 Increase involvement of the Business Community for developing solutions to local issues

LEGAL IMPLICATIONS:

This item is not considered "Confidential".

PUBLIC RELATIONS IMPLICATIONS:

Not assessed.

COMMUNITY SAFETY IMPLICATIONS:

Not assessed.

DELEGATION:

None required.

CONSULTATION:

Public consultation is undertaken by the Northern Territory Government under section 17 of the *Planning Act*.

PAGE: 5
REPORT NO: 09TS0158 PL:sv
SUBJECT: PLANNING SCHEME AMENDMENT PA2009/1271 - LOT 796 (67) RYLAND ROAD RAPID CREEK, TOWN OF NIGHTCLIFF
REZONE FROM SD (SINGLE DWELLING RESIDENTIAL) TO MD (MULTIPLE DWELLING RESIDENTIAL)

PROPOSED PUBLIC CONSULTATION PROCESS:

Nil

APPROPRIATE SIGNAGE:

Not Applicable.

RECOMMENDATIONS:

THAT the Committee resolve under delegated authority:-

- A. THAT Report Number 09TS0158 PL:sv entitled Planning Scheme Amendment PA2009/1271 Lot 796 (67) Ryland Road, Rapid Creek, Town Of Nightcliff Rezone From SD (Single Dwelling Residential) To MD (Multiple Dwelling Residential), be received and noted.
- B. THAT Council endorse the letter to Strategic Lands Planning, Department of Planning and Infrastructure in **Attachment B** to Report Number 09TS0158 PL:sv.

PETER LINDWALL **DROSSO LELEKIS**
STRATEGIC TOWN PLANNER **A/GENERAL MANAGER INFRASTRUCTURE**

If you have any queries please direct them to Peter Lindwall Strategic Town Planner on 8930 0528 or email p.lindwall@darwin.nt.gov.au

ENCL: YES

DARWIN CITY COUNCIL**REPORT****DATE:** 21/09/09**TO:** TOWN PLANNING COMMITTEE MEETIN
OPEN B**APPROVED:** RB**FROM:** GENERAL MANAGER INFRASTRUCTURE**APPROVED:** PL**REPORT NO:** 09TS0166 RB:sv**APPROVED:** LC**COMMON NO:** 1646469**SUBJECT:** DEVELOPMENT APPLICATION LOT 8537, (7) SABINE ROAD
MILLNER TOWN OF NIGHTCLIFF PROPOSED PLANNING SCHEME
AMENDMENTS PA2009/0155 - REZONE FROM ZONE SD (SINGLE
DWELLING RESIDENTIAL) TO ZONE MD (MULTIPLE DWELLING
RESIDENTIAL)**ITEM NO: 10.4****SYNOPSIS:**

A Development Application for Lot 8537, (7) Sabine Road Milner, Town of Nightcliff has been referred to Council for comment pursuant to Section 48 of the Planning Act. The following report addresses relevant Council issues and recommends that Council endorse comments provided to the Development Consent Authority by staff.

GENERAL:**Applicant:** Nicolas Koukouvas**Zone:** SD **Area:** 1300m²**Proposal:**

Planning Scheme Amendments PA2009/0155 – Rezone from Zone SD (Single Dwelling Residential) to Zone MD (Multiple Dwelling Residential)

The application for this proposal is shown at **Attachment A**.

PAGE: 2
 REPORT NO: 09TS0166 RB:sv
 SUBJECT: DEVELOPMENT APPLICATION
 LOT 8537, (7) SABINE ROAD MILLNER TOWN OF NIGHTCLIFF PROPOSED
 PLANNING SCHEME AMENDMENTS PA2009/0155 - REZONE FROM ZONE SD
 (SINGLE DWELLING RESIDENTIAL) TO ZONE MD (MULTIPLE DWELLING
 RESIDENTIAL)

Site and Surrounds

The subject site is currently zoned SD (Single Dwelling Residential) and contains one dwelling on a site of approximately 1300m². The allotment is of a regular shape and has a frontage to Sabine Road of approximately 28m.

The uses surrounding the site are SD (Single Dwelling Residential) to the west and north, C (Commercial) to the east over Sabine Road and PS (Public Open Space) immediately to the south.

The Allotment 9088 and allotment 8938 are both currently zoned C (Commercial) is currently occupied by a number of retail premises' serving the purpose of a local centre, supporting the day to day needs of the local residents. Allotment 9089 and allotment 8939 are both currently zoned C (Commercial) and are being utilised with multiple dwellings contained within nine buildings occupying the site.

Northern Territory Planning Scheme:

The desired future character for the subject site and locality has not been defined by the Northern Territory Planning Scheme other than describing the uses permitted by the current specified zoning. The SD zone specifies that the following are permitted uses:

- Business sign,
- Dependant unit,
- Group home
- Home based contracting
- Home occupation
- Single dwelling

The following uses have been specified to be discretionary uses within the SD zone:

- Bed and breakfast accommodation
- Community centre
- Home based childcare centre
- Medical consulting rooms
- Supporting accommodation.

All uses other than those listed as permitted or discretionary are prohibited from the SD Zone.

In comparison the proposed zoning change to MD for the subject site includes the uses listed as permitted and discretionary in the SD Zone, other than the inclusion of Multiple Dwellings as a discretionary use. Should the application be successful, the existing use of the site will not conflict with the prescribed uses of the proposed zone.

The development potential of the subject site zoned SD allows for a single dwelling on an allotment not less than 800m² and not constructed to a height greater than

PAGE: 2
REPORT NO: 09TS0166 RB:sv
SUBJECT: DEVELOPMENT APPLICATION
LOT 8537, (7) SABINE ROAD MILLNER TOWN OF NIGHTCLIFF PROPOSED
PLANNING SCHEME AMENDMENTS PA2009/0155 - REZONE FROM ZONE SD
(SINGLE DWELLING RESIDENTIAL) TO ZONE MD (MULTIPLE DWELLING
RESIDENTIAL)

two stories or 8.5m. Should the application to rezone the land be successful, the development potential of the subject site will allow for up to four dwellings, not constructed to a height greater than two stories or 8.5m.

It would appear that the intended outcome for the site has many similarities with the current zoning which suggests that a development application within the MD zone would have a significant degree of compatibility with the existing uses.

Without strategic direction nor criteria in which to assess the rezoning of a parcel of land, the basis for a decision would take into consideration the pattern of development in the locality, the services and facilities that are provided or are capable of being provided as well as accessibility to and from the site given the likely future nature of development for the site.

To date there has been a continuous pattern of development within the locality. The current land uses include a central commercial zone with surrounding residential uses, including multiple dwellings, and a number of sites reserved for community and public open space purposes within convenient walking distances. It is not anticipated that development of the subject site to its maximum capacity as specified in the Northern Territory Planning Scheme will place undue pressures or demands on council services or public infrastructure beyond the intended capacity. Within 400m of the site are three bus stops allowing for convenient access to public transport.

Disability Discrimination Legislation:

Disability Discrimination Act issues are addressed under the Building Act requirements. Council places a statement of support for equal opportunity on all responses.

Council Issues:

The proposed application to rezone the subject site from SD to MD has not been identified to impact on Council infrastructure or services. Any future development application for the site will be subject to various Council approvals including vehicle access, stormwater drainage, landscaping works on Council land and waste bin storage.

FINANCIAL IMPLICATIONS:

Nil.

PAGE: 2
 REPORT NO: 09TS0166 RB:sv
 SUBJECT: DEVELOPMENT APPLICATION
 LOT 8537, (7) SABINE ROAD MILLNER TOWN OF NIGHTCLIFF PROPOSED
 PLANNING SCHEME AMENDMENTS PA2009/0155 - REZONE FROM ZONE SD
 (SINGLE DWELLING RESIDENTIAL) TO ZONE MD (MULTIPLE DWELLING
 RESIDENTIAL)

STRATEGIC PLAN IMPLICATIONS:

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

Goal 1: Achieve Effective Partnerships and Engage in Collaborative Relationships

Outcome

1.1 Improve relations with all levels of Government

Key Strategies

1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin

1.1.5 Influence Government and developers to develop sustainable projects which reflect Darwin's lifestyle

1.2 Effectively engage with Community

1.2.1 Increase involvement of the Business Community for developing solutions to local issues

LEGAL IMPLICATIONS:

This item is not considered "Confidential".

PUBLIC RELATIONS IMPLICATIONS:

Not Assessed.

COMMUNITY SAFETY IMPLICATIONS:

Not Assessed.

DELEGATION:

To the Chief Executive Officer to provide standard Development Permit conditions as appropriate.

CONSULTATION:

Public consultation is undertaken by the Northern Territory Government under section 17 of the *Planning Act*.

PROPOSED PUBLIC CONSULTATION PROCESS:

Nil

PAGE: 2
REPORT NO: 09TS0166 RB:sv
SUBJECT: DEVELOPMENT APPLICATION
LOT 8537, (7) SABINE ROAD MILLNER TOWN OF NIGHTCLIFF PROPOSED
PLANNING SCHEME AMENDMENTS PA2009/0155 - REZONE FROM ZONE SD
(SINGLE DWELLING RESIDENTIAL) TO ZONE MD (MULTIPLE DWELLING
RESIDENTIAL)

APPROPRIATE SIGNAGE:

Not Applicable.

RECOMMENDATIONS:

THAT the Committee resolve under delegated authority:-

- A. THAT Report Number 09TS0166 PL:sv Entitled Development Application Lot 8537, (7) Sabine Road Millner Town Of Nightcliff Proposed Planning Scheme Amendments Pa2009/0155 - Rezone From Zone SD (Single Dwelling Residential) To Zone MD (Multiple Dwelling Residential), be received and noted.
- C. THAT the Council endorse the letter to the Development Consent Authority in **Attachment B** to Report Number 09TS0166 PL:sv.

PETER LINDWALL
STRATEGIC TOWN PLANNER

DROSSO LELEKIS
A/GENERAL MANAGER INFRASTRUCTURE

Any queries on this report can be directed to Rick Burgess on 8930 0419 or email r.burgess@darwin.nt.gov.au.

NORTHERN TERRITORY OF AUSTRALIA

PROPOSAL TO AMEND NT PLANNING SCHEME PA2009/0155

Mr Nicolas Koukouvas has applied to the Minister for Planning and Lands to amend the NT Planning Scheme by rezoning Lot 8537 Town of Nightcliff (7 Sabine Road Milliner) from Zone SD (Single Dwelling Residential) to Zone MD (Multiple Dwelling Residential).

Attached are:

- the Notice of Exhibition under section 17 of the *Planning Act*;
- extracts from the NT Planning Scheme relating to Zone SD (Single Dwelling Residential);
- extracts from the NT Planning Scheme relating to Zone MD (Multiple Dwelling Residential);
- a locality map, and
- a copy of the application from Mr Nicolas Koukouvas

The exhibition period is from Friday 04 September 2009 to Friday 02 October 2009

Written submissions about the proposed planning scheme amendment are to be received by 4.00pm on Friday, 02 October 2009 and made to:

Julia Wannop
Project Officer
Strategic Lands Planning
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801; or

Email: planning@nt.gov.au

Fax: (08) 8999 7189 or

Hand delivered to Ground Floor, Cavenagh House, 38 Cavenagh Street, Darwin.

For more information please telephone 8999 8963.

NORTHERN TERRITORY OF AUSTRALIA

*Planning Act*NOTICE OF EXHIBITION OF PROPOSAL
TO AMEND NT PLANNING SCHEME
PA2009/0155

I, MARJ MORRISSEY, delegate for the Minister for Planning and Lands, give notice under section 17 of the *Planning Act* of the following:

- (a) a proposal to amend the NT Planning Scheme, numbered PA2009/0155 as referred to in (a), is to be exhibited under Division 3 of Part 2 of the Act;
- (b) the amendment is to be exhibited at the following location:

Officers of the Department of Planning and Infrastructure
Ground Floor, Cavenagh House, 38 Cavenagh Street, Darwin
- (c) the period of exhibition is for 28 days, commencing upon first newspaper publication of the notice required by section 17(1);
- (d) written submissions in respect of this exhibition should be made to:

Julia Wannan
Project Officer
Strategic Lands Planning
Department of Planning and Infrastructure
GPO Box 1080
DARWIN NT 0801 or

Fax: (08) 8999 7189 or

Email: planning@nt.gov.au

- (e) the proposed amendment is to the NT Planning Scheme, to rezone Lot 8537 Town of Nightcliff (7 Sabine Road Millner) from Zone SO (Single Dwelling Residential) to Zone M1 (Multiple Dwelling Residential)

Dated 31 August

2009.



MARJ MORRISSEY
Delegate for the Minister for Planning and Lands

5.0 ZONE PURPOSE AND TABLES

5.1 ZONE R0 – SINGLE DWELLING RESIDENTIAL

<p>1. The primary purpose of Zone R0 is to provide for single dwellings on individual lots.</p>	<p>Unfenced staff #10 prohibited in this zone. Code R0-50 2.2(2) & 14)</p>
<p>2. Non-residential uses or development should be limited to those which predominantly service the local neighbourhood and do not have any detrimental effect on residential amenity.</p>	<p>Classroom/office administration engine room Clause 6.14 relates to farm subject to regulation Clause 7.10.2 relates to aravans Clause 11.1.1, 11.1.2, 11.1.3, 11.1.4, 11.2, 11.3, 11.4, 11.5, 11.6, 11.7, 11.8, 11.9, 11.10, 11.11, 11.12, 11.13, 11.14, 11.15, 11.16, 11.17, 11.18, 11.19, 11.20, 11.21, 11.22, 11.23, 11.24, 11.25, 11.26, 11.27, 11.28, 11.29, 11.30, 11.31, 11.32, 11.33, 11.34, 11.35, 11.36, 11.37, 11.38, 11.39, 11.40, 11.41, 11.42, 11.43, 11.44, 11.45, 11.46, 11.47, 11.48, 11.49, 11.50, 11.51, 11.52, 11.53, 11.54, 11.55, 11.56, 11.57, 11.58, 11.59, 11.60, 11.61, 11.62, 11.63, 11.64, 11.65, 11.66, 11.67, 11.68, 11.69, 11.70, 11.71, 11.72, 11.73, 11.74, 11.75, 11.76, 11.77, 11.78, 11.79, 11.80, 11.81, 11.82, 11.83, 11.84, 11.85, 11.86, 11.87, 11.88, 11.89, 11.90, 11.91, 11.92, 11.93, 11.94, 11.95, 11.96, 11.97, 11.98, 11.99, 12.00</p>

ZONING TABLE – Zone S10

abattoir	x	
agriculture	x	
animal boarding	x	
bed and breakfast accommodation	D	6.5.1, 7.10.1
business sign	P	6.7
caravan park	x	
caretaker's residence	x	
car park	x	
child care centre	x	
community centre	U	6.1, 6.5.1
dependant unit	P	7.1, 7.3, 7.10.4
domestic livestock	x	
education establishment	x	
fuel depot	x	
general industry	x	
group home	P	7.1, 7.10.5
home based child care centre	D	6.5.1, 7.10.6
home based contracting	P	7.10.6
home occupation	P	7.10.7
horticulture	x	
hospital	x	
hotel	x	
hotel	x	
intensive animal husbandry	x	
leisure and recreation	x	
tennis club	x	
light industry	x	
medical clinic	x	
medical consulting rooms	D	6.5.1, 7.10.9
motor	x	
motor body works	x	
motor repair station	x	
multiple dwellings	x	
office	x	
passenger terminal	x	
place of worship	x	
plant nursery	x	
promotion sign	x	
recycling depot	x	
restaurant	x	
retail agricultural stall	x	
rural industry	x	
service station	x	
shop	x	
showroom sales	x	
single dwelling	P	6.5.1, 7.1, 7.3, 7.5
stables	x	
supporting accommodation	D	6.5.1, 7.1, 7.3, 7.6, 7.7, 7.8
transport terminal	x	
vehicle sales and hire	x	
veterinary clinic	x	
warehouse	x	

P = Permitted U = Discretionary x = Prohibited

B-2 ZONE MD - MULTIPLE DWELLING RESIDENTIAL

1. The primary purpose of Zone MD is to provide for a range of housing options to a maximum height of two storeys.
2. The scale, character and architectural style of (m) development should be compatible with the streetscape and surrounding development.

Prohibited uses are prohibited in this zone. (See clause 7.2(3)(b)(4))

Development should be compatible with the surrounding streetscape.

Clause 6.14 relates to land subject to a planning agreement.

Clause 7.10.2 refers to a maximum.

Clause 11.1.1 and 11.2 relate to the maximum height and 11.2.1a relates to the maximum height.

Clause 11.3 relates to the maximum height of a building.

Zoning Table - Zone M2		
ambulance	x	
agriculture	x	
animal boarding	x	
bed and breakfast accommodation	D	6.5.1, 7.10.1
business sign	P	0.7
caravan park	x	
caretaker's residence	x	
car park	x	
child care centre	x	
community centre	D	0.4, 0.6.4
dependent unit	P	7.1, 7.3, 7.10.4
domestic livestock	x	
education establishment	x	
fuel depot	x	
general industry	x	
group home	P	7.1, 7.10.3
home based child care centre	D	0.5.1, 7.10.4
home based contracting	P	7.10.2
home occupation	P	7.10.7
horticulture	x	
hospital	x	
hotel	x	
hotel	x	
intensive animal husbandry	x	
leisure and recreation	x	
licensed club	x	
light industry	x	
medical clinic	x	
medical consulting rooms	D	0.5.1, 7.10.0
motels	x	
motor body works	x	
motor repair station	x	
multiple dwellings	D	0.5.1, 7.1, 7.3, 7.5, 7.6, 7.7, 7.8
office	x	
passenger terminal	x	
place of worship	x	
plant nursery	x	
plumation sign	x	
recycling depot	x	
restaurant	x	
retail agricultural stall	x	
retail industry	x	
service station	x	
shop	x	
showroom sales	x	
single dwelling	P	6.5.1, 7.1, 7.3, 7.5
stables	x	
supporting accommodation	D	6.5.1, 7.1, 7.3, 7.5, 7.6, 7.7, 7.8
transport terminal	x	
vehicle sales and hire	x	
veterinary clinic	x	
warehouses	x	

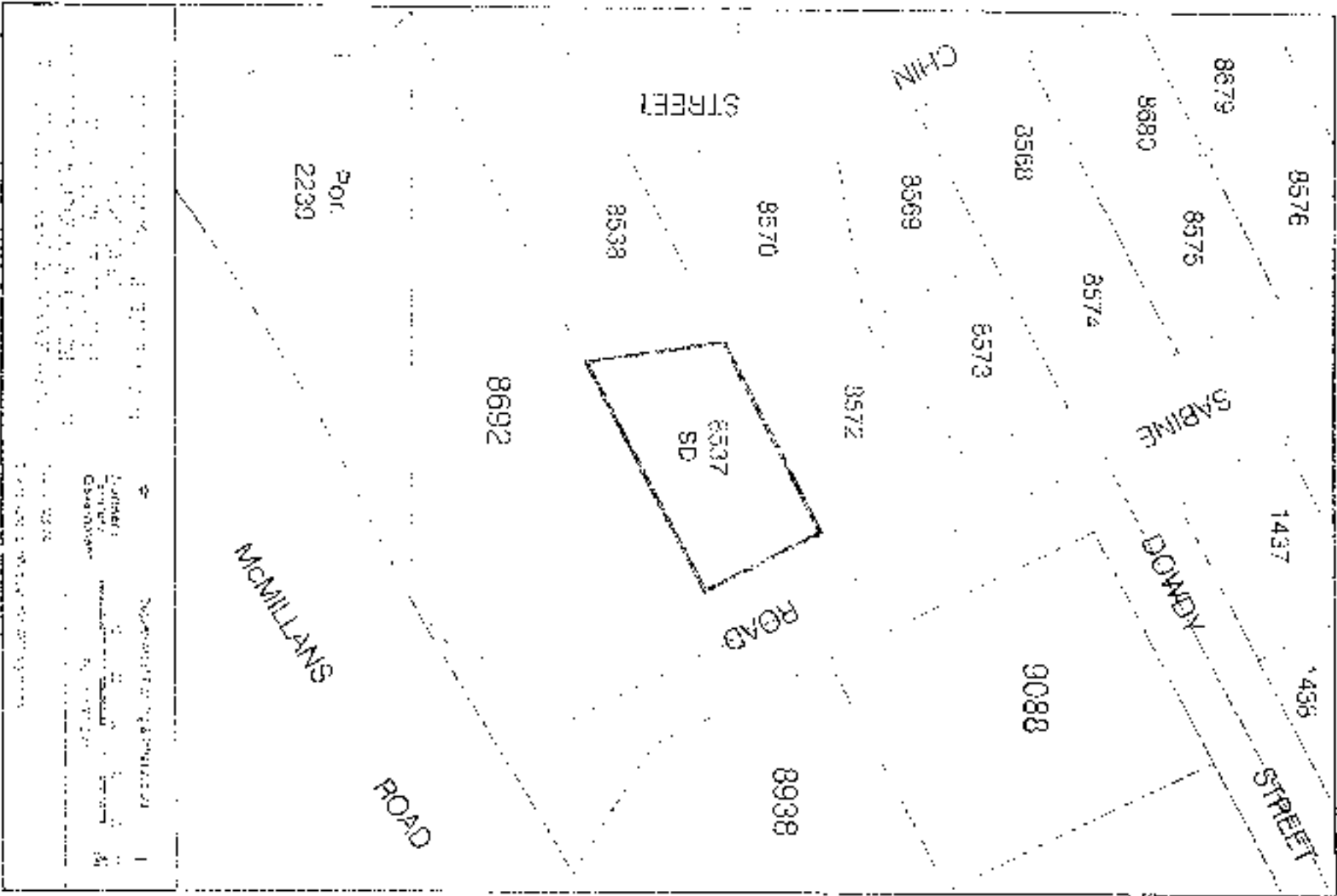
P = Permitted

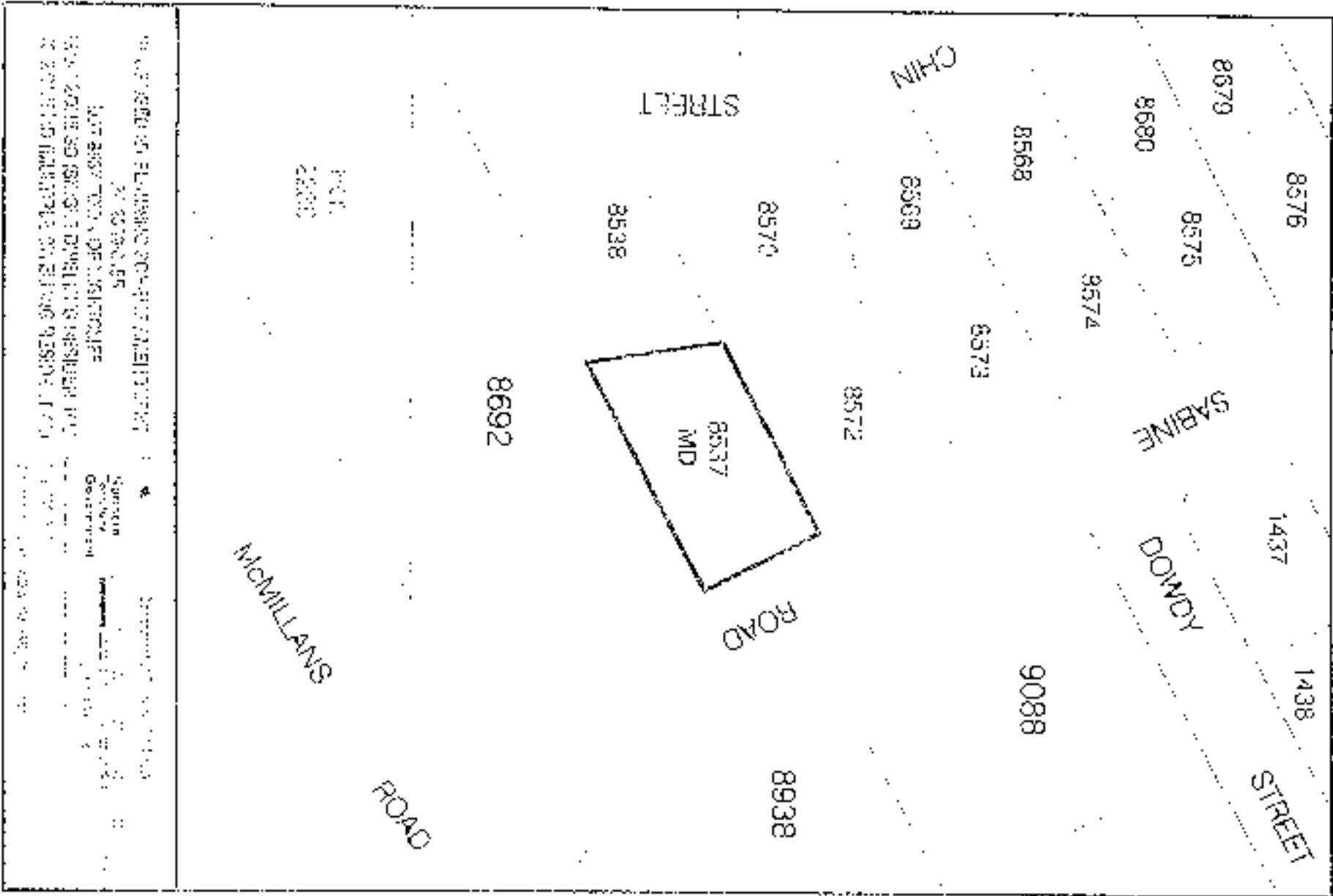
D = Discretionary

x = Prohibited



Scale 1:1000





1. APPLICANT TO SIGN AND/OR AFFIX SEAL

The applicant hereby certifies that all required documentation is attached.



Signature of:

A handwritten signature in black ink, appearing to be "A. J. ...".

7.31.09

Application to Annual 7/1 Planning Scheme

Proposed Rezoning

2/10 (Rural Residential)

1/20 (7/1) Town of Wyndwardoo

1/20 (7/1) Town of Wyndwardoo

Introducción

Este documento describe el funcionamiento de los componentes de la arquitectura de la plataforma de desarrollo de aplicaciones de escritorio de Microsoft Windows.

Objetivos

El objetivo de este documento es:

Objetivos

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Objetivos

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Este documento describe el funcionamiento de los componentes de la arquitectura de la plataforma de desarrollo de aplicaciones de escritorio de Microsoft Windows. El objetivo de este documento es:

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Objetivos

*Chlorophyll *a* content*

Chlorophyll *a* content was determined by the spectrophotometric method of Lichtenthal and Wherry (1987) using a Shimadzu UV-1601U ultraviolet-visible spectrophotometer.

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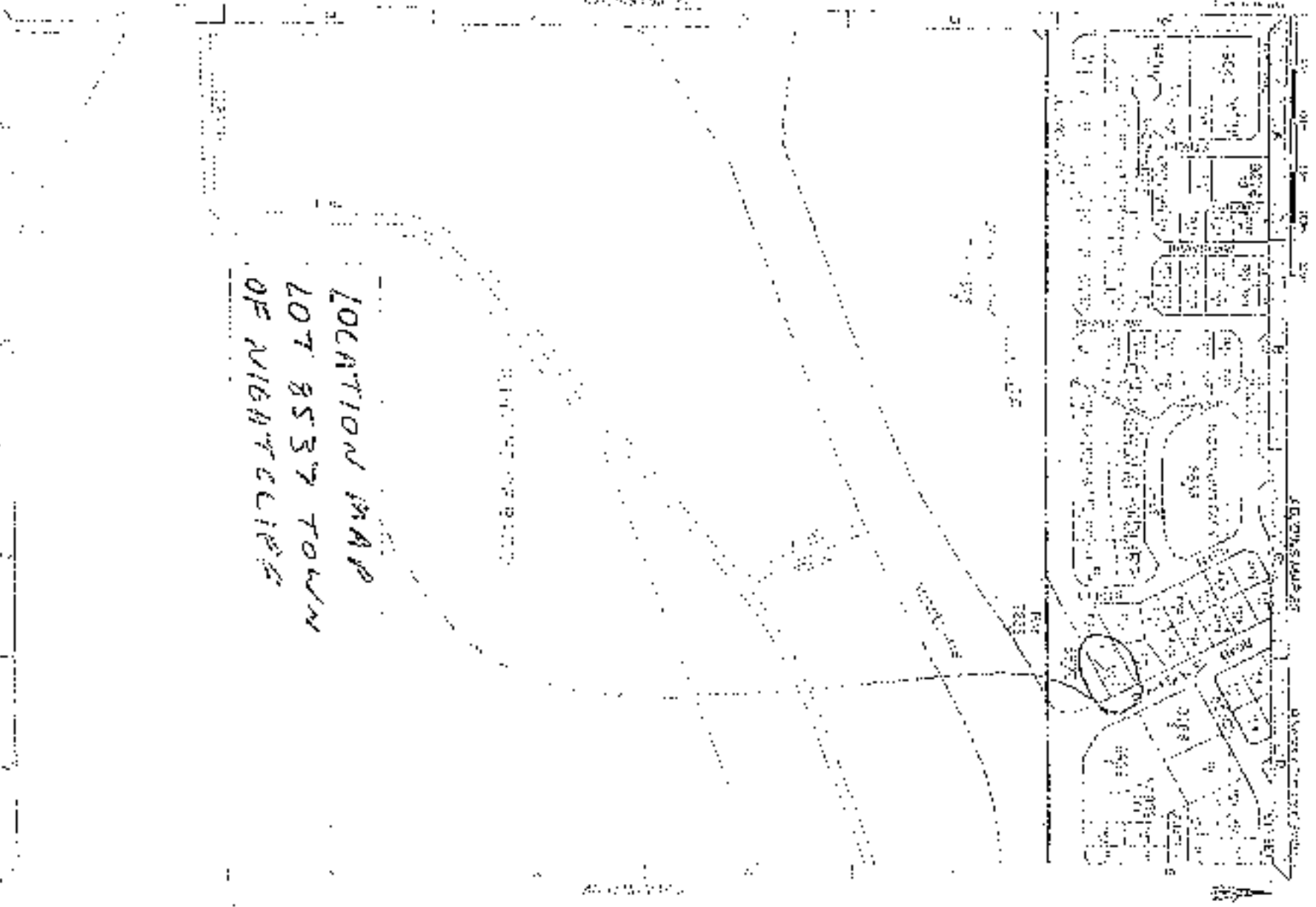
Chlorophyll *a* content was determined by the spectrophotometric method of Lichtenthal and Wherry (1987) using a Shimadzu UV-1601U ultraviolet-visible spectrophotometer.

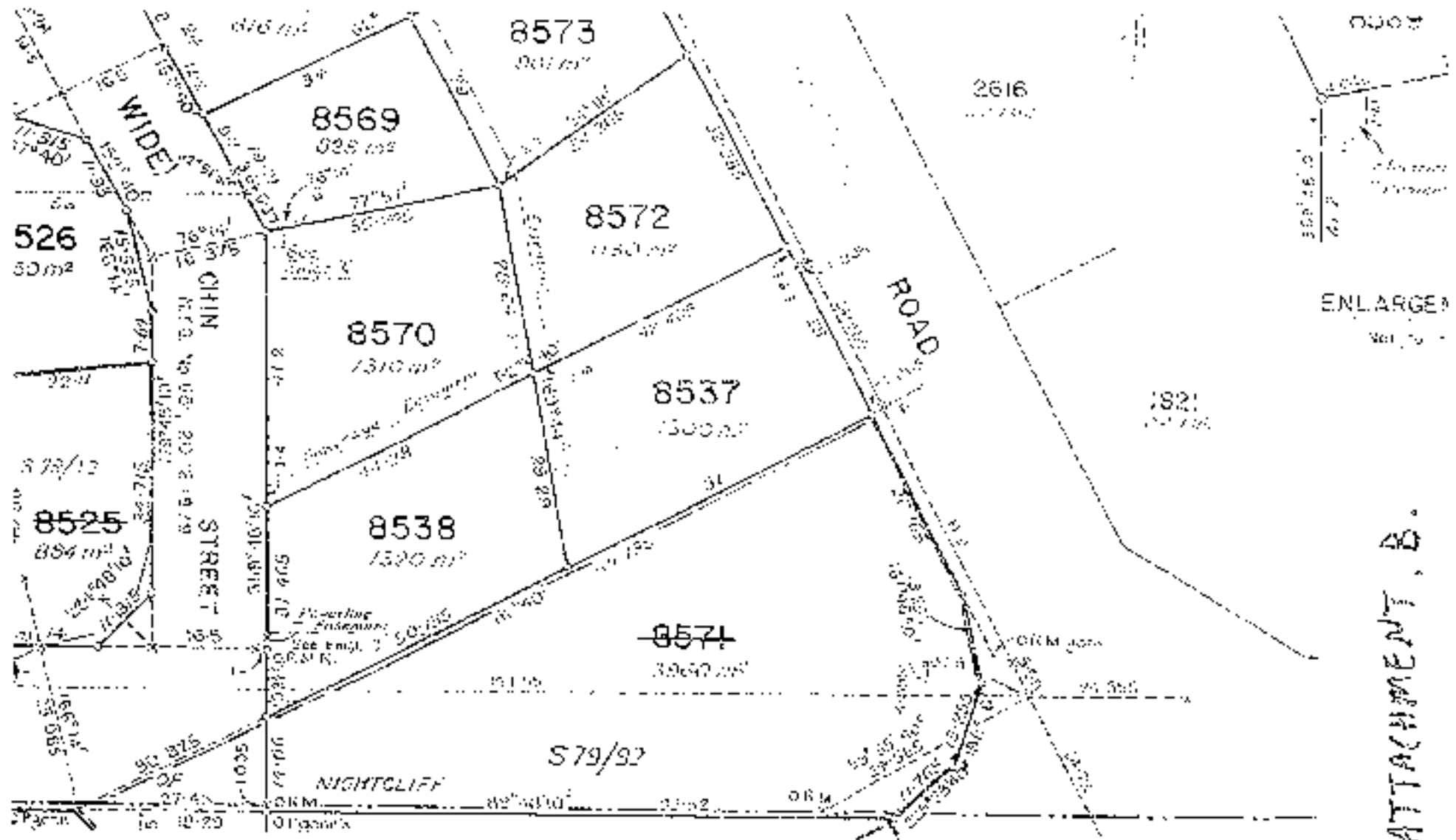
Statistical analysis

Statistical analysis was performed using the Student's *t*-test. The data were analyzed using the Student's *t*-test. The data were analyzed using the Student's *t*-test.

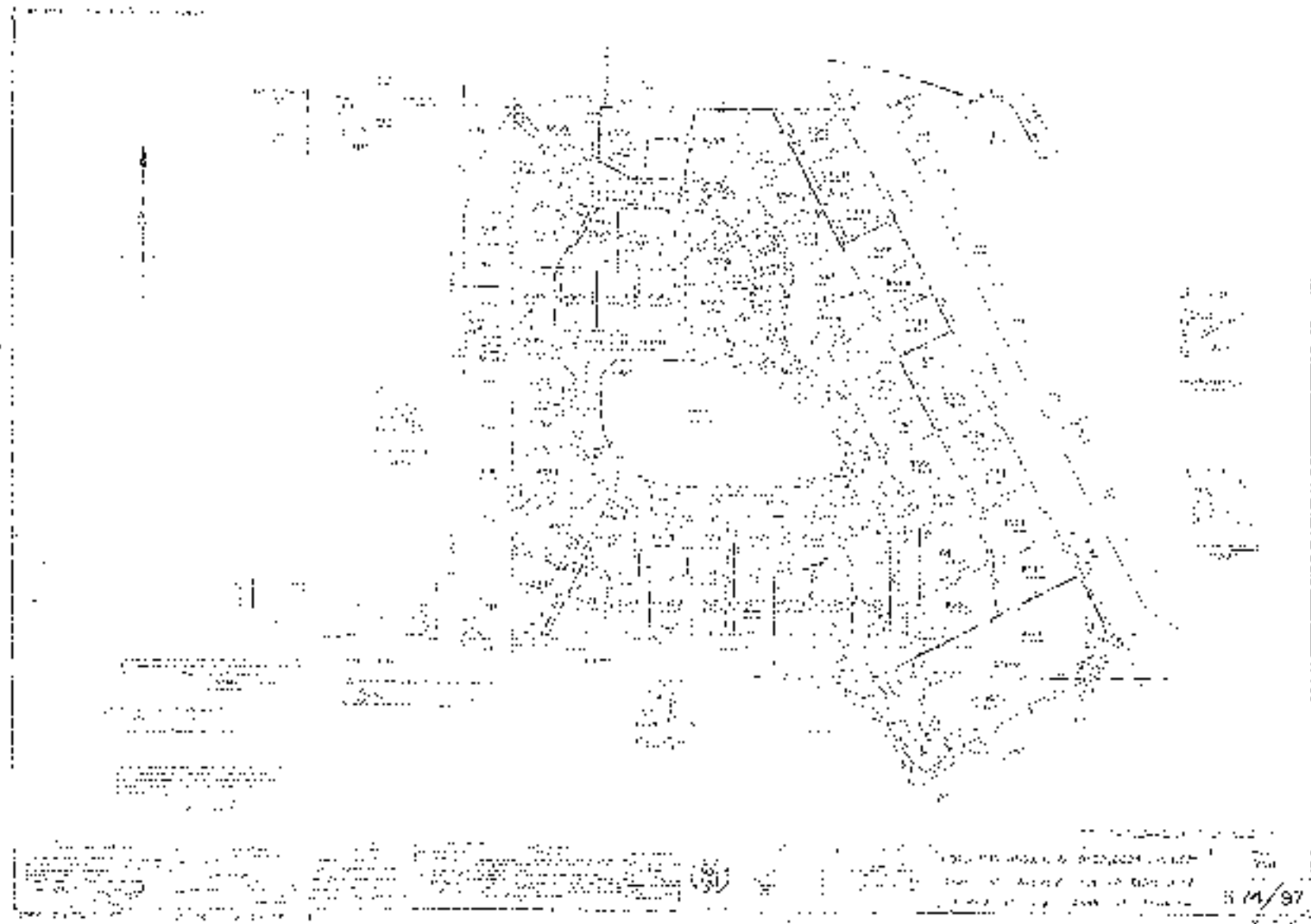
MAP 36

ATTACHMENT A.

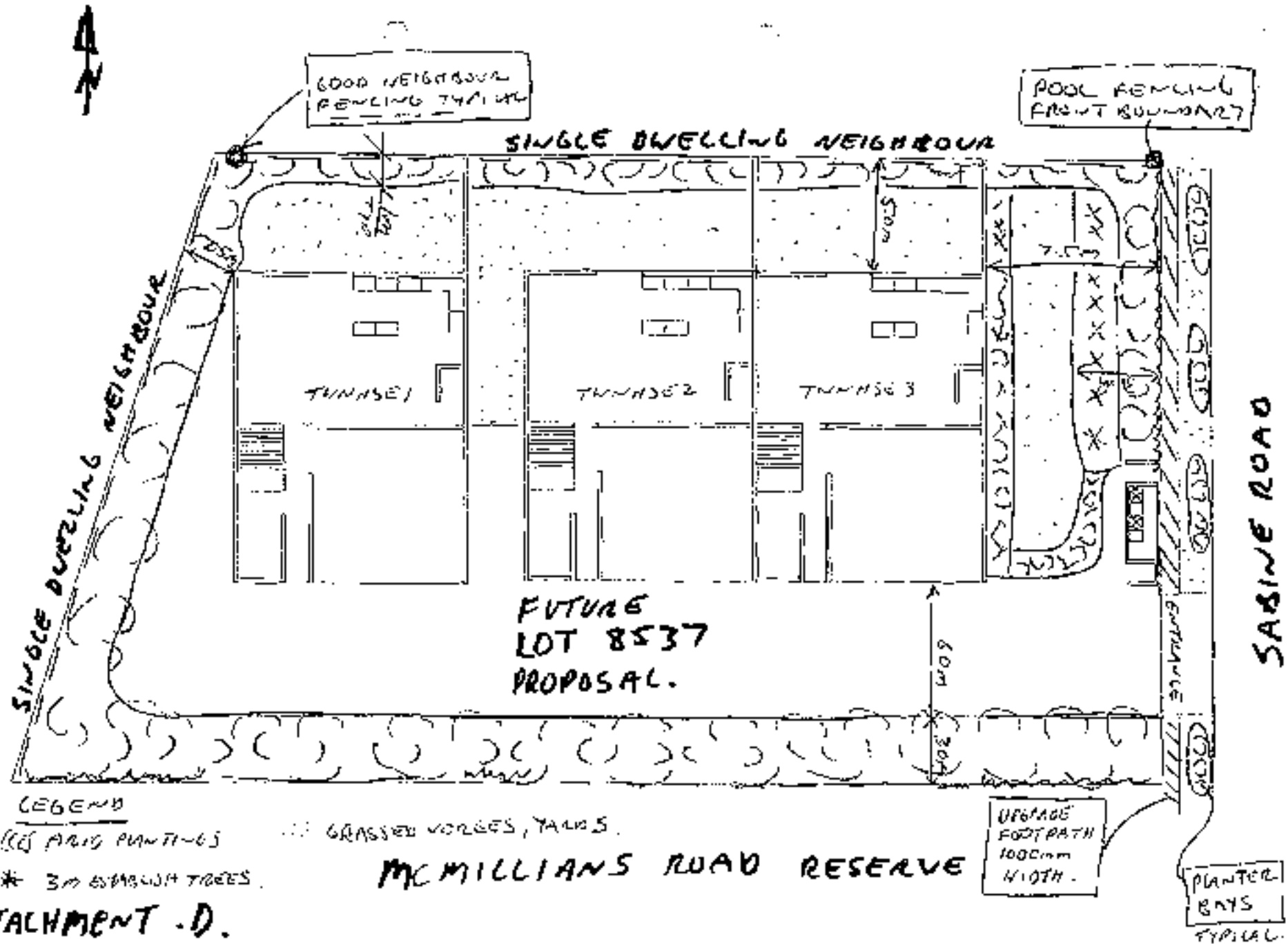




Barrow, Alaska 99501



ATTACHMENT B.



ATTACHMENT .D.

5.0 ZONE PURPOSE AND TABLE

5.1 ZONE 5D – SINGLE DWELLING RESIDENTIAL

<p>1. The primary purpose of Zone 5D is to provide for single dwellings on individual lots.</p> <p>2. Non-residential uses or development should be limited to those which predominantly service the local neighbourhood and do not have any detrimental effect on residential amenity.</p>	<p>Unspecified uses are permitted in this zone. Consideration 2.2(3)A (4)</p> <p>Unmovable structures in public common</p> <p>Class 6.14 (2)(b) for land subject to (over) easement</p> <p>Class 7.10.2 (2)(a) for easement</p> <p>Class 11.1 (2) and 11.1.7 (2)(a) for easement but not 11.2 (2) for easement structure</p> <p>Class 12.1 (2)(a) for the purpose of mobile phone communication structures</p>
---	--

ATTACHMENT E

ZONING TABLE - ZONE S0

abattoir	X	
agriculture	X	
animal boarding	X	
bed and breakfast accommodation	D	6.5.1, 7.10.1
business sign	P	6.7
caravan park	X	
caretaker's residence	X	
car park	X	
child care centre	X	
community centre	P	6.1, 6.6.1
dependent unit	P	7.1, 7.3, 7.10.4
domestic livestock	X	
education establishment	X	
fuel depot	X	
general industry	X	
group home	P	7.4, 7.10.5
home based child care centre	D	6.5.1, 7.10.0
home based contracting	P	7.10.8
home occupation	P	7.10.7
horticulture	X	
hospital	X	
hostel	X	
hotel	X	
intensive animal husbandry	X	
lottery and recreation	X	
licensed club	X	
light industry	X	
medical clinic	X	
medical consulting rooms	D	6.5.1, 7.10.0
motel	X	
motor body works	X	
motor repair station	X	
multiple dwellings	X	
office	X	
passenger terminal	X	
place of worship	X	
plant nursery	X	
promotion sign	X	
recycling depot	X	
restaurant	X	
retail agricultural stall	X	
rural industry	X	
service station	X	
shop	X	
showroom sales	X	
single dwelling	P	4.1.1, 7.1, 7.2, 7.5
stables	X	
supporting accommodation	D	6.5.1, 7.1, 7.2, 7.5, 7.7, 7.8
transport terminal	X	
vehicle sales and hire	X	
veterinary clinic	X	
warehouse	X	

P = Permitted D = Discretionary X = Prohibited

ATTACHMENT E

5.2 ZONE MU -- MULTIPLE DWELLING RESIDENTIAL

<p>1. The primary purpose of Zone MU is to provide for a range of housing options to a maximum height of two storeys.</p>	<p>Heightened uses are prohibited in this zone. See clause 2.2(3)(c) & (d)</p>
<p>2. The scale, character and architectural style of land development should be compatible with the streetscape and surrounding development</p>	<p>Demountable structures require consent</p> <p>Clause 5.1.4 relates to land subject to prohibition</p> <p>Clause 4.10.2 refers to carports</p> <p>Classes 1, 1.1 and 1.2 refer to residential use</p> <p>Art 11.9 is applicable standards,</p> <p>Class 12 refers to the erection of multi storey structures</p>

ZONING TABLE - ZONE MD		
abattoir	X	
agriculture	X	
animal boarding	X	
bed and breakfast accommodation	D	6.5.1, 7.10.1
business sign	P	8.7
caravan park	X	
caretaker's residence	X	
car park	X	
child care centre	X	
community centre	O	6.1, 6.5.1
dependent unit	P	7.1, 7.3, 7.10.4
domestic livestock	X	
education establishment	X	
fuel depot	X	
general industry	X	
group home	P	7.1, 7.10.5
home based child care centre	D	6.5.1, 7.10.6
home based contracting	P	7.10.8
home occupation	P	7.10.7
horticulture	X	
hospital	X	
hospital	X	
hotel	X	
intensive animal husbandry	X	
leisure and recreation	X	
licensed club	X	
light industry	X	
medical clinic	X	
medical consulting rooms	D	6.5.1, 7.10.3
metal	X	
motor body works	X	
motor repair station	X	
multiple dwellings	D	6.6.1, 7.1, 7.3, 7.5, 7.6, 7.7, 7.8
office	X	
passenger terminal	X	
place of worship	X	
plant nursery	X	
promotion sign	X	
recycling depot	X	
restaurant	X	
retail agricultural stall	X	
rural industry	X	
service station	X	
shop	X	
showroom extra	X	
single dwelling	P	6.6.1, 7.1, 7.3, 7.6
stables	X	
supporting accommodation	D	6.5.1, 7.1, 7.3, 7.5, 7.6, 7.7, 7.8
transport terminal	X	
vehicle repair and hire	X	
veterinary clinic	X	
warehouse	X	

P = Permitted D = Discretionary X = Prohibited



Darwin City Council

Website: www.darwin.nt.gov.au

Please quote 1646469 PL:sv

2 October 2009

Mr Doug Lesh
 Manager Urban Planning
 Development Assessment Services
 Department of Planning and Infrastructure
 GPO Box 1680
 DARWIN NT 0801

Dear Doug

Lot 8537, (7) Sabine Road Millner Town of Nightcliff Proposed Planning Scheme Amendments PA2009/0155 - Rezone from Zone SD (Single Dwelling Residential) to Zone MD (Multiple Dwelling Residential)

Thank you for the amendment to the Planning Scheme referred to this office 3 September 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **Council supports in principle the granting of a Development Permit for the following reasons:**
 - a). the application to rezone the subject land will not conflict with the existing use of the site or uses within the locality, and
 - b). the rezoning does not conflict with any strategic outcomes for the site or locality, and
 - c). the subject site is in close proximity to local shops, public transport and existing multiple dwellings, further establishing the significance of the local centre.

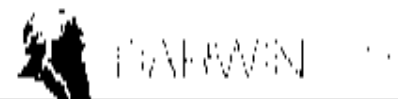
In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact Rick Burgess on 8930 0412.

Yours faithfully

PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Nicolaus Konradovics



ENCL: YES

DARWIN CITY COUNCIL

DATE: 14/08/09

REPORT

TO: TOWN PLANNING MEETING / OPEN B **APPROVED:** CT
FROM: GENERAL MANAGER INFRASTRUCTURE **APPROVED:** PL
REPORT NUMBER: 09TS0131 **APPROVED:** LC
COMMON NO: 1630872
SUBJECT: INCOMING PROPOSAL TO AMEND NT PLANNING
SCHEME PA2009/1124 BY REZONING SECTION 6009
AND PORTION 1874 HUNDRED OF BAGOT (68 & 70)
PRUEN ROAD BERRIMAH FROM ZONE C
(COMMERCIAL) TO ZONE GI (GENERAL INDUSTRY)

ITEM NO: 10.5**Applicant:** Elton Consulting**TP Zone:** Zone C (Commercial)**SYNOPSIS**

Elton Consulting has applied to the Minister for Planning and Lands to amend the NT Planning Scheme by rezoning Section 6009 and Portion 1874 Hundred of Bagot (68 and 70) Pruen Road Berrimah from Zone C (Commercial) to Zone GI (General Industry).

The exhibition period is from Friday 14 August 2009 to Friday 11 September 2009.

Recommendation: Support rezoning to Zone GI (General Industry).

ATTACHMENT A

- The Notice of Exhibition under section 17 of the *Planning Act*.
- Extracts from the NT Planning Scheme relating to Zone C (Commercial).
- Extracts from the NT Planning Scheme relating to Zone GI (General Industry).
- A locality map; and
- A copy of the application from Elton Consulting.

GENERAL

The proposed Planning Scheme Amendment is to rezone Portion 1874 and Section 6009, Hundred of Bagot from Zone C (Commercial) to Zone GI (General Industry). The application has been made by Elton Consulting and the purpose of the rezoning is to facilitate the future development of the site for General Industry.

PAGE: 2-
REPORT NO: 09TS0131 PL:sv
SUBJECT PROPOSAL TO AMEND NT PLANNING SCHEME PA2009/1124 BY REZONING SECTION 6009 AND PORTION 1874 HUNDRED OF BAGOT (68 & 70) PRUEN ROAD BERRIMAH FROM ZONE C (COMMERCIAL) TO ZONE GI (GENERAL INDUSTRY)

The site is rectangular and fairly flat. It has previously been cleared and is undeveloped. Portion 1874 is 900m² in area and Section 6009 is 1,790m² in area. An application to consolidate the land to create 1 lot has been made to the Development Consent Authority.

The site has frontage to Pruen Road and to an access road taken from Pruen Road that adjoins the north and western boundaries of the site. There is a drainage easement along the northern boundary of the site.

The site is located within the Berrimah Industrial area. Land to the north, east and west of the site is zoned and developed for GI (General Industry). Land to the south on the opposite side of Pruen Road is an undeveloped site zoned for U (Utilities).

Land Zoning:

Clause 5.8 of the Planning Scheme states that the primary purpose of zone C (Commercial) is to provide for a range of business and community uses. The zone applies to shopping centres ranging from neighbourhood convenience shopping to regional centres.

Clause 5.12 of the Planning Scheme states that the primary purpose of zone GI (General Industry) is to provide for general industry and that any offices and shops in the zone are to be primarily to provide a service to the needs of the general industrial development.

The following table compares the discretionary and permitted uses for the existing Zone C (Commercial) and the proposed GI (General Industry) Zones.

Land Use	Existing Zone C	Proposed Zone GI
Agriculture	X	D
Animal Boarding	X	D
Business Sign	P	P
Caretaker's Residence	P	P
Car Park	D	P
Child Care Centre	D	X
Community Centre	D	X
Education Establishment	X	D
Fuel Depot	X	D
General Industry	X	P
Home Occupation	P	P
Hostel	D	X
Hotel	D	D
Leisure and Recreation	D	D
Licensed Club	D	D
Light Industry	X	P
Medical Clinic	D	P
Medical Consulting Rooms	D	X
Motel	D	X
Motor Body Works	X	P
Motor Repair Station	D	P
Multiple Dwellings	D	X
Office	D	D

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REPORT NO: 09TS0131 PL:sv
SUBJECT PROPOSAL TO AMEND NT PLANNING SCHEME PA2009/1124 BY REZONING SECTION 6009 AND PORTION 1874 HUNDRED OF BAGOT (68 & 70) PRUEN ROAD BERRIMAH FROM ZONE C (COMMERCIAL) TO ZONE GI (GENERAL INDUSTRY)

Passenger Terminal	X	D
Place of Worship	D	D
Plant Nursery	D	D
Promotion Sign	D	D
Recycling Depot	X	P
Restaurant	D	D
Rural Industry	X	P
Service Station	D	D
Shop	D	D
Showroom Sales	D	D
Supporting Accommodation	D	X
Transport Terminal	X	P
Vehicle Sales and Hire	D	P
Veterinary Clinic	D	P
Warehouse	X	P

P= Permitted D=Discretionary X=Prohibited

Minimum Lot Size for Zone GI:

Clause 11.1.1 (Minimum Lot Sizes) of the Planning Scheme requires that the minimum lot size for Zone GI sites is 1,225m². An application to consolidate the land to create 1 lot has been made to the Development Consent Authority. This would create a single lot of 2,690m². There would therefore, be a further opportunity to subsequently subdivide the consolidated lot into 2 new land parcels and still meet the minimum lot size requirement.

Council Issues:

The surrounding area is zoned and developed for general industry use. Any future development application for the site will be subject to various Council approvals including vehicle access, stormwater drainage, landscaping works on Council land and waste bin storage.

PAGE: 4-
REPORT NO: 09TS0131 PL:sv
SUBJECT PROPOSAL TO AMEND NT PLANNING SCHEME PA2009/1124 BY REZONING SECTION 6009 AND PORTION 1874 HUNDRED OF BAGOT (68 & 70) PRUEN ROAD BERRIMAH FROM ZONE C (COMMERCIAL) TO ZONE GI (GENERAL INDUSTRY)

RECOMMENDATIONS

THAT the Committee resolve under delegated authority:-

- A. THAT Report Number 09TS0131 PL:sv regarding the proposal to amend the NT Planning Scheme (PA2009/1124) by rezoning Section 6009 and Portion 1874 Hundred Of Bagot (68 & 70) Pruen Road, Berrimah from Zone C (Commercial) to zone GI (General Industry) be received and noted and:
- B. THAT Council endorse the letter at **Attachment B** to the Development Consent Authority which includes the following comments:-
 - I. Council supports the proposed rezoning of Section 6009 and Portion 1874 Hundred Of Bagot (68 & 70) Pruen Road, Berrimah from Zone C (Commercial) to Zone GI (General Industry).

PETER LINDWALL
STRATEGIC TOWN PLANNER

DROSSO LEKELIS
A/GENERAL MANAGER INFRASTRUCTURE

Any queries on this report can be directed to Peter Lindwall on 8930 0528 or p.lindwall@darwin.nt.gov.au

NORTHERN TERRITORY OF AUSTRALIA

PROPOSAL TO AMEND NT PLANNING SCHEME
PA2009/1124

Elton Consulting have applied to the Minister for Planning and Lands to amend the NT Planning Scheme by rezoning Section 6009 and Portion 1874 Hundred of Bagot (68 and 70 Pruett Road Burmah) from Zone C (Commercial) to Zone GI (General Industry).

Attached are:

- the Notice of Exhibition under section 17 of the *Planning Act*;
- extracts from the NT Planning Scheme relating to Zone C (Commercial);
- extracts from the NT Planning Scheme relating to Zone GI (General Industry);
- a locality map; and
- a copy of the application from Elton Consulting .

The exhibition period is from Friday 14 August 2009 to Friday 11 September 2009.

Written submissions about the proposed planning scheme amendment are to be received by 4.00pm on Friday, 11 September 2009 and made to:

Julia Wanane
Project Officer
Strategic Lands Planning
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801; or

Email: planning@nt.gov.au

Fax: (08) 8999 7189 or

Hand delivered to Ground Floor, Cavenagh House, 38 Cavenagh Street, Darwin,

For more information please telephone 8999 8863.

NORTHERN TERRITORY OF AUSTRALIA

*Planning Act*NOTICE OF EXHIBITION OF PROPOSAL
TO AMEND NT PLANNING SCHEME
PA2009/1124

I, MARJ MORRISSEY, delegate for the Minister for Planning and Lands, give notice under section 17 of the *Planning Act* of the following:

- (a) a proposal to amend the NT Planning Scheme, numbered PA2009/1124 as referred to in (e), is to be exhibited under Division 3 of Part 2 of the Act;
- (b) the amendment is to be exhibited at the following location:
 - Offices of the Department of Planning and Infrastructure
 - Ground Floor, Cavenagh House, 38 Cavenagh Street, Darwin
- (c) the period of exhibition is for 28 days, commencing upon first newspaper publication of the notice required by section 17(1);
- (d) written submissions in respect of this exhibition should be made to,

Julia Wanane
Project Officer
Strategic Lands Planning
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801 or

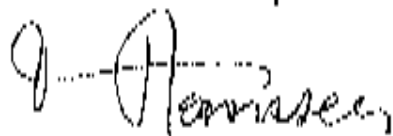
Fax: (08) 8999 7189 or

Email: planning@nt.gov.au

- (e) the proposed amendment is to the NT Planning Scheme, to rezone Section 6009 and Portion 1874 Hundred of Bagot (68 and 70 Prich Road, Burrinhah) from Zone C (Commercial) to Zone GI (General Industry).

Dated 7 August

2008.



MARJ MORRISSEY
Delegate for the Minister for Planning and Lands

R.R. Zone C - COMMERCIAL

<ol style="list-style-type: none"> 1. The primary purpose of Zone C is to provide for a range of business and community uses. 2. The zone applies to shopping areas ranging from neighbourhood convenience shopping to regional centres. 3. Development should: <ol style="list-style-type: none"> (a) be of a scale and character appropriate to the services function of a particular centre; (b) respect the amenity of adjacent and nearby uses; and (c) promote community safety in building design, having regard to adjacent and nearby uses. 	<p>Development in shopping areas requires consent.</p> <p>Clause 6.2 limits the height of buildings within the Municipality of Arceburgo.</p> <p>Clause 6.14 refers to land subject to rezoning.</p> <p>Clause 7.10.2 refers to signage.</p> <p>Clause 8.1.2 refers to other development types in Zone C.</p> <p>Clause 8.1 also refers standards for commercial development.</p> <p>Clause 1.8 refers to the inclusion of public infrastructure in development.</p>
---	--

ZONING TABLE -- ZONE C

abattoir	x	
agriculture	x	
animal boarding	x	
bed and breakfast accommodation	x	
business sign	P	6.7
caravan park	x	
caretaker's residence	P	6.5.1, 7.1, 7.10.3
car park	D	6.4, 6.5.3
child care centre	U	6.4, 6.5.1, 8.1.5, 8.2
community centre	D	6.4, 6.5.1, 8.2
dependent unit	x	
domestic livestock	x	
education establishment	x	
fuel depot	x	
general industry	x	
group home	x	
home based child care centre	x	
home based contracting	x	
home occupation	P	7.10.7
horticulture	x	
hospital	x	
hostel	D	6.4, 6.5.1, 7.3, 7.6, 7.8, 7.9, 8.2
hotel	D	6.4, 6.5.1, 6.6, 8.2
intensive animal husbandry	x	
leisure and recreation	U	6.4, 6.5.1, 8.2
licensed club	D	6.4, 6.5.1, 6.6, 8.2
light industry	x	
medical clinic	D	6.4, 6.5.1, 8.2
medical consulting rooms	U	6.5.1, 7.10.0
motel	D	6.5.1, 6.6, 8.2
motor body works	x	
motor repair station	D	6.4, 6.5.1
multiple dwellings	U	6.5.1, 7.1, 7.5, 7.8, 7.9, 7.0
office	D	6.4, 6.5.1, 6.6, 8.1.2, 8.2
passenger terminal	x	
place of worship	D	6.4, 6.5.1, 8.2
plant nursery	D	6.4, 6.5.1
promotion sign	D	6.7
recycling depot	x	
restaurant	D	6.4, 6.5.1, 6.6, 8.1.2, 8.2
retail agricultural stall	x	
rural industry	x	
service station	D	6.4, 6.5.1, 8.1.4
shop	D	6.4, 6.5.1, 6.6, 8.1.2, 8.2
showroom sales	D	6.4, 6.5.1, 6.6, 8.2
single dwelling	x	
stables	x	
supporting accommodation	D	6.5.1, 7.5, 7.8, 7.9, 7.9
transport terminal	x	
vehicle sales and hire	U	6.4, 6.5.1, 8.2
veterinary clinic	D	6.4, 6.5.1, 8.2
warehouse	x	

P = Permitted D = Discretionary x = Prohibited

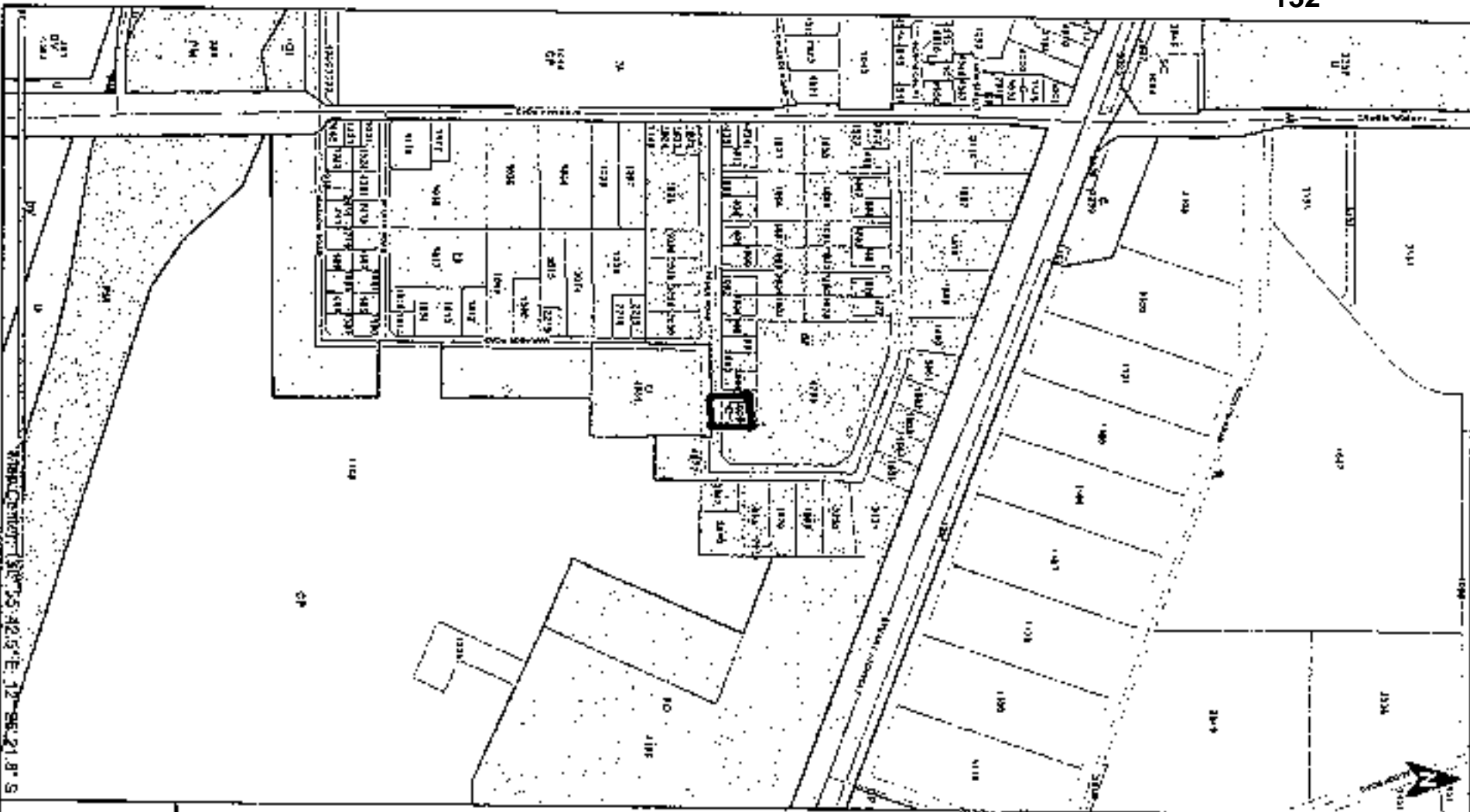
5.12 ZONE GI – GENERAL INDUSTRY

1.	The primary purpose of Zone GI is to provide for general industry .	Demonstrate effective signage placement
2.	Offices are expected to primarily provide a service to the general industry in the zone and be of a size commensurate with the service provided.	Clause 6.7 limits the height of buildings within the Municipality of Allen Springs.
3.	Shops are expected to be limited to those that either service the needs of the general industry in the zone or would be inappropriate in a commercial zone	Clause 6.14 refers to that subject to foundation. Clause 7.10.2 refers to signage. Clause 9.1.1 describes standards for industrial developments. Clause 11.1.1 refers to industrial lot sizes in this zone and clause clause 11.2.1 to 11.2.3 to subdivision design. Clause 12 refers to the location of mobile telecommunications structures

ZONING TABLE – ZONE CN	
abattoir	x
agriculture	D 6.1, 10.1
animal handling	D 6.1, 6.5.1, 9.1.1, 10.1
bed and breakfast accommodation	x
billboard sign	P 6.7
caravan park	x
carolaker's residence	P 6.1, 6.5.1, 7.3, 7.10.3
car park	P 6.1, 6.5.3, 9.1.1
child care centre	x
community centre	x
dependant unit	x
domestic livestock	x
education establishment	D 6.1, 6.5.1, 9.1.1
fuel depot	D 6.1, 6.5.1, 9.1.1
grain industry	P 6.1, 6.5.1, 6.6, 9.1.1
group home	x
home based child care centre	x
home based contracting	x
home occupation	P 7.10.7
horticulture	x
hospital	x
hostel	x
hotel	D 6.1, 6.6.1, 6.8, 9.1.1
intensive animal husbandry	x
leisure and recreation	D 6.1, 6.5.1, 9.1.1
licensed club	D 6.1, 6.5.1, 6.6, 9.1.1
light industry	P 6.1, 6.5.1, 6.6, 9.1.1
medical clinic	P 6.1, 6.5.1, 9.1.1
medical consulting rooms	x
motel	x
motor body works	P 6.1, 6.5.1, 9.1.1
motor repair station	P 6.1, 6.5.1, 9.1.1
multiple dwellings	x
office	D 6.1, 6.5.1, 6.6, 9.1.1
passenger terminal	D 6.1, 6.5.1, 9.1.1
place of worship	D 6.1, 6.5.1, 9.1.1
plant nursery	D 6.1, 6.5.1, 9.1.1
promotion sign	D 6.7
recycling depot	P 6.1, 6.5.1, 9.1.1
restaurant	D 6.1, 6.5.1, 6.6, 9.1.1
retail agricultural store	x
rural industry	P 6.1, 6.5.1, 9.1.1
service station	D 6.1, 6.5.1, 6.1.4, 9.1.1
shop	D 6.1, 6.5.1, 6.6, 6.1.1, 9.1.1
showroom sales	D 6.1, 6.5.1, 6.6, 9.1.1
single dwelling	x
stables	x
supporting accommodation	x
transport terminal	P 6.1, 6.5.1, 6.6, 9.1.1
vehicle sales and hire	P 6.1, 6.5.1, 9.1.1
veterinary clinic	P 6.1, 6.5.1, 9.1.1
warehouse	P 6.1, 6.5.1, 6.6, 9.1.1

P = Permitted D = Discretionary x = Prohibited

Locality Map of Section 6009 & Portion 1874 H/O Bagot



Wahroonga Locality Map 1:50,000 Scale

Legend

- State Borders
- Town Piping 1000
- General Lines
- Left Boundary
- Team Boundary
- Team Planning Zones
- A - Agri Centre
- CA - Central Area
- CB - Central Business
- C - Commercial
- CL - Community Living
- CH - Community Purpose
- CV - Development
- RA - Rural Residential
- RMP - Rural Residential Medium Density
- RI - Rural Industrial
- RL - Rural Living
- RC - Rural Commercial
- RS - Single Residential
- S - Special Use
- F0 - Forest/Commercial
- F1 - Forest/Commercial
- F2 - Forest/Commercial
- F3 - Forest/Commercial
- F4 - Forest/Commercial
- F5 - Forest/Commercial
- F6 - Forest/Commercial
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- F97 - Forest/Commercial
- F98 - Forest/Commercial
- F99 - Forest/Commercial
- F100 - Forest/Commercial
- Road Labels
- Road Development
- Highways
- Other Road
- Parcel Numbers
- Contour Elevation
- Contour Line
- Contour Interval

Created by WITULIA

Datum: GDA 1994
 The Point: 120° 56' 00" E, 34° 26' 30" S
 Approximate Scale: 1:50,000
 Datum: GDA 1994
 Data by information suppliers only
 - accuracy not guaranteed
 N 1: 3 and W 3/4 Section 5/14
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PA 2009/1124 30

NORTHERN TERRITORY OF AUSTRALIA
Planning Act

Proposal to amend a Planning Scheme - section 13(1)


1. LAND INFORMATION (For Proposer's Use IN ZONING ONLY)

Town/quarter/locality:	Hundred of Bagot
Parcel Number(s) and/or Unit number:	Portion 1074 & Section 6009
LTO Plan:	
Number and Street Name:	70 & 68 Pruett Road, Berrimah
and	
Existing Zone:	C (Commercial)
Proposed Zone:	G1 (General Industry)
Title:	Estate in Fee Simple
Is the proposer the land owner?	YES / <input checked="" type="radio"/> NO

2. PROPONENT INFORMATION

PROponent INFORMATION	
ILIS Customer no. (if known):	
Company name (if applicable):	Eltan Consulting
ABN or ACN (if applicable):	
Title: Mr Mrs Miss <input checked="" type="radio"/> Dr Other:	
Family name:	Leslie
Given name(s):	Kim
Preferred name(s):	
Postal address:	GPO Box 3733 DARWIN NT 0801
Telephone no. (business hours):	0941 2199
Mobile no.:	0422 667 020
Facsimile no.:	0941 8230
Email address:	kim@eltan.com.au

3. DESCRIPTION OF PROPOSED AMENDMENT

Attach a detailed statement describing the proposed amendment.	ATTACHMENT A 
and	
Where the proposed amendment relates to a published document, the title of the document proposed to be amended:	
N/A	

4. REASON(S) FOR PROPOSAL

Attach a detailed statement describing why the proposed amendment should be considered.

ATTACHMENT B



5. APPLICANT TO SIGN AND/OR AFFIX SEAL

The application is complete and all required documentation is attached.

[Handwritten signature]

15 / 07 / 2009

Signature(s)

Date

PRIVACY NOTE:

The Department of Planning and Infrastructure, on behalf of the Minister, is authorized under the *Privacy Act* to collect the information on this form, in addition to that provided by you, to consider a proposal to amend a Planning Scheme. Failure to provide the information in full may result in delays processing the proposal.

Some of the personal information provided by you on this application may be publicly available as part of a public consultation process. The information may also be provided to other State Government agencies, the Australian Valuation Office, local governments and Commonwealth Government Departments and agencies, as required by law.

Collection of personal information on this form is done in accordance with the privacy legislation contained within the *Information Act 2002 (Cth)*. For more information please refer to the Department of Planning and Infrastructure privacy statement located at www.dpi.wa.gov.au.

Any personal information provided can be subsequently accessed by other departments. If you have any queries please contact the Manager Development Assessment Services on 08 9479 0211.



Project
**Portion 1874 & Section 6009, Prusa Road
Proposed Rezoning**

Date
July 2009

Contact
Kim Leidle
604.274.9000
kim@elton.com.au



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1. Introduction

1.1 Proposal

The proposed Planning Scheme Amendment seeks to rezone Portion 1874 and Section 6002, Hundred of Bogat from zone C (Commercial) to Zone G1 (General Industry). A locality plan is provided in Figure 1.

The purpose of the rezoning is to facilitate the future development of general industry uses on the site.

This report accompanies a request to amend the Northern Territory Planning Scheme. The application is made pursuant to section 13 of the Planning Act.

The application can be considered by the Minister for the following reasons:

- The request to amend the Planning Scheme is made in writing.
- The application includes a statement describing the proposed amendment.
- The application includes a detailed statement describing why the amendment should be considered.

In addition to providing the above information this report describes the site and surrounds.

1.2 Key details

Site	Portion 1874 & Section 6002, Hundred of Bogat
Location	20 & 68 Pouch Road, Barrimah
Area	900m ² & 1790m ²
Land Tenure	Fee simple
Existing Zone	C (Commercial)
Proposed Zone	G1 (General Industry)
Reason	Facilitate the development of the site for appropriate general industry uses

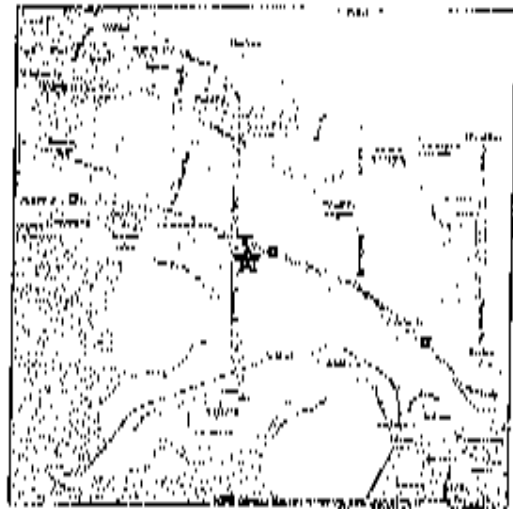


Figure 1: Locality Plan

2 Site Information

2.1 Background

The subject site consists of Portion 1874 & Section 6009, Hundred of Bagot. It is located at 081 and 70 Priem Road in Berrimah, an Outer Suburb of Darwin.

An application for the consolidation of Portion 1874 and Section 6009 to create one lot has recently been made to the consent authority and is currently under consideration.

2.2 Zoning

Both Portion 1874 and Section 6009 are zoned C (Commercial) in terms of the Northern Territory Planning Scheme.

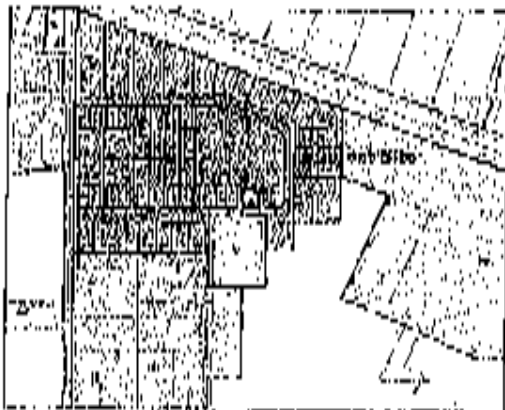


Figure 2: Zoning Map

2.3 Surrounding land uses and development

The subject site is located on Priem Road, Berrimah, approximately 1.2 kilometres from the Darwin CBD via Stuart Highway.

Adjacent land uses are as follows:

- land to the north, east and west are predominantly occupied by general industries
- the southern boundary is Priem Road, beyond which lies a vacant utility site.



Figure 3: Aerial Image

The wider locality is characterised by a variety of activities. Zones (Figure 2) and corresponding land uses (Figure 3) are:

- low density rural residential to the north, beyond Stuart Highway
- Berrimah Linn to the south-east and land zoned for future development beyond that
- further to the south-west, light industrial land uses
- Kamilaroi College to the west, on the other side of Berrimah Road with additional light industries north of that
- along the Stuart Highway and around the Stuart Highway, Berrimah Road and Vanderlin Drive intersections the recent trend has focussed on commercial / service commercial activities

2.4 Physical and Soil Characteristics

The subject site is rectangular and relatively flat. It has previously been cleared, but is currently vacant.

A close-up aerial image of the site is provided at Figure 4.

2.5 Storm Surge

The site is not subject to storm surge.



Figure 4: Close-up Aerial Image

2.6 Infrastructure

The site has a *franchise* to *Prater Road* to the south, west and north. Vehicle access is available from this road.

Retiulated electricity, water and sewerage services are available in the area.

2.7 Easements

The site is affected by a drainage easement along its northern boundary. Any future development of the site will consider this easement. A survey plan identifying the location of the easement is attached in **Appendix A**.

3 Proposed Amendment

3.1 Description

The application requests an amendment to the NT Planning Scheme by rezoning **Portion 1B/1 and Section 6009, Hundred of Bagot from Zone C (Commercial) to Zone GI (General Industry).**

Existing and proposed zoning maps, as well as a table comparing the current and proposed zones, are attached at **Appendix B.**

3.2 Purpose of the rezoning

The proposed rezoning will enable the development of the site for suitable industrial uses, many of which will be allowed as permitted uses (see Appendix B). The current zone C (Commercial) prohibits the use and development of the land for industrial purposes.

3.3 GI Zone rationale

Zone GI (General Industry) has been nominated for the following reasons:

- The primary purpose of the GI zone reflects the land use intent of the envisaged development of the site
- The GI zone provides the community with certainty about the future development of the site
- The site is ideally located for general industrial development, having regard to the surrounding zones and land uses
- The site is well located to take advantage of existing key transport routes and arterial roads including Barracks Road and Stuart Highway, proximity to the Darwin International Airport, East Arm port and rail services

3.4 Infrastructure requirements

Reinforced services are available in the area. The extent of augmentation requirements to the existing infrastructure will be assessed at the submission of any future development application.

The rezoning does not entail any changes to the existing road network. The road network is capable of accommodating traffic volumes normally associated with the proposed zone of the site, in light of the established road hierarchy and classification and surrounding land uses.

3.5 Envisaged development and the NT Planning Scheme

It is envisaged that the site will be developed for general industrial uses.

The development of the site will be in keeping with the primary purpose of **Zone GI**, which is to provide for general industry.

The following specifics are noted for **Zone GI**:

- *Offices are expected to primarily provide a service to the general industry in the zone and be of a size commensurate with the services provided*
- *Shops are expected to be limited to those that either service needs of the general industry in the zone or would be inappropriate in a commercial zone.*

The future development of the site will also be in keeping with the applicable clauses stated in the zone GI table. Generally these are:

- Clause 6.1 - General Height Control
- Clause 6.5.1 - Parking Requirements
- Clause 6.6 - Loading Bays
- Clause 9.1.1 - Industrial Setbacks

Shops in Zone GI are also subject to:

- Clause 8.1.1 - Shops in Zones CV, CL, LI, GI, OV, OR and LN

The scale and character of future development will consider the existing surrounding development.

Clause 11.1.1 relates to minimum lot sizes and requirements. The minimum lot size requirement for Zone GI is 1,225m². The current site will be 2680m² once consolidated. Therefore the site has the potential to be subdivided into two compliant portions should it be required in the future.

4 NT Planning Scheme Planning Principles

(development of the site in an existing urban (industrial) area).

In summary the Planning Scheme amendment and corresponding envisaged future development of the site is consistent with the planning principles contained in the NT Planning Scheme.

The site is included within the "Urban" designations of both the Northern Territory Land Use Framework and Darwin Region Land Use Framework.

Of relevance to the application are the following planning principles of the NT Planning Scheme.

Clause 4.1(a)(v)

...Contribute to a built environment supporting the diverse lifestyle and the social, cultural and economic development of the Territory (particularly... industrial diversity involving community needs and asset potential...

The planning scheme amendment achieves and promotes Clause 4.1(a)(v) by facilitating the development of this site for appropriate general industrial uses which will add to the availability of additional industrial land in a location convenient to East Arm port and Darwin International Airport. Development of the land will also positively contribute to employment options within the area.

Clause 4.1(c)

...Facilitate the supply of sufficient land for industrial uses... so that the subdivision of land is cost effective, equitable and timely and maximises the value of public and private investment in infrastructure...

The site is an un-utilised parcel of land in an outer suburb of Darwin. The amendment will reserve the site for industrial uses to take advantage of its location in proximity to existing transport links including the Stuart Highway, East Arm port and the nearby Darwin International Airport, and its location within existing serviced industrial land. In this regard, Clause 4.1 (c) is satisfied.

Clause 4.2(a)(iii)

...provide for orderly and appropriate expansion of development in the region that... maximises existing development options including urban infrastructure...

The Planning Scheme amendment achieves Clause 4.2(a)(iii) by facilitating the maximum

5 Conclusion

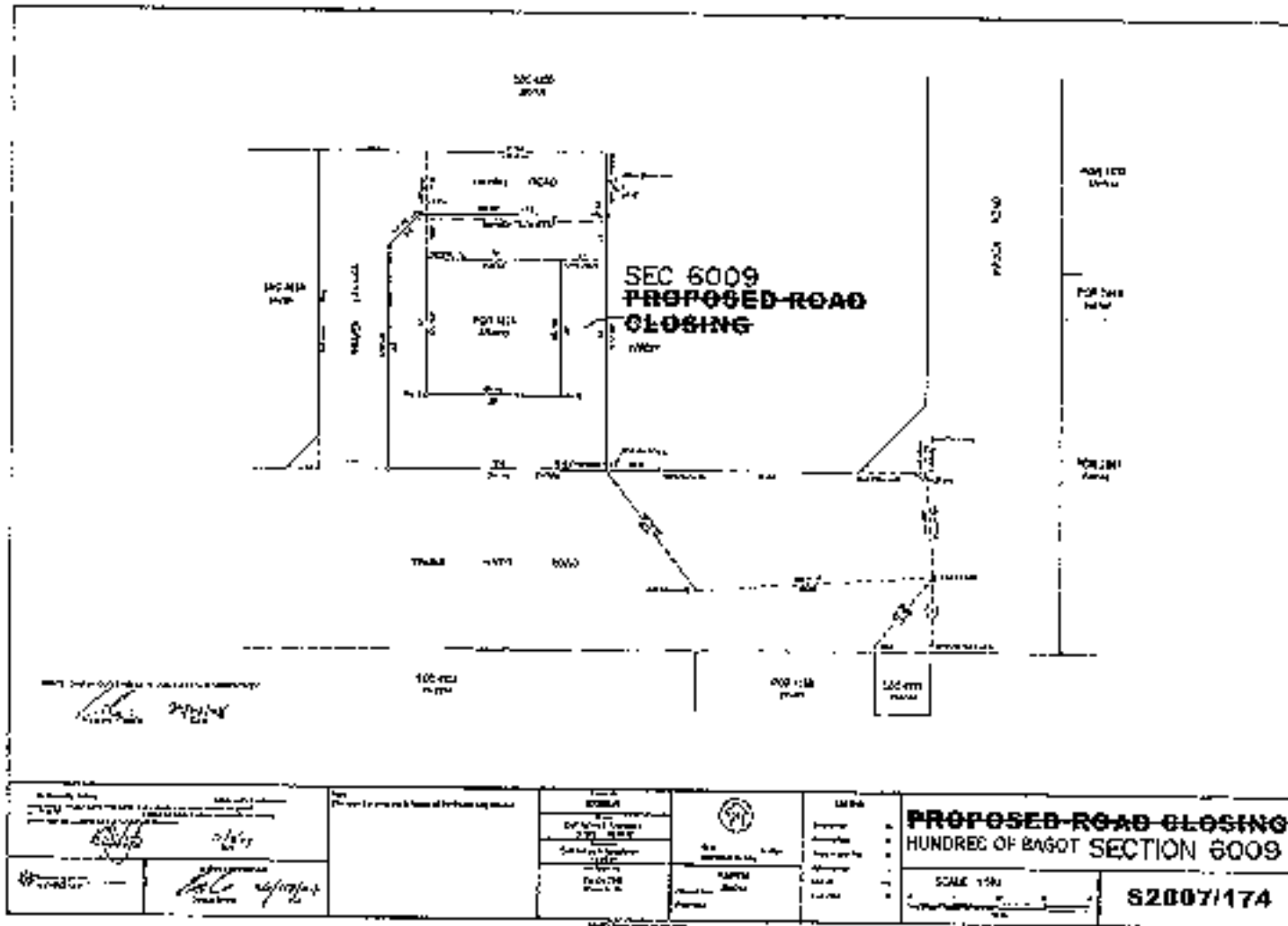
This Planning Scheme Amendment seeks to rezone Portion 1174 and Section 600, Hundred of Bagot from Zone C (Commercial) to Zone GI (General Industry). The purpose of the Planning Scheme amendment is to facilitate the future development of appropriate industrial uses on the site.

The subject site is located at 70 and 68 Prun Road, Unrimah, which can take advantage of the proximity to key transport linkages to provide additional industrial land and increase employment opportunities in the area.

The proposed Planning Scheme amendment is suitable for the following reasons:

- the proposed rezoning actively promotes and achieves relevant planning principles contained in the NT Planning Scheme
- the proposed rezoning enables the provision of more industrial development and employment opportunities to support the continued growth of Darwin
- the site is ideally located for light industrial development having regard to the surrounding land uses, activities and commercial centres, existing public transport routes, rail, air, port facilities, and highway and arterial roads.
- the site is capable of physically supporting the proposed land use
- the proposed GI zone provides the community with certainty about the envisaged development of the site.

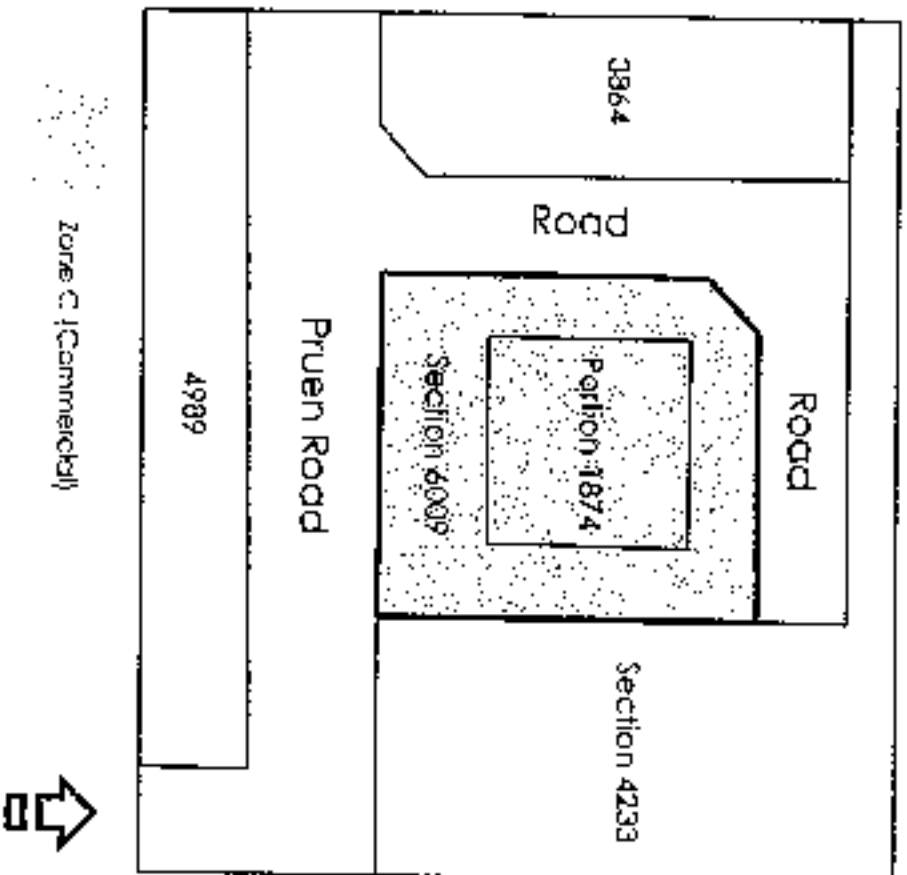
Appendix A: Site Survey Plan



8
 Drawing prepared by
 [Signature]
 10/11/2011

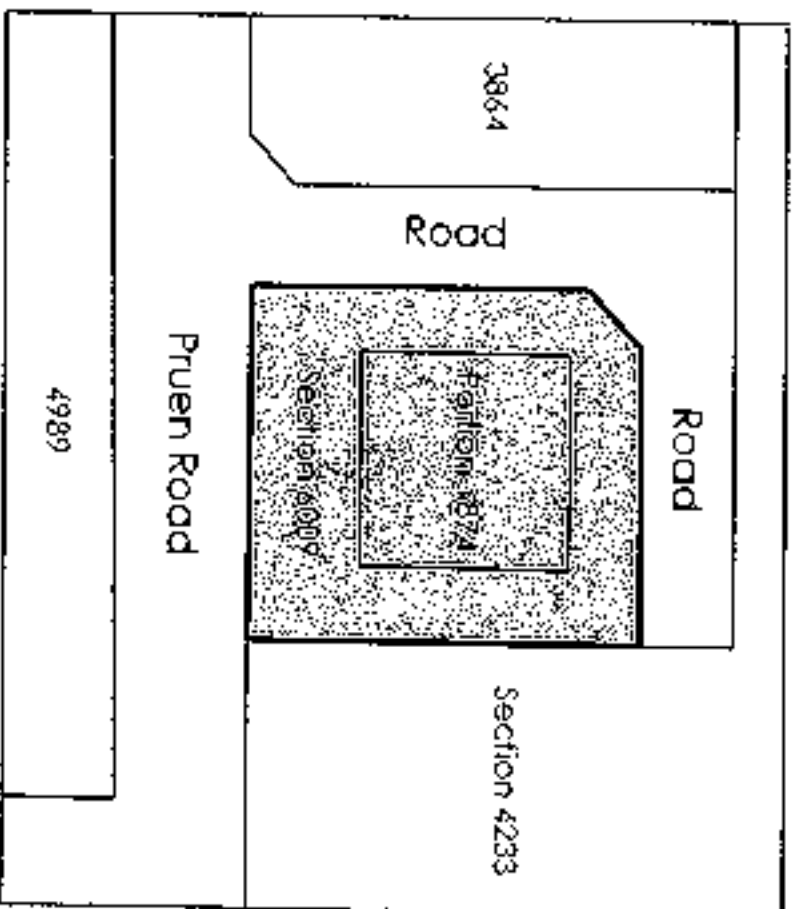
Appendix B: Existing and proposed Zone Maps and Comparison Table

Portion 1874 & Section 6009, Hundred of Bagot
70 & 68 Pruett Road, Berrimah



Existing Zone

Portion 1874 & Section 6009, Hundred of Bagot
70 & 68 Pruett Road, Berrimah



Zone GI (General Industry)



Proposed Zone

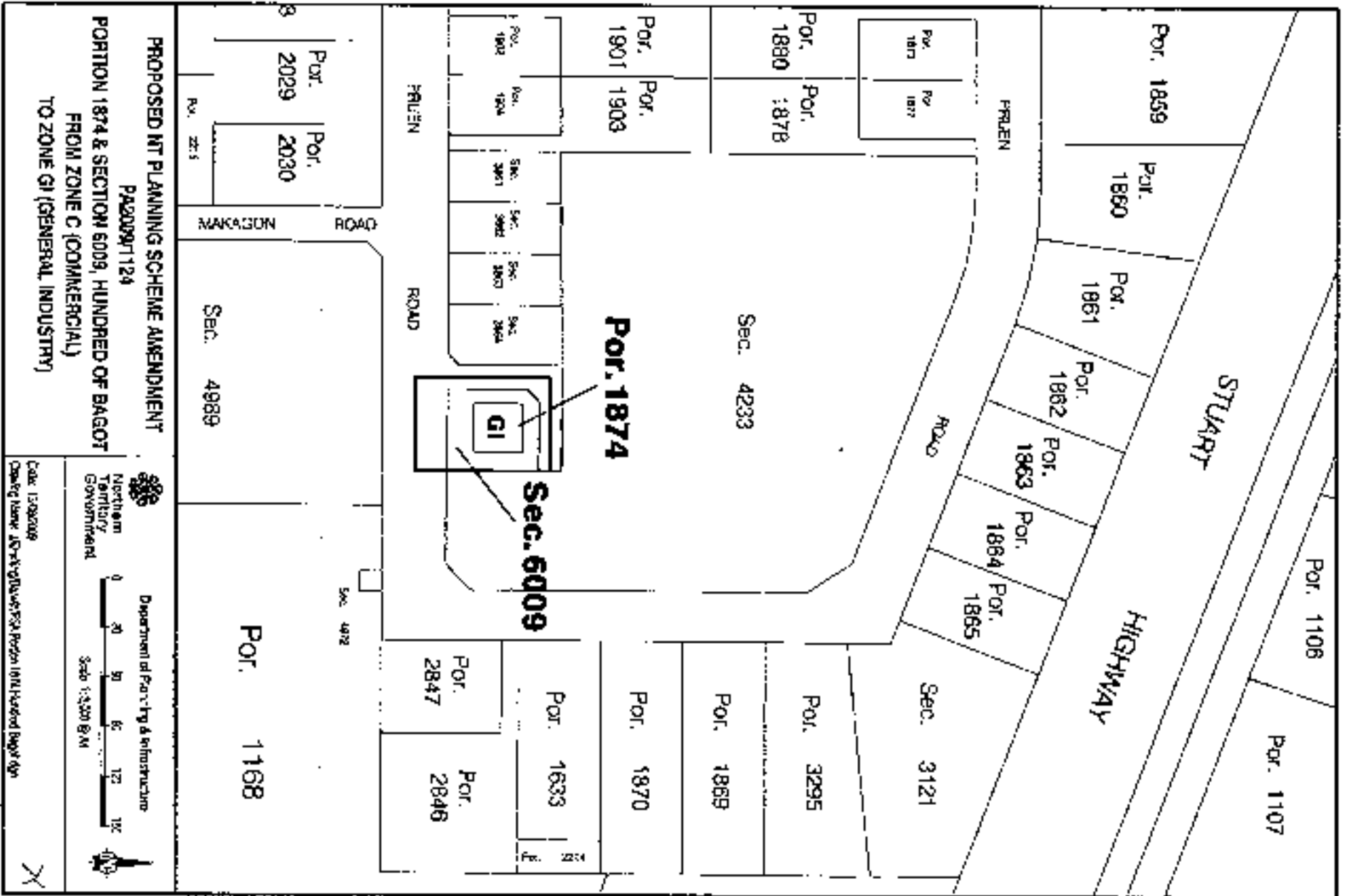
Portion 1274 and Section 6009, Hundred of Ongat

Comparison of Existing and Proposed Zones:

Zone	Commercial (existing)	General Industry (proposed)
Purpose of the zone	<ol style="list-style-type: none"> 1. The primary purpose of Zone C is to provide for a range of business and community uses. 2. The zone applies to shopping areas ranging from neighbourhood convenience shopping to regional centres. 3. Development should: <ul style="list-style-type: none"> (a) be of a scale and character appropriate to the service function of a particular centre; (b) respect the amenity of adjacent and nearby uses; and (c) promote community safety in building design, having regard to adjacent and nearby uses. 	<ol style="list-style-type: none"> 1. The primary purpose of Zone G1 is to provide for general industry, 2. Offices are expected to primarily provide a service to the general industry in the zone and be of a size commensurate with the service provided, 3. Shops are expected to be limited to those that either serve the needs of the general industry in the zone or would be inappropriate in a commercial zone.
Permitted Uses *	Business Sign Caretaker's Residence Home Occupation	Business Sign Caretaker's Residence Car Park General Industry Home Occupation Light Industry Medical Clinic Motor Body Works Motor Repair Station Recycling Depot Retail Industry Transport Terminal Vehicle Sales and Hire Veterinary Clinic Warehouse
Discretionary Uses *	Car Park Child Care Centre Community Centre Hostel Hotel Leisure and Recreation Licensed Club Medical Clinic Medical Consulting Rooms Motel Motor Repair Station Multiple Dwellings Office Place of Worship Plant Nursery...	Agriculture Animal Boarding Education Establishment Fuel Depot Hotel Leisure and Recreation Licensed Club Office Passenger Terminal Place of Worship Plant Nursery...

	Promotion Sign Restaurant Service Station Shop Showroom Sales Supporting Accommodation Vehicle Sales and Hire Veterinary Clinic	Promotion Sign Restaurant Service Station Shop Showroom Sales
Height	Clause 6.1 - 8.5m above ground	Clause 4.1 - 8.5m above ground
Floor Area Restrictions	Clause 6.4 - plot ratio of 1	Clause 8.1.1 - Shop floor area is restricted to 200m ²
Parking Requirements	Clause 6.5.1 - depends on use & net floor area	Clause 6.5.1 - depends on use & net floor area
Loading Bay	Clause 6.6 - depends on use & net floor area	Clause 6.6 - depends on use & net floor area
Setbacks	- Clause 6.5.8 - 3m landscaped area required between car park and street; <i>Building Act controls setbacks for residential buildings</i>	Clause 9.1.2 - Industrial setback to street = 3m; setback to at least one side and rear = 5m; Street frontage to be landscaped for depth of 3m

* Uses in bold are permitted / discretionary uses in this zone which are not listed in the other zone under its permitted / discretionary uses



11 September 2009

Ms Julia Wannan
Project Officer
Strategic Lands Planning
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Julia

**Proposed Planning Scheme Amendment PA2009/1124
Section 6009 and Portion 1874 Hundred of Bagot (68 & 70) Pruett Road,
Borrlimah Rezone from Zone C (Commercial) to Zone GI (General Industry)**

Thank you for the proposed Planning Scheme Amendment application referred to this office on 14 August 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

COMMENTS

Council supports the proposed rezoning of Section 6009 and Portion 1874 Hundred Of Bagot (68 & 70) Pruett Road, Borrlimah from Zone C (Commercial) to Zone GI (General Industry).

The surrounding area is zoned and developed for general industry use. Any future development application for the site will be subject to various Council approvals including vehicle access, stormwater drainage, landscaping works on Council land and waste bin storage.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully

PETER LINDWALL
STRATEGIC TOWN PLANNER

or: Pilon Consulting



OPEN SECTION

PAGE

TP*/7

Town Planning Committee Meeting – Wednesday, 7 October, 2009

10 OFFICERS REPORT**10.6 Proposal To Amend NT Planning Scheme Pa2009/1080 To Rezone Part Portion 2235, Stuart Highway, Hundred Of Bagot From SD22 (Specific Uses Darwin) To Zone SD31 (Specific Uses Darwin) To Facilitate Development Of Commercial Uses Which Respond To Exposure To Aircraft Noise.**

Report No 09TS0140 (04/09/09) Common No 1632073

Report Number 09TS0140 has been distributed separately with Business Papers.



ENCL: YES

DARWIN CITY COUNCIL

DATE: 29/9/09

REPORT

TO: TOWN PLANNING COMMITTEE OPEN B APPROVED: PL

FROM: GENERAL MANAGER INFRASTRUCTURE APPROVED: DL

REPORT NO: 09TS0160 PL:sv APPROVED:

COMMON NO: 1647357

SUBJECT: PLACE NAME APPLICATION NAMING OF PARK – CIVIC SQUARE
PART LOT 3981, 17 HARRY CHAN AVENUE, DARWIN CITY**ITEM NO: 10.7****SYNOPSIS:**

The Place Names Committee is seeking Council's support to officially name the park adjacent to the Civic Centre – CIVIC SQUARE, **Attachment A.**

This report recommends that the Town Planning Committee approves the name of Civic Square for the park.

GENERAL:

The park currently does not have an official, gazetted name, and is known by Council staff as Civic Park. The park is sign posted with both names, Civic Square (Smith Street entrance) and Civic Park (Cavenagh Street entrance), **Attachment B**

Researching this issue resulted in a number of possibilities of why this may have occurred and includes the following:

- The entire lot 3981 was known as Civic Square (includes the Civic Centre) with the park known as Civic Park.
- The entire block of land bounded by Smith Street, Esplanade and Harry Chan Avenue being know as Civic Square, (Includes the church and Browns Mart) with the park known as Civic Park.

As the park has not been officially named and/or gazetted, the Place Names Committee recommends the park be officially named Civic Square. The reasoning for this is that the park is adjacent to State Square , which is the area bounded by Smith Street, Esplanade and Bennett Street (Parliament House and Courts), and Liberty Square being the area bounded by the Esplanade, the Supreme Court and Parliament House, **Attachment C.**

Further research reveals Bennett Park which is a Council owned park located within State Square was gazetted in 1966, Bennett Park.

PAGE: 2
REPORT NO: 09TS0160 PL:SV
SUBJECT: PLACE NAME APPLICATION –
NAMING OF PARK – CIVIC SQUARE
PART LOT 3981 17 HARRY CHAN AVENUE, DARWIN CITY

FINANCIAL IMPLICATIONS:

Minor financial implications may be incurred with removing the Civic Park name sign/s.

STRATEGIC PLAN IMPLICATIONS:

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

Goal 1:Achieve Effective Partnerships and Engage in Collaborative Relationships

Outcome

1.1 Improve relations with all levels of Government.

Key Strategies

1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin.

LEGAL IMPLICATIONS:

This issue is not considered confidential.

ENVIRONMENTAL IMPLICATIONS:

Nil.

PUBLIC RELATIONS IMPLICATIONS:

Not Assessed.

COMMUNITY SAFETY IMPLICATIONS:

Nil.

DELEGATION:

Nil.

CONSULTATION:

Public Affairs
Revenue Supervisor
Records

PROPOSED PUBLIC CONSULTATION PROCESS:

The Place Names Committee is responsible for public consultation of proposed place names.

PAGE: 3
REPORT NO: 09TS0160 PL:SV
SUBJECT: PLACE NAME APPLICATION –
NAMING OF PARK – CIVIC SQUARE
PART LOT 3981 17 HARRY CHAN AVENUE, DARWIN CITY

APPROPRIATE SIGNAGE:

Not Applicable.

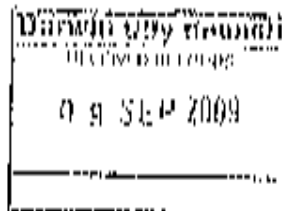
RECOMMENDATIONS:

- A. THAT Report Number 09TS0160 PL:sv entitled Place Names Application, Naming of Park – Civic Square, Part Lot 3981, 17 Harry Chan Avenue, Darwin City, be received and noted.
- B. THAT Council support the Place Names Committee's recommendation and name the park on Lot 3981 adjacent to the Civic Centre – Civic Square.

PETER LINDWALL
STRATEGIC TOWN PLANNER

DROSSO LELEKIS
A/GENERAL MANAGER INFRASTRUCTURE

Any queries on this report can be directed to Brian Sellers on 8930 0683 or b.sellers@darwin.nt.gov.au



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Place Names Committee for the Northern Territory

Telephone: (08) 8985 5333
 Facsimile: (08) 8985 5335
 E-mail: placenames@nt.gov.au
 Web: www.placenames.nt.gov.au

37 Mount Nobby House
 71 South Street
 Darwin, NT 0801
 Darwin NT 0801

Ref: 2009-0043, 25/09/09 0002

Chief Executive Officer
 Darwin City Council
 GPO Box 83
 DARWIN NT 0801

Dear Sir

Naming of Civic Square, Darwin City

The Place Names Committee in its recent meeting were advised of an enquiry as to the correct name for the park known as Civic Square, Civic Park or Civic Square Park and being part of Lot 3283, South Street, Darwin and that the park was not officially named.

The Committee also noted the park is part of the Darwin City Council precinct and is signposted on South Street as "Civic Square".

The area bounded by South Street, Benjamin Street and the Esplanade is collectively known as State Square, whilst the triangular park bounded by the Esplanade, the Supreme Court and Parliament House was named Liberty Square in July 1996.

The Committee decided to recommend the park, being part of Lot 3283, be named CIVIC SQUARE, subject to support from the Darwin City Council.

A diagram showing the location of Civic Square is attached for your information.

The Committee seeks written support for the name CIVIC SQUARE from the Darwin City Council.

Please note that place names are not made official until the list has been signed by the Minister and included in the Place Names Register at www.placenames.nt.gov.au. Following the names' addition to the Register, a notice will be published in the Northern Territory Government Gazette.

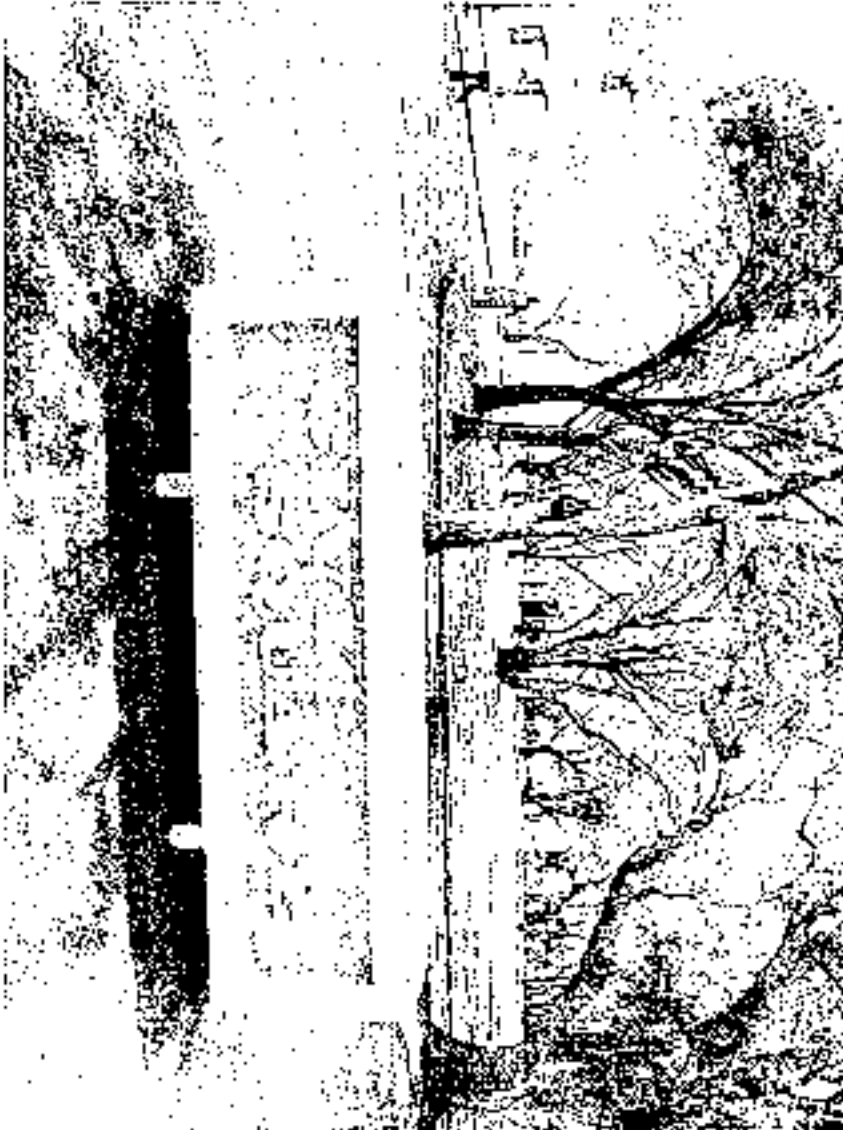
Yours sincerely

STUART DUNCANSON
 Secretary

25 September 2009

Atch

Northern Territory Government



ENCL: YES

DARWIN CITY COUNCIL

REPORT

DATE: 29/9/09

TO: TOWN PLANNING COMMITTEE OPEN B **APPROVED:** PL

FROM: GENERAL MANAGER INFRASTRUCTURE **APPROVED:** DL

REPORT NO: 09TS0170 PL:sv **APPROVED:**

COMMON NO: 1645982

SUBJECT: PLACE NAME APPLICATION - NAMING OF ROAD OFF FARRELL CRESCENT WINNELLIE

ITEM NO: 10.8

SYNOPSIS:

The Place Names Committee is seeking to name a road in a new subdivision off Farrell Crescent Winnellie.

This report recommends that Council supports this application.

GENERAL:

The developer of a new subdivision off Farrell Crescent, Winnellie has proposed the Name of the new road be called Aristos Place.

The Place Names Committee is seeking Council's support to name the new road Aristos Place.

Attachment A has been supplied by the Place Names Committee and provides information on Aristos Hatzipolihronides (also known as Harry Hakis) whose name is proposed for the new road.

FINANCIAL IMPLICATIONS:

Nil.

STRATEGIC PLAN IMPLICATIONS:

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

Goal 1: Achieve Effective Partnerships and Engage in Collaborative Relationships

Outcome

1.2 Effectively engage with Community

PAGE: 2
REPORT NO: 09TS0170 PL:SV
SUBJECT: PLACE NAME APPLICATION – NAMING OF ROAD OFF FARRELL
CRESCENT WINNELLIE

Key Strategies

1.2.1 Increase involvement of the Business Community for developing solutions to local issues

LEGAL IMPLICATIONS:

This issue is not considered confidential.

ENVIRONMENTAL IMPLICATIONS:

Nil.

PUBLIC RELATIONS IMPLICATIONS:

Not Assessed.

COMMUNITY SAFETY IMPLICATIONS:

Nil.

DELEGATION:

Nil.

CONSULTATION:

Nil.

PROPOSED PUBLIC CONSULTATION PROCESS:

The Place Names Committee is responsible for public consultation of proposed place names.

APPROPRIATE SIGNAGE:

Not Applicable.

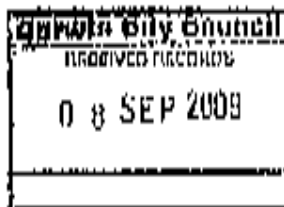
RECOMMENDATIONS:

- A. THAT Report Number 09TS017 PL:sv entitled Naming of Road off Farrell Crescent, Winnellie, be received and noted.

PETER LINDWALL
STRATEGIC TOWN PLANNER

DROSSO LELEKIS
A/GENERAL MANAGER INFRASTRUCTURE

Any queries on this report can be directed to Brian Sellers on 8930 0683.



Place Names Committee for the Northern Territory

Telephone: (08) 8995 5333
 Facsimile: (08) 8995 5365
 E-mail: placenames@nt.gov.au
 Web: www.placenames.nt.gov.au

2nd Floor MAIL House
 71 Smith Street
 GPO Box 1610
 Darwin NT 0801

Chief Executive Officer
 Darwin City Council
 GPO Box 84
 DARWIN NT 0801

Dear Sir

Naming of a road off Farrell Crescent, Winnellie

The Place Names Committee at its recent meeting having been advised the subdivision off Farrell Crescent, Winnellie, was nearing completion agreed to recommend the name proposed by the developer, namely:

ARISTOS PLACE named in commemoration of Aristos Hatzipolihronides (also known as Harry Haxis) who was born in Florina, Greece on 15th March, 1931. Aristos migrated to Australia in 1959 with initial destination Melbourne. On route, the plane made an emergency landing in Darwin due to mechanical problems. The parts required to fix the plane needed several weeks to arrive and Aristos made friends with members of the Bedgling Creek Community and was convinced to stay due to the abundant work. Aristos was a skilled carpenter. In 1961, Aristos arranged for his wife, Elisabeth, and 3 year old daughter, Athina, to follow him to Darwin. For convenience, Aristos took on the 'English' name of Harry Haxis, however within the community he was still known as Aristos.

In 1963, Aristos, in partnership with Chris Mellios, formed the construction firm Nighteliff Builders. This was a very successful partnership that lasted until Aristos's retirement in 1996. During Aristos' time, Nighteliff Builders was one of the foremost construction firms in the Top End, building numerous houses and buildings for private customers as well as the NT and Federal governments.

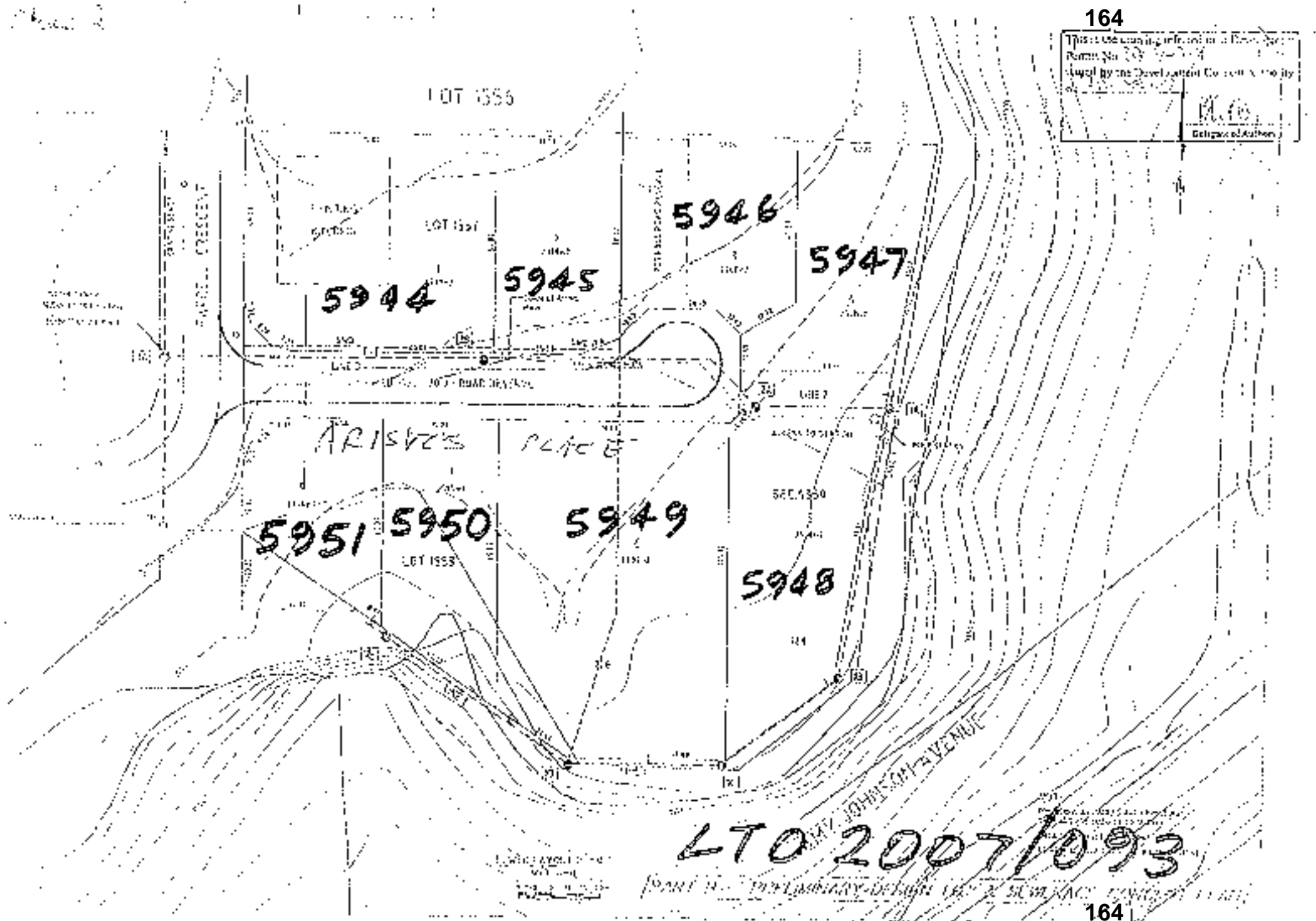
Aristos was one of the first to build a private house in the newly released suburb of Nighteliff, moving into his home on Chapman Road in 1961. Together with his partner, Aristos constructed the first factory on the newly built Farrell Crescent to house the headquarters of Nighteliff Builders. These headquarters remain today and Nighteliff Builders continues to operate successfully under the control of Chris Mellios' Family.



Northern Territory Government

This is the same information as in Plan No. 164
 Form No. 100
 Issued by the Development Commission, the City
 of Toronto

[Signature]
 Delegation of Authority



LTO 2007/093

Part II Preliminary Design for a Subdivision of Land

ENCL: YES

DARWIN CITY COUNCIL

DATE: 24/08/09

REPORT

TO: TOWN PLANNING COMMITTEE MEETING/
OPEN B **APPROVED:** BS

FROM: GENERAL MANAGER INFRASTRUCTURE **APPROVED:** PL

REPORT NO: 09TS0142BS:sv **APPROVED:** LC

COMMON NO: 983582

SUBJECT: OUTDOOR ADVERTISING SIGNS CODE - DEFINED BOUNDARIES
FOR THE MARRARA SPORTING PRECINCT

ITEM NO: 10.9**SYNOPSIS:**

This report presents the revised Outdoor Advertising Signs Code Policy to Council for endorsement. The policy includes the approved controls for the Marrara Sporting Precinct, **Attachment A**.

This report seeks Council approval to change the defined boundaries of the Marrara Sporting Precinct from what has been described in the Draft Community Consultation Report to clearly identify the actual precinct boundary, **Attachment B**.

GENERAL:

Council at their 2nd Ordinary Council Meeting, on Tuesday 25 November 2008, resolved:

12.2 NT Rugby Union Signs Prosecution Further Legal Advice

Report No.08TS0206 MS:lm (08/10/08) Document No.1489171 (23/11/08)
Common No.983582

- A. THAT Report Number 08TS0206 entitled NT Rugby Union Signs Prosecution Further Legal Advice, be received and noted.
- B. THAT Council adopt the signage controls for Sporting Sponsorship Signage and Sporting Field Name Signs as detailed in the Attachment to Report Number 08TS0206 MS:lm, 'Draft Community Consultation Report, Proposed Amendments to the Outdoor Advertising Signs Code at Marrara Sporting Precinct', and implement them as controls in a newly developed precinct within the Outdoor Advertising Signs Code.

Decision No..20\1043 (25/11/08)

PAGE: 2
 REPORT NUMBER: 09TS0142BS:sv
 SUBJECT: OUTDOOR ADVERTISING SIGNS CODE - DEFINED BOUNDARIES FOR THE MARRARA SPORTING PRECINCT

Council staff updated the Outdoor Advertising Signs Code to reflect the Council decision and sent the revised sign code to Cridlands for their legal opinion.

Cridlands response (**Attachment C**) indicated that the signs code could only contain the exact wording from the Draft Community Consultation Report, otherwise Council approval for any changes including any additional terms is required.

Issues

The proposed changes for the signs code which currently does not comply with decision 20\1043, is the boundary of the precinct.

The Draft Community Consultation Report has defined the boundary as:

*The Marrara Sporting Precinct was established by the Northern Territory Government as a specific location for sporting and community activities within the boundary of **McMillans Road, Henry Wrigley Drive and Dante Road, Marrara.***

Retaining Dante Rd as a boundary would exclude the Italian Club from this precinct. Allowing the Italian Club in this precinct, with this definition would create a conflict with the Marrara Golf Club, who are located directly behind the Italian Club, and who extend all the way down McMillans Rd to the Malak caravan park.

Proposed Boundary

The Outdoor Advertising Signs Code at **Attachment A** defines the boundary as:

The Marrara Sporting Precinct consists of the sporting fields bounded by McMillans Road, Henry Wrigley Drive, the Darwin Airport northern boundary, and the eastern boundary of the Darwin Golf Club's premises.

Sign Controls

No changes have been made to the sign controls in the Outdoor Advertising Signs Code which are detailed in the Draft Community Consultation Report, at **Attachment B**.

Detailed Changes Made To Outdoor Advertising Signs Code Policy

Detailed in order are the changes to the Outdoor Advertising Signs Code which are required for the inclusion of the Marrara Sporting Precinct.

- Changes to index to include the precinct (requires professional editing and formatting)
- Section 2.1(iii), includes "or special precinct"
- Section 5, Definitions – Advertising Types now includes:

PAGE: 3
 REPORT NUMBER: 09TS0142BS:sv
 SUBJECT: OUTDOOR ADVERTISING SIGNS CODE - DEFINED BOUNDARIES FOR THE MARRARA SPORTING PRECINCT

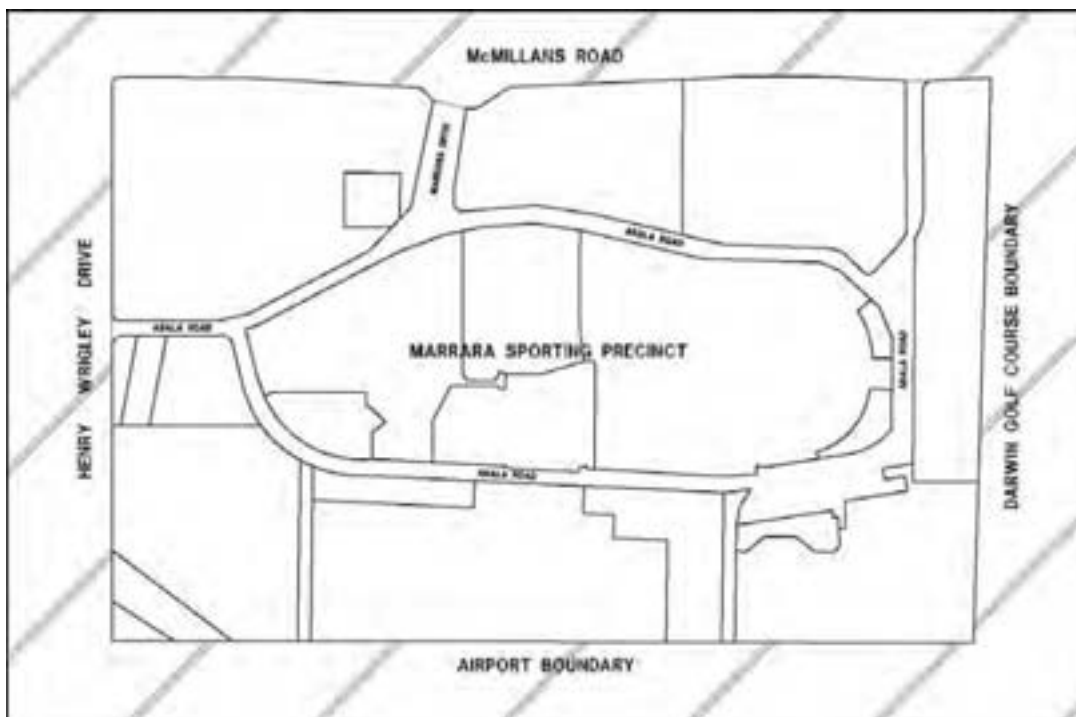
- **Sporting Field Name Signs** means advertising identifying the name and logo of the sports ground official name. Applicable to the Marrara Sporting precinct only
- **Sporting Sponsorship Signage** means advertising identifying the name and/or logo of a person, company or organisation providing sponsorship to a sporting club. Applicable to the Marrara Sporting precinct only
- Section 7.5 Organised Recreation Zone: OR, now includes:
- Refer to section 7.8 for sign controls within the Marrara Sporting Precinct
- Section 7.8

7.8 Marrara Sporting Precinct

The following controls within this clause are specific to the Marrara Sporting Precinct and override any other specific or implied controls stated in this code. All other controls contained within the code are applicable.

7.8.1 Precinct Definitions

The Marrara Sporting Precinct consists of the sporting fields bounded by McMillans Road, Henry Wrigley Drive, the Darwin Airport northern boundary, and the eastern boundary of the Darwin Golf Club's premises.



7.8.2 Specific Sign Controls

- **Sporting sponsorship signs facing a public area;**
 - no sporting sponsorship sign shall exceed an area of 9 square metres;
 - no sporting sponsorship sign shall be illuminated; and
 - it is prohibited to place a sporting sponsorship sign on or over a public area.

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Free-standing sporting sponsorship signs shall;

- be double sided with the same sponsor displayed on each side of the sign;
- display only one sponsor per sign;
- be no higher than 3.5 metres from finished ground level;
- be displayed at a rate not greater than one sign per 50 metres of road frontage, with no specific spacing between the signs; and
- be no closer than ten metres from the sporting organisation's property boundary

General sporting sponsorship signs shall;

- be no higher than seven metres from finished ground level; and
- display only one sponsor per sign.

Sporting sponsorship signs not facing a public area

- for sporting sponsorship signs facing away from a public area there is no limit on the number or size of sporting sponsorship signs provided they generally face inwards towards the sporting ground and are not readily viewable from the surrounding public area.
- all sporting sponsorship signs facing away from a public area shall have an attractive backing that does not detract from the amenity of the area.

7.8.3 Sporting Field name signs

Advertising identifying the name and logo of the sports ground official name.

- sporting field name signs shall not exceed an area of 20 square metres;
- sporting field name signs shall not be illuminated;
- sporting field name signs shall not contain any other type of advertising; and
- there shall be no more than one sporting field name sign at each road frontage

Council Signs Permit:

- A Council signs permit is not required for complying signs.
- Non complying signage may be considered by Council following the receipt of a completed sign application, submitted by the sporting club.

Formatting

Formatting within the signs code changes in particular section 7.8, is not reflected in the attached Outdoor Advertising Signs Code. Staff are required to send out the Outdoor Advertising Signs Code for professional editing and proof reading prior to it being implemented.

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FINANCIAL IMPLICATIONS:

It is expected to cost approximately \$000.00 to implement the changed Outdoor Advertising Signs Code. This costing includes professional editing, advertising the changes - as required by the Council By-laws and the printing of the signs code booklets.

STRATEGIC PLAN IMPLICATIONS:

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

The issues addressed in this report are in accordance with the following goals/strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

Goal

1 Achieve Effective Partnerships and Engage in Collaborative Relationships

Key Strategies

1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin.

LEGAL IMPLICATIONS:

This issue is not considered confidential.

ENVIRONMENTAL IMPLICATIONS:

Not assessed.

PUBLIC RELATIONS IMPLICATIONS:

Public relation implications are not expected, as Council conducted a fairly comprehensive consultation project prior to approving the changes to the Outdoor Advertising Signs Code.

COMMUNITY SAFETY IMPLICATIONS:

Not Assessed

DELEGATION:

A delegation is sought for the Chief Executive Officer to be able to do all works necessary to implement the Outdoor Advertising Signs Code. This will include sending out the Outdoor Advertising Signs Code for professional formatting and

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editing, advertising the changes and the printing of the Outdoor Advertising Signs Code booklets.

CONSULTATION:

Consultation has been ongoing, with the amended Outdoor Advertising Signs Code at **attachment A** the final result of the Council's this process.

PROPOSED PUBLIC CONSULTATION PROCESS:

Under the Council By-laws, if the Council amends or replaces the Code, the Council must publish in a newspaper circulating in the Municipality a notice stating that the amendment or replacement has been made and including a description of the effect of the amendment. This add will be placed in Saturdays NT News this weekend.

APPROPRIATE SIGNAGE

Not applicable.

RECOMMENDATIONS:

- A. THAT Report Number 09TS0142BS:sv entitled, Outdoor Advertising Signs Code - Defined Boundaries for the Marrara Sporting Precinct, be received and noted.
- B. THAT the Outdoor Advertising Signs Code Policy at **Attachment A** to Report Number 09TS0142BS:sv, be adopted as Council Policy.
- C. THAT Darwin City Council pursuant to Section 32 (2) of the Local Government Act 2008 hereby delegates to the Chief Executive Officer, the power to do all works necessary to implement the Outdoor Advertising Signs Code policy at **Attachment A** to Report Number 09TS0142BS:sv.

PETER LINDWALL
STRATEGIC TOWN PLANNER

DROSSO LELEKIS
A/GENERAL MANAGER INFRASTRUCTURE

Any queries on this report may be directed to Brian Sellers, Planning Officer on extension 5683 or b.sellers@darwin.nt.gov.au



Title: Outdoor Advertising Signs Code
 Policy No: 236
 Responsibility: Director Technical Services

Version	Decision Number	Decision Date	History
1	18\6424	24/02/04	Adopted
2	18\6588	30/03/04	Amended
3	19\654	26/10/04	Amended
4	19\2272	16/11/05	Amended
5	19\2649	14/03/06	Amended - Section B, para 2
6	19\4456	15/05/07	Amended - new land use zones
7	19\4601	12/06/07	Reviewed

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1 INTRODUCTION

1.1 Citation of Code

This determination by Council may be cited as the Darwin City Council Outdoor Advertising Signs Code ("the Code") and is made pursuant to the Darwin City Council By-laws.

1.2 Objectives

The main objectives of the Code is to ensure that, as far as practicable, advertising signs exhibited within the municipality:

- I. are compatible with the design and character of the premises, streetscape and locality to which they are related;
- II. do not cause a loss of amenity or adversely affect the nature of built environment;
- III. do not adversely affect the safety or efficiency of a roadway or footpath;
- IV. do not cause visual clutter and disorder by the proliferation of signs in any one location and by one sign obscuring another; and
- V. do not cause offence to the general public by virtue of their design, location or message.

1.3 Requirement for a Permit

Unless an advertising sign is exempt under Clause 6 of this Code, or is a complying sign under Clause 7 of this Code, a permit is required for an advertiser to exhibit any advertising sign on or in a public area, or on or in premises in view of a public area within the municipality of Darwin.

1.4 Requirement for Other Permits

Where an advertising sign requires planning, building or structural certification under the provisions of other legislation, the onus for obtaining the necessary permits is with the applicant.

1.5 Interpretation of the Code

For the purposes of interpretation, this code is to be read together with the Dunedin City Council Bylaws.

2 USING THIS CODE

2.1 The following should be used as a guide to using this Code:

- i. decide what type (structure) of sign you are proposing to erect by reference to the definitions and diagram provided in Clause 4;
- ii. decide what type of advertising you are proposing to display by reference to the definitions provided in Clause 5;
- iii. determine which NI Planning Scheme zone or special precinct the sign is to be exhibited in. Then refer to Clause 6 (perceptual signs) and the advertising sign tables in this code to determine whether a permit is needed before the advertising sign can be exhibited;
- iv. check to determine that the advertising sign will comply with the provisions in Clause 8 (specific provisions and policies for each sign type), Clause 9 (general Council policy relating to signs on or over a public area) and the Assessment Criteria; and
- v. where a permit is required, make an application to Council.

Council encourages the inclusion of information about proposed advertising signage as part of a development application to the Development Consent Authority in order to ensure signage is integrated into the design of the premises.

3 DEFINITIONS

3.1 In this Code, unless the contrary intention appears:

Advertising sign means any form of advertising using words, letters, images, pictures, symbols, objects or illumination, which is exhibited or displayed on or in a public area or on a building or structure that is in view of a public area, for the attention of the public, and includes any structure or material used to display the advertising.

Advertiser means a person:

- I. who holds a valid permit in respect of the advertising sign issued pursuant to these By-Laws; or
- II. who authorises or causes an advertising sign to be exhibited; or
- III. whose business or place of business is advertised by the advertising sign;

and includes a person who manages and controls, or has power to manage or control, the place in which the advertising sign is exhibited.

By-Laws means the Darwin City Council By-Laws.

Code means the Darwin City Council Code for Advertising Signs Code.

Commercial zone refers to the zones CB, C, SC, IC and CM as defined in the NE Planning Scheme.

Community Zone refers to the zones CP, PS, CN, T, WM, MR, PM, U and RW as defined in the NE Planning Scheme.

Council means the Darwin City Council.

Carriageway means a portion of a road improved, designed or ordinarily used for vehicular traffic and includes the shoulders and curbs of the sides or centre of the carriageway used for the standing or parking of vehicles (including parked bays).

and, where a road has two or more portions divided by a reservation, means each portion separately.

Exempt, in relation to an advertising sign, means exempt from the requirements of obtaining a permit under this Code.

Exhibit means to erect, install, place, paint, leave or construct an advertising sign on or in a public area or on or in premises in view of a public area.

Industrial zone refers to the zones I1, I2 and I3 as defined in the NE Planning Scheme.

Organised Recreation zone refers to the zone OR as defined in the NE Planning Scheme.

Premises means the land or building that is owned or occupied by the business, community group or individual proposing to advertise.

Public area means any place within the municipality of Darwin which is a road reserve or land owned, controlled or maintained by Darwin City Council or the Northern Territory Government.

Residential Zone refers to the zones R1, R2, R3, R4, R5, R6, R7, R8, R9, R10, R11, R12, R13, R14, R15, R16, R17, R18, R19, R20, R21, R22, R23, R24, R25, R26, R27, R28, R29, R30, R31, R32, R33, R34, R35, R36, R37, R38, R39, R40, R41, R42, R43, R44, R45, R46, R47, R48, R49, R50, R51, R52, R53, R54, R55, R56, R57, R58, R59, R60, R61, R62, R63, R64, R65, R66, R67, R68, R69, R70, R71, R72, R73, R74, R75, R76, R77, R78, R79, R80, R81, R82, R83, R84, R85, R86, R87, R88, R89, R90, R91, R92, R93, R94, R95, R96, R97, R98, R99, R100 as defined in the NE Planning Scheme.

Rural Zone refers to the zones RR, AR, RRD, H and HD as defined in the NE Planning Scheme.

Sign refers to a publicly displayed board or notice inscribed with words or designs for the purposes of information, advertisement or warning.

Specific Use Zone refers to the zone SU as defined in the NE Planning Scheme.

Territory Road means a road under the Control of the Northern Territory Government.

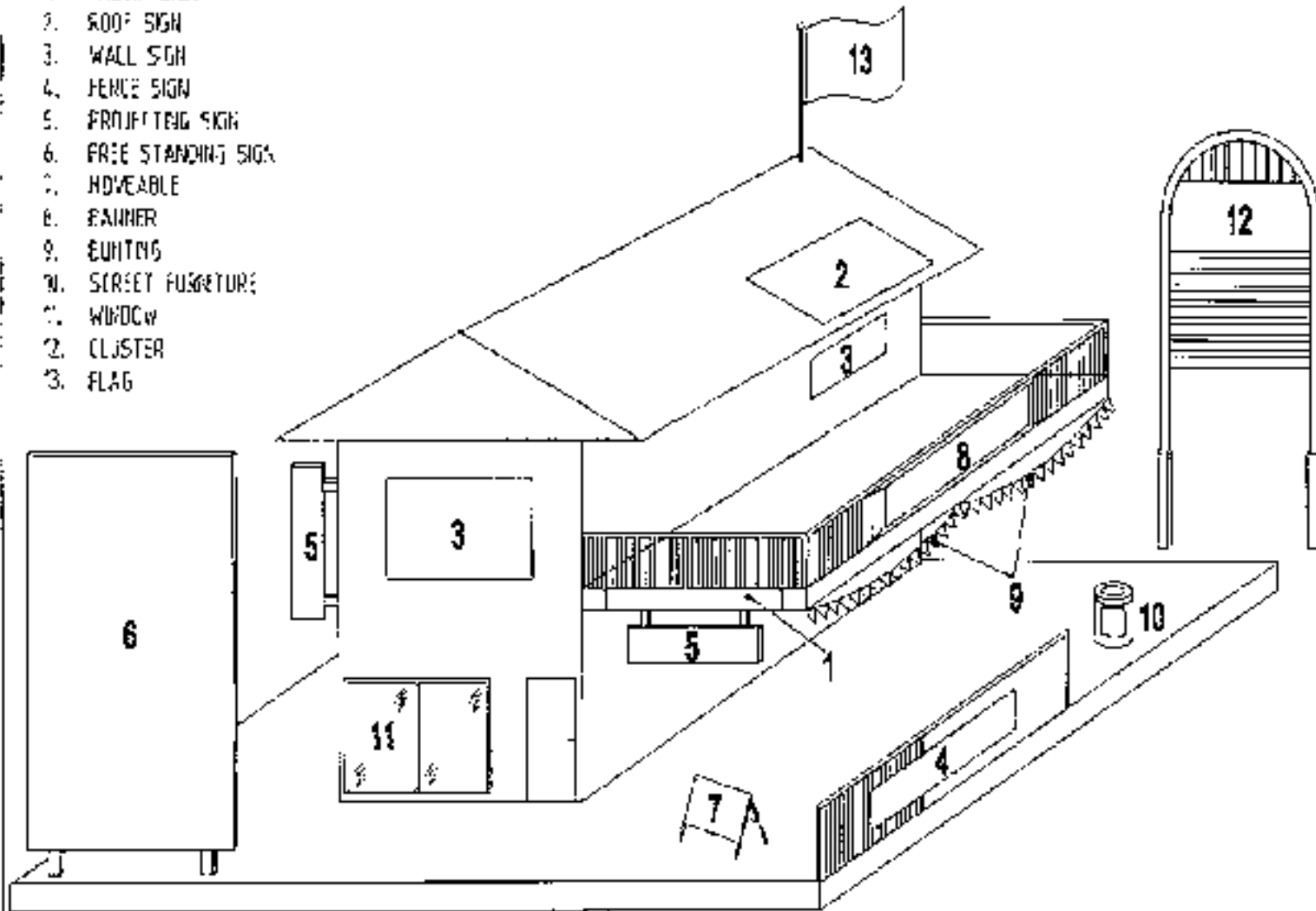
Traffic Control Device means a traffic control signal or a light, sign, mark, structure or item placed, erected or displayed for the purpose of regulating, warning or

signaling traffic, or a device using a word, symbol, coloured light or a combination of them by means of which traffic may be controlled or regulated.

Zones refers to the land use zones as defined in the NI Planning Scheme and applicable to the land on which a sign is proposed.

LEGEND

- 1. FASCIA SIGN
- 2. ROOF SIGN
- 3. WALL SIGN
- 4. FENCE SIGN
- 5. PROJECTING SIGN
- 6. FREE STANDING SIGN
- 7. MOVEABLE
- 8. BANNER
- 9. EUNTING
- 10. STREET FURNITURE
- 11. WINDOW
- 12. CLUSTER
- 13. FLAG



4 DEFINITIONS - SIGN STRUCTURE TYPES

4.1 In this Code, unless the contrary intention appears, the following types of advertising signs have the corresponding meaning:

Aerial sign means advertising signs made of inflatable devices or devices that require wind to stay aloft, being devices that are tethered to the ground or a structure and includes balloons, blimps and kites.

A-frame sign (or **Moveable sign**)

Animated sign means an advertising sign that is designed to move, flash, change its message, intensity or pattern, or which contains moving parts, whether or not any part of the sign is also illuminated.

Awning sign (or **Well** or **Fascia sign**)

Banner means an advertising sign intended for temporary display made of light non rigid material, and which is attached to a building or structure.

Blue Finger sign means an advertising sign attached to a pole or street sign and that predominantly gives directional information.

Bunting means a device which is attached to ropes or wires suspended above the ground and which are designed to draw attention by the nature of its construction, colour, movement or noise and includes streamers, pennants and wind vanes.

Cluster sign means an advertising sign structure that contains more than one sign.

Fence sign means an advertising sign attached to a fence.

Flag sign means an advertising sign displayed on cloth, canvas or synthetic material, which is hung from a vertical pole.

Free-standing sign means an advertising sign that is

- (i) self supporting and not attached to the sides of a building, well or fascia;

- (ii) is fixed to the ground;
- (iii) may be attached on a pole/s or a pylon which is not on or part of a building or other structure; and
- (iv) does not include a **Moveable sign**.

Illuminated sign means:

- I. an advertising sign illuminated by internal and/or external lights; and
- II. an advertising sign composed of light devices that do not flash, change intensity or pattern.

Monument sign refer **Free standing sign**

Moveable sign means an advertising sign intended for temporary display which is free-standing, and self-supporting, and includes **A-frame signs** and **Sandwich boards** and does not include a **Free-standing sign** or a **Real estate sign**.

Permanent sign means a sign that is lasting or intended to last indefinitely, and which is displayed or intended to be displayed indefinitely.

Pole sign refer **Free standing sign**

Projecting sign means an advertising sign attached to and projecting from a building or structure and includes:

- (i) signs attached to and supported below an awning or below a ceiling of the exterior or on internal pedestrian area; and
- (ii) signs which extend beyond or above the horizontal walls, parapet or roof of the building or structure.

Pylon sign refer **Free-standing sign**

Roof sign means an advertising sign either fixed to or painted on a roof of a building and which does not project or extend beyond the edge or face of the roof.

Sandwich board refer **Moveable sign**

Street furniture sign means an advertising sign attached to such items as public seating, plant boxes and other functional structures in public areas.

Temporary sign means a sign that lasts, exists, serves or is effective for a limited time only and/or which is intended to be displayed for a limited time only.

Under-awning sign (also **Projecting sign**)

Vehicle or trailer sign means a vehicle or trailer equipped for and used as an advertising sign, and does not include any sign on a registered commercial passenger vehicle, or a sign on a trailer which is in transit and is not stationary in any public area.

Wall or Facade sign means an advertising sign attached to or painted on a wall or facade of a building or awning (including structures attached to a building or awning) or on a structure that projects no more than 60mm from the facade of a building or structure, and which does not extend beyond the edge of the building or awning.

Window sign means an advertising sign attached to the inside or outside of a window without significantly affecting the purpose of the window.

5 DEFINITIONS - ADVERTISING TYPES

5.1 Advertising types refers to the nature and purpose of the advertising on the sign, rather than the sign structure.

Business advertising means advertising restricted to the name, and/or logo, and occupation and/or activity of the person occupying the premises in relation to which the advertising sign is erected, and, where a number of premises are carrying on different businesses in a premises, includes a sign identifying the premises.

Community and Sporting Event advertising means advertising that provides information relating to community and sporting events, and which may incorporate **sponsorship advertising** not exceeding 25% of the total area of the sign. Community events are usually free events (although this may not be the case in all events), open to all members of the public and hosted by a "not for profit" organisation (able to demonstrate a Certificate of Incorporated Association).

Election advertising means advertising erected in association with the holding of a local government, Northern Territory or Commonwealth election.

Facade advertising means advertising that provides information about the businesses, organisation activities occurring within an identifiable physical area.

Promotion advertising means advertising that provides information about the services or goods produced, provided or sold as a major activity on the premises, or information about events or activities substantially carried out on the premises.

Real estate advertising means advertising used to indicate or display real property that is available for rent, lease, sale, auction or inspection.

Security advertising means advertising that provides information about security services protecting a premises and is displayed either on a building or on a fence.

Special Event advertising means advertising that provides information about a significant event or activity (including occasional sporting and other events) as determined by the Director of Technical Services, Darwin City Council, that is generally a one off event or occurs no more than once a year, and which may

incorporate **sponsorship advertising** not exceeding 25% of the total area of the sign, and is not **Community and Sporting Event advertising** or **Election advertising**.

Sponsorship advertising means advertising identifying the name and/or logo of a person, company or organisation providing sponsorship of a **Community and Sporting Event** or activity, or a **Special Event** or activity.

Sporting Field Name Signs means advertising identifying the name and logo of the sports ground official name. Applicable to the Manurewa Sporting precinct only

Sporting Sponsorship Signage means advertising identifying the name and/or logo of a person, company or organisation providing sponsorship to a sporting club. Applicable to the Manurewa Sporting precinct only

Third party advertising means advertising that provides information about:

- i. Services and products that are not produced, provided or sold on the premises; or
- ii. Businesses, events or activities not carried out or associated with the premises.

It does not include:

- i. **Sponsorship advertising;** or
- ii. advertising on vehicles or trailers which are predominantly utilized as a mode of transport and with signage indicating services or goods produced, provided or sold as a major activity of the company or person to which or whom the vehicle is registered; or the business, events or activities substantially carried out by the company or person to which or whom the vehicle is registered.

An advertiser proposing to exhibit an advertising sign which does not appear to come within the scope of the definitions, and which is not prohibited under this Code, may apply to Council for the approval or rejection of the advertising sign on its merits and in accordance with the approval criteria set out in the Code and with general Council

policy expressed in relation to the relevant zone where the proposed advertising sign will be exhibited.

6 SIGN APPROVAL CLASSIFICATIONS

6.1 Under this Code, a proposed advertising sign will be assessed under one of the following classifications:

6.2 Exempt Signs (No permit required)

Where a sign is defined under this clause, the sign will be exempt from the requirements of this Code.

The following signs do not require a permit:

- a. regulatory signage located within the road reserve of Territory roads;
- b. a traffic control device or similar device displayed by reason of a statutory obligation imposed by a law in force in the Northern Territory;
- c. a sign displayed by reason of a statutory obligation imposed by a law in force in the Northern Territory, including signs required to be displayed under the *Planning Act 1999* and the *Signs Act*;
- d. a sign displayed by a service authority responsible for an activity, including maintenance, within a road reserve and displayed for the purposes of warning or information to the public, including NT Government Equist Information trays within the road reserve;
- e. a sign on enclosed land (including a sporting field) or within a building which is not readily visible from a public road outside the enclosure or building;
- f. a sign displayed on or inside a vehicle, other than a vehicle which is adapted and exhibited primarily as an advertising sign;
- g. a **Security advertising sign** not exceeding 0.015m² if displayed in a residential, community, special use, or recreation zone; and not exceeding 0.2m² if displayed in a business or industrial zone;

- h. a sign previously approved by the Development Consent Authority, the NT Government or the Council and which has a valid permit;
- i. a sign in place before the commencement of this Code that was exempt or did not require a permit under the Signs Code repealed by this Code at the time it was put in place;
- j. signs on land on which building work is lawfully being undertaken provided that:
 - i. the information on the sign relates to the building works being undertaken on the land;
 - ii. the sign is erected and displayed only during the period of such works; and
 - iii. no sign is no more than 4m² in area;
- k. advisory or information signs such as 'weight limit', 'grooves restricted', 'bowwow off the dog' or 'visit parking' signs provided such signs do not include any advertising material and do not exceed 0.3m² in area;
- l. the hoisting of the flag of any nation, state or municipality, culture or people;
- m. **Election Advertising Signs** provided they can:
 - i. only erected on a temporary basis not more than 6 weeks prior to an election and removed within 1 day after it, subject to any law relating to election advertising;
 - ii. at no time placed on public land (other than a designated parking place) including Council land, Northern Territory Government land and Commonwealth land;
 - iii. not placed so as to obstruct the view of vehicular and pedestrian traffic;
 - iv. have an area no greater than 1.5m²; and

- v. not illuminated or illuminated;
- n. Signs directing people to designated polling places for the purpose of an election provided the signs:
- i. are erected on a temporary basis not more than 1 day prior to an election and removed within 1 day after it, subject to any law relating to election advertising;
 - ii. are of no time placed so as to obscure the view of vehicular and/or pedestrian traffic; and
 - iii. do not include any advertising; and
- o. **Window signs** provided the signs refer to goods or services sold on the premises where the sign is located, unless the sign is likely to cause offence to members of the public;

6.3 Complying Signs (No Permit Required)

A Complying sign refers to an advertising sign that is listed as "complying" in the advertising sign tables, that complies with the relevant definition in Clauses 4 and 5, that meets the provisions set out in Clause 8 for that particular type of advertising sign and that complies with the Assessment Criteria in this Code.

6.4 Discretionary Signs (Permit Required)

A Discretionary sign refers to any sign that is not listed as exempt, complying or prohibited in the advertising sign tables in this Code, or that is not defined under this Code. Council may, in its sole discretion, issue a permit to exhibit an advertising sign that is classed as a discretionary sign.

A discretionary advertising sign is subject to:

- i. an application being made;
- ii. payment of fees;
- iii. consideration by Council and, if approved; and

iv. the issue of a permit,

A permit for a Discretionary advertising sign may be approved by Council with such conditions as are necessary for the proposed advertising sign to satisfy the objectives, criteria and considerations of this Code. Where in the opinion of Council any conditions that could be imposed on the permit for the proposed advertising sign would not be sufficient to ensure that the advertising sign would satisfy the objectives, criteria and considerations of the Code, the application for an advertising sign permit will be refused.

6.5 Prohibited

Signs and advertising identified as prohibited in this Code are not permitted to be displayed.

An application for a permit for an advertising sign that is prohibited will not be accepted or considered by Council.

6.6 Transferability of Sign Permits

Sign Permits issued under this Code shall not be transferable with a change of ownership.

6.7 Measurement of Signs

Where the extent of a sign are not clear for the purpose of measurement, the following shall be adopted:

Length - 500mm plus the distance between the commencement of the following or symbol and the termination of the following or symbol

Width - 500mm plus the distance from the lowest point of the following or symbol to the highest point of the following or symbol

Area (m²) = length (m) x width (m)

6.8 Changes to Existing Signs

Any changes to an existing sign shall be subject to the provisions of this Code.

7 SIGN CONTROLS

7.1 Residential Zones: SD, MD, MR, HR and CL

Advertising signs within residential zones should be discrete and of small scale in order to be sympathetic to the residential character of the area. Advertising signs should be directed towards the street, rather than towards adjacent residential properties.

Refer to the controls in the following table.



Residential Zones: SD, MD, MR, HR and CL

ADVERTISING AND SIGN TYPES	CONTROLS
Exempt (No Permit Required)	
Any sign listed as "exempt" in Clause B.	<ul style="list-style-type: none"> ▪ All relevant controls listed in Clause G.
Complying (No Permit Required)	
Business Advertising Fence Sign Free Standing Sign Wall or Fascia Sign	<ul style="list-style-type: none"> ▪ No sign to exceed an area of 0.9m² in zones SD and MD ▪ No sign to exceed an area of 2m² in zones MR, HR and CL ▪ No part of any sign to exceed a height of 3m above ground level ▪ No more than one Permanent Advertising Sign per premises ▪ No more than one Temporary Advertising Sign per premises ▪ No part of any sign to be on or over public land
Discretionary (Permit Required)	
<ul style="list-style-type: none"> ▪ Any sign listed as "complying" and which exceeds the maximum size in this table or which does not comply with the specific requirements for that type of sign in Clauses 8 and 9 of this Code; or ▪ Any sign not defined as either complying or prohibited in this table; or ▪ Any sign not defined as exempt in this Code; or ▪ Any sign not defined in this Code 	
Prohibited	
Aerial Sign Animated Sign Illuminated Sign Movable Sign Precinct Cluster Sign Roof Sign Street Furniture Advertising Third Party Advertising Vehicle or Trailer Sign	<ul style="list-style-type: none"> ▪ No sign permit will be issued for any sign or advertising within this category

Note:

1. Where a sign falls into two or more categories, the controls of the more stringent classification apply.
2. Where a sign is proposed to be constructed on or over public land, the provisions of Clause 8 apply.

7.2 Commercial Zones: CB, C, SC, TC and CV

Identification of the business should be the prime objective for signage, rather than promotional advertising. Where there is more than one business per building, a single sign that identifies the building and the various tenants is preferred to multiple signs.

Refer to the controls in the following table.

Commercial Zones: CB, C, SC, TC and CV

ADVERTISING AND SIGN TYPES	CONTROLS
Exempt (No Permit Required)	
Any sign listed as "exempt" in Clause 6.	All relevant controls listed in Clause 6.
Complying (No Permit Required)	
Business Advertising Fence Sign Free-standing Sign Illuminated Sign Projecting Sign Promotion Advertising Wall or Facade Sign Movable Sign	<ul style="list-style-type: none"> • No Business Advertising Sign to exceed an area of 4m² • No Promotion Advertising Sign to exceed an area of 2m² • No more than one Permanent Advertising Sign per premises • No more than one Temporary Advertising Sign per premises • No part of any sign to exceed a height of 7m above ground level • No part of any sign to be on or over public land
Discretionary (Permit Required)	
<ul style="list-style-type: none"> • Any sign listed as "complying" and which exceeds the maximum size in this table or which does not comply with the specific requirements for that type of sign in Clauses 8 and 9 of this Code; or • Any sign not defined as either complying or prohibited in this table; or • Any sign not defined as exempt in this Code; or • Any sign not defined in this Code. 	
Prohibited	
Third Party Advertising Movable Signs Vehicle or Trailer Sign	<ul style="list-style-type: none"> • No sign permit will be issued for any sign or advertising within this category. • No sign permit will be issued within the mall for businesses that do not have direct frontage at ground level.

Note:

1. Where a sign falls into two or more categories, the controls of the more stringent classification apply.
2. Where a sign is proposed to be constructed on or over public land, the provisions of Clause 9 apply.

7.3 Industrial Zones: LI, GI and DV.

Identifiability of the business should be the prime objective for signage, rather than promotional advertising. In the case of an industrial village or where there is more than one business per premises, a single sign that identifies the complex and the various functions is preferred to multiple signs.

Where premises front an arterial road, the number of advertising signs should be minimised to reduce visual confusion when viewed from the road.

Refer to the controls in the following table.

Industrial Zones: LI, GI and DV.

ADVERTISING AND SIGN TYPES	CONTROLS
Exempt (No Permit Required)	
Any sign listed as "exempt" in Clause 6.	<ul style="list-style-type: none"> • All relevant controls listed in Clause 6.
Complying (No Permit Required)	
Business Advertising Fence Sign Illuminated Sign Free-standing Sign Projecting Sign Promotion Advertising Wall or Facade Sign Movable Sign	<ul style="list-style-type: none"> • No Business Advertising Sign to exceed an area of 6m² • No Promotion Advertising Sign to exceed an area of 2m² • No more than 1 Permanent Advertising Sign per premises • No more than 1 Temporary Advertising Sign per premises • No part of any sign to exceed a height of 7m above ground level • No part of any sign to be on or over public land
Discretionary (Permit Required)	
<ul style="list-style-type: none"> • Any sign listed as "complying" and which exceeds the maximum size in the table or which does not comply with the specific requirements for that type of sign in Clauses 8 and 9 of this Code; or • Any sign not defined as either complying or prohibited in this table; or • Any sign not defined as exempt in this Code; or • Any sign not defined in this Code. 	
Prohibited	
Third Party Advertising Vehicular Trailer Sign	<ul style="list-style-type: none"> • No sign permit will be issued for any sign or advertising within this category

Note:

1. Where a sign falls into two or more categories, the controls of the more stringent classification apply.
2. Where a sign is proposed to be constructed on or over public land, the provisions of Clause 9 apply.

7.4 Community Zones: CP, PS, CN, T, WM, MR, PM, U and RW.

Advertising signs in community zones should be limited to that necessary to identify the use of the land and be sized so as to minimise their impact on the locality.

Refer to the controls in the following tables.

Community Zones: CP, PS, CN, T, WM, MR, PM, U and RW.

ADVERTISING AND SIGN TYPES	CONTROLS
Exempt (No Permit Required)	
Any sign listed as "exempt" in Clause 6.	<ul style="list-style-type: none"> • All relevant controls listed in Clause 6.
Complying (No Permit Required)	
Business Advertising Community and Sporting Event Advertising Fence Sign Free-standing Sign Projecting Sign Promotion Advertising Wall or Fascade Sign	<ul style="list-style-type: none"> • No Business Advertising Sign to exceed an area of 2m². • No Community and Sporting Event Advertising Sign to exceed an area of 2m². • No Promotion Advertising Sign to exceed an area of 1m². • No more than one Permanent Advertising Sign per premises. • No more than one Temporary Advertising Sign per premises. • No part of any sign to exceed a height of 3m above ground level. • No part of any sign to be on or over public land.
Discretionary (Permit Required)	
<ul style="list-style-type: none"> • Any sign listed as "complying" and which exceeds the maximum size in this table or which does not comply with the specific requirements for that type of sign in Clauses 8 and 9 of the Code; or • Any sign not defined as either complying or prohibited in this table; or • Any sign not defined as exempt in this Code; or • Any Sign not defined in this Code. 	
Prohibited	
Aerial Sign Animated Sign Moveable Sign Third Party Advertising Vehicle or Trailer Sign	<ul style="list-style-type: none"> • No sign permit will be issued for any sign or advertising within this category.

Note:

1. Where a sign falls into two or more categories, the controls of the more stringent classification apply.
2. Where a sign is proposed to be constructed on or over public land, the provisions of Clause 9 apply.

7.5 Organised Recreation Zone: OR

Advertising signs in the organised recreation zone should be limited to that necessary to identify the use of the land and be sited so as to minimise their impact on the locality.

Refer to section 7.8 for sign controls within the Murrumbidgee Spending Protocol.

Refer to the controls in the following table.



Organised Recreation Zone: OR

ADVERTISING AND SIGN TYPES	CONTROLS
Exempt (No Permit Required)	
Any sign listed as "exempt" in Clause 6.	<ul style="list-style-type: none"> • All relevant controls listed in Clause 8
Complying (No Permit Required)	
Community and Sporting Event Advertising Fence Sign Free-standing Sign Projecting Sign Sponsorship Advertising Wall or Fascia Sign	<ul style="list-style-type: none"> • No Community and Sporting Event Sign to exceed an area of 4m² • No Sponsorship Advertising Sign to exceed an area of 1m² • No more than two Community and Sporting Event Signs per premises • No more than one Sponsorship Advertising Sign per premises • No part of any sign to exceed a height of 2m above ground level • No part of any sign to be on or over public land
Discretionary (Permit Required)	
<ul style="list-style-type: none"> • Any sign listed as "complying" and which exceeds the maximum size in this table or which does not comply with the specific requirements for that type of sign in Clauses 8 and 9 of this Code, or • Any sign not defined as either complying or prohibited in this table, or • Any sign not defined as exempt in this Code; or • Any sign not defined in this Code 	
Prohibited	
Aerial Sign Animated Sign Movable Sign Third Party Advertising Vehicle or Trailer Sign	(No sign permit will be issued for any sign or advertising within this category)

Note:

1. Where a sign falls into two or more categories, the controls of the more stringent classification apply.
2. Where a sign is proposed to be constructed on or over public land, the provisions of Clause 9 apply.

7.6 Rural Zones: RR, A.R.L., R.R.D., H and PD

Advertising signs within these zones should be limited to that necessary to identify the use of the land and be designed and sited to minimise their impact on the locality.

Refer to the controls in the following table.



Rural Zones: RR, A, RL, R, RD, H and FD

ADVERTISING AND SIGN TYPES	CONTROLS
Exempt (No Permit Required)	
Any sign listed as "exempt" in Clause 6	<ul style="list-style-type: none"> • All relevant controls listed in Clause 6.
Complying (No Permit Required)	
Business Advertising	<ul style="list-style-type: none"> • No Business Advertising Sign to exceed an area of 4m²
Fence Sign	<ul style="list-style-type: none"> • No Promotion Advertising Sign to exceed an area of 2m²
Free standing Sign	<ul style="list-style-type: none"> • No more than one Permanent Advertising Signs per premises
Projecting Sign	<ul style="list-style-type: none"> • No more than one Temporary Advertising Signs per premises
Promotion Advertising	<ul style="list-style-type: none"> • No part of any sign to exceed a height of 3m above ground level
Wall or Facade Sign	<ul style="list-style-type: none"> • No part of any sign to be on or over public land
Discretionary (Permit Required)	
<ul style="list-style-type: none"> • Any sign listed as "complying" and which exceeds the maximum size in this table or which does not comply with the specific requirements for that type of sign in Clauses 4 and 6 of this Code; or • Any sign not defined as either complying or prohibited in this table; or • Any sign not defined as exempt in this Code; or • Any sign not defined in this Code 	
Prohibited	
Aerial Sign	<ul style="list-style-type: none"> • No sign permit will be issued for any sign or advertising within this category
Animated Sign	
Movable Sign	
Street Furniture Advertising	
Third Party Advertising	
Vehicle or Trailer Sign	

Note:

1. Where a sign falls into two or more categories, the controls of the more stringent classification apply.
2. Where the sign is proposed to be constructed on or over public land, the provisions of Clause 9 apply.

7.7 Specific Use Zone: SU

Advertising signs in this zone should be consistent with the specific land use and should be designed and sited to minimise their impact on adjoining areas.

Refer to the controls in the following table.

Specific Use Zone: SU

ADVERTISING AND SIGN TYPES	CONTROLS
Exempt (No Permit Required)	
Any sign listed as "exempt" under Clause 6.	<ul style="list-style-type: none"> All relevant controls listed in Clause 6.
Complying (No Permit Required)	
Business Advertising Fence Sign Wall or Frieze Sign	<ul style="list-style-type: none"> No Business Advertising Sign to exceed an area of 2m² No more than one Permanent Advertising Sign per premises No more than one Temporary Advertising Sign per premises No part of any sign to exceed a height of 3m above ground level No part of any sign to be on or over public land
Discretionary (Permit Required)	
<ul style="list-style-type: none"> Any sign listed as "complying" and which exceeds the maximum size in this table or which does not comply with the specific requirements for that type of sign in Clauses 8 and 9 of this Code; or Any sign not defined as either complying or prohibited in this table; or Any sign not defined as exempt in this Code; or Any Sign not defined in this Code 	
Prohibited	
Aerial Sign Animated Sign Street Furniture Advertising Third Party Advertising Vehicle or Trailer Sign	<ul style="list-style-type: none"> No sign permit will be issued for any sign or advertising within this category

Note:

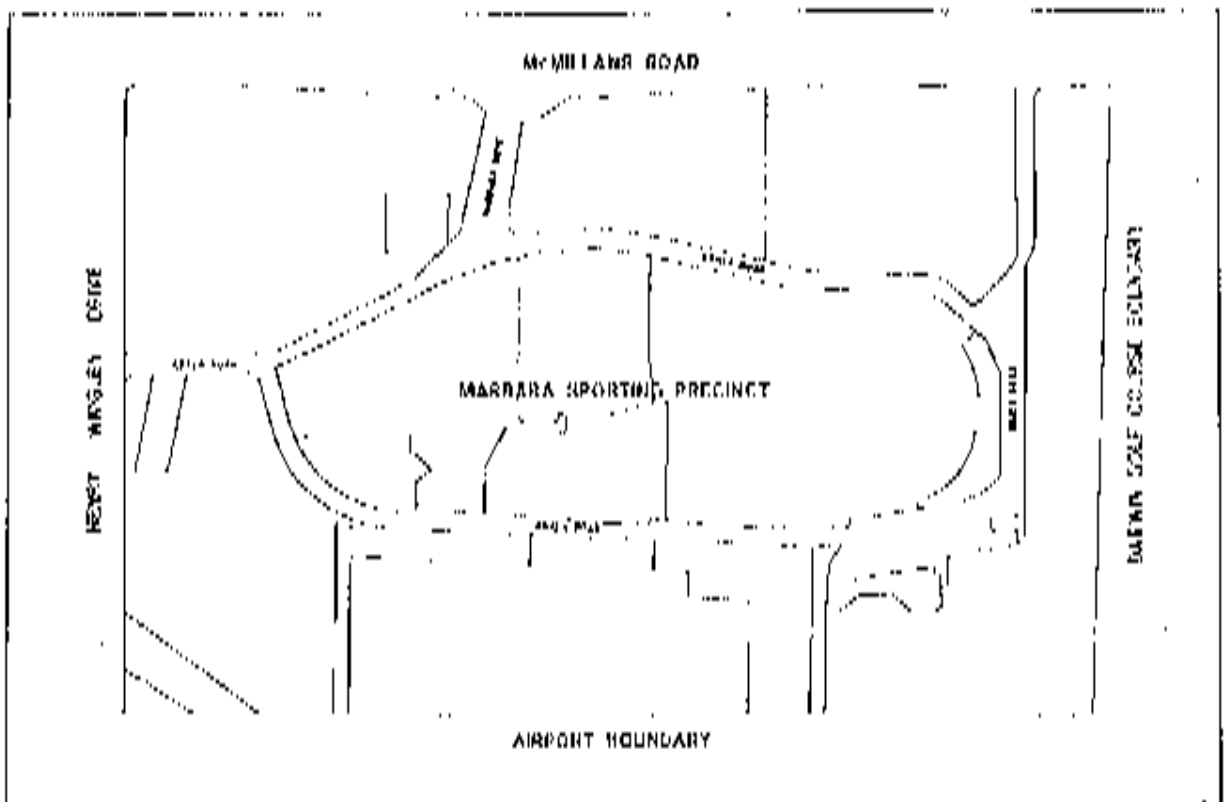
- Where a sign falls into two or more categories, the controls of the more stringent classification apply.
- Where a sign is proposed to be constructed on or over public land, the provisions of Clause 9 apply.

7.8 Marrara Sporting Precinct

The following controls within this clause are specific to the Marrara Sporting Precinct and override any other specific or implied controls stated in this code. All other controls contained within the code are applicable.

7.9 Precinct Definitions

The Marrara Sporting Precinct consist of the sporting fields bounded by McMillan Road, Henry Wrigley Drive, the Darwin Airport northern boundary and the eastern boundary of the Darwin golf course.



7.10 Specific Sign Controls

Sporting sponsorship signs facing a public area:

- i. no sporting sponsorship sign shall exceed an area of 9 square metres;
- ii. no sporting sponsorship sign shall be illuminated; and
- iii. it is prohibited to place a sporting sponsorship sign on or over a public area.

Free-standing sporting sponsorship signs shall:

- i. be double sided with the same sponsor displayed on each side of the sign;
- ii. display only one sponsor per sign;
- iii. be no higher than 3.5 metres from finished ground level;
- iv. be displayed at a rate not greater than one sign per 50 metres of road frontage, with no spaces spacing between the signs; and
- v. be no closer than ten metres from the sporting organisation's property boundary.

General sporting sponsorship signs shall:

- i. be no higher than seven metres from finished ground level; and
- ii. display only one sponsor per sign.

Sporting sponsorship signs not facing a public area

- i. for sporting sponsorship signs facing away from a public area there is no limit on the number or size of sporting sponsorship signs provided they generally face inwards towards the sporting ground and are not easily viewable from the surrounding public area.
- ii. all sporting sponsorship signs facing away from a public area shall have an alternative banking that does not detract from the amenity of the area.

7.11 Sporting Field name signs

Advertising (identifying) the name and logo of the sports ground official name

- i. sporting field name signs shall not exceed an area of 20 square metres;
- ii. sporting field name signs shall not be illuminated;
- iii. sporting field name signs shall not contain any other type of advertising; and
- iv. there shall be no more than one sporting field name sign at each road frontage.

Council Signs Permit:

A Council signs permit is not required for complying signs.

New complying signage may be considered by Council following the receipt of a completed sign application, submitted by the sporting club.

8 SPECIFIC PROVISIONS: TEMPORARY SIGNS

8.1 Unless stated elsewhere in the Code, a temporary sign will not be permitted to be displayed for longer than six weeks at a time and for no more than four times per year.

8.2 Aerial Signs

Aerial signs, including balloons, blimps and kites may only be displayed for promotional reasons on a temporary basis.

The maximum duration for the display of an aerial sign is two weeks, and no more than four permits a year for a display from any one premises will be granted.

8.3 Animated Signs

Flashing lights in commercial signs are prohibited if they are likely to cause a distraction to drivers.

Chasing lights, where lights follow in a repetitive pattern, may be permitted within commercial zones, but are prohibited if they are likely to cause a distraction or nuisance to drivers, the general public, or residents.

Bright lights are prohibited if they are likely to cause a distraction to drivers and may be confused with traffic control devices. Bright lights will not be permitted within, or adjacent to, residential zones.

8.4 Banners

Banners may only be displayed for promotional reasons on a temporary basis.

The maximum duration for the display of a banner is two weeks, and no more than four permits a year for a display from any one premises will be granted.

8.5 Bunting

Permanent bunting is prohibited within close proximity to a residential zone. Temporary bunting may be permitted in residential zones for special promotions (such as new housing and land developments).

Bunting may be permitted within business and industrial zones where the premises maintain an open appearance.

Bunting is prohibited under awnings that extend over Council-controlled roads or reserves.

8.6 Flag Signs

A flag sign may not exceed a total area of 2m².

No more than three flag signs per premises may be displayed without consent.

8.7 Free-Standing Sign

Only one temporary free-standing (advertising) sign per premises will be permitted.

Where there are multiple tenants on a site, in a shop or business is located within an arcade or within an industrial park, then a sign should advertise all tenants.

8.8 Moveable Signs

All moveable signs on public land require a permit.

Only one moveable sign per premises will be permitted (whether the sign is on private land or on public land).

When displayed in a commercial zone the height of a moveable sign should not exceed 1.2 metres above ground level (including supporting legs), and should not be wider than 0.8 metres and should not exceed 1m² in area.

When displayed in industrial zones the height of a moveable sign should not exceed 1.8 metres above ground level (including supporting legs), and should not be wider than 1.2 metres.

Moveable signs must be placed so as not to enclose or hazard to pedestrians or vehicles. A clear pedestrian path with a minimum width of 2 metres must be able to be maintained adjacent any moveable sign to ensure pedestrian safety.

The sign is to be displayed during business hours only and is not to be used for the display of merchandise.

8.8 Special Event Advertising

Signs are to be displayed no more than two weeks prior to the event and to be removed within one day after the event concludes.

8.9 Vehicle and Trailer Signs

Vehicle and Trailer signs are prohibited in all zones.

9 SPECIFIC PROVISIONS: SIGNS ON OR OVER A PUBLIC AREA

- 9.1 A permit to exhibit an advertising sign on, in or over a public area will not be issued until the applicant has agreed in writing to indemnify the Council for any loss or damage caused by the sign.
- 9.2 The Council will not issue a permit to exhibit a permanent advertising sign on a Northern Territory Road unless it is in possession of written consent from the Northern Territory Government authorising the applicant to exhibit the advertising sign.
- 9.3 Sign posters are prohibited on all Government and Northern Territory Government roads.

9.4 Blue Finger Signs

Maximum three blue finger signs will be permitted per street pole and no more than two signs will be permitted to direct motorists to the site in question.

A Blue Finger sign may not exceed an area of 0.15m².

A Blue Finger sign may be displayed to:

- I. residential community facilities such as pools or libraries;
- II. direct motorists to a facility which may occur along the frontage, or
- III. direct motorists to sporting fields / sporting venues / entertainment venues or other community facilities, major shopping centres, industrial, commercial or business centres, particularly when their location is off a main road.

A Blue Finger sign must be designed and constructed in accordance with the relevant Australian Standards.

9.5 Moveable Signs on Public Land

Moveable signs will only be permitted on public land in business and industrial zones and only for temporary display.

Movable signs are prohibited within the Mall for businesses that do not have direct frontage of ground level.

The sign must be located directly outside the premises in question and not across the road or on a median strip or in any other position so as to obstruct, clutter or interfere with street landscaping, furniture or artwork.

Movable signs must be placed so as not to cause a hazard to pedestrians or vehicles. A clear pedestrian path with a minimum width of 2 metres must be able to be maintained adjacent any movable sign to ensure pedestrian safety.

The sign is to be displayed during business hours only and is not to be used for the display of merchandise.

Refer to Clause 8.8 for further controls on movable signs.

9.6 Permanent Signs on Public Land

Permanent signs on public land (other than on a carriageway) will only be approved under special circumstances in business and industrial zones.

Refer to the provisions of Clause 8 and Clause 10 for further controls on permanent signs.

No permanent signs will be permitted in Territory Road reserves, with the exception of Precinct Cluster Signs.

9.7 Precinct Cluster Signs on Public Land

Precinct advertising is supported where it is proposed to replace numerous individual business and professional signs with a single cluster sign.

Precinct advertising will be approved only in circumstances where the businesses, organisations or activities that are to be advertised are not readily visible from the road.

Precinct cluster signs will only be approved where there is an identified need for a unified approach to advertising for a particular precinct.

Information displayed on a precinct cluster sign shall be limited to the name and activities of premises within the designated precinct.

The sign shall be of a scale and size appropriate to the location.

Wordings on the sign shall be of a size suitable to be easily viewed by passing traffic without requiring vehicles to slow down to read the message.

This sign shall not interfere with the general function of the road or cause impediment to sight distances for motorists. Appropriate setbacks from the curb will be determined after a site inspection by Council officers.

Precinct cluster signs are prohibited in residential zones.

9.8 Projecting Signs

A projecting sign that overhangs a road is prohibited in a residential zone.

Projecting signs overhanging public land must have a minimum clearance of 2.7 metres above ground level (or a footpath).

9.9 Real Estate Signs

Temporary one-line/upon for inspection signs will be permitted on roads if:

- i. they are displayed only during the listing, this premises can open for inspection or in the case of an auction sign, only during the auction;
- ii. they are not placed on median strips in the middle of the road or the roadway;
- iii. they are not placed so as to impede pedestrian or traffic flow; and
- iv. they are not placed so as to obscure a driver's view.

Real Estate signs will be permitted on fence lines if:

- i. the sign does not exceed 2.5m² per residential premises;

- ii. the sign does not exceed 4.5m² for a new residential development comprising four or more units, advertising the sale of all the units;
- iii. the sign does not exceed 4.5m² in industrial and recreational zones;
- iv. there is only one sign per business per street frontage; and
- v. the sign/s are removed within 1 day after the sale (settlement) or lease of the property.

9.10 Street Furniture Advertising

Advertising on street furniture such as seating, planter boxes, traffic control cabinets and the like will only be considered within business and industrial zones.

An application for street furniture advertising will be considered by Council, having regard to:

- i. the quality and size of the proposed sign;
- ii. the compatibility with other signage in the locality; and
- iii. the proximity to the business in question.

It is unlikely Council will issue a permit for a sign of this type where a valid permit already exists allowing a comparable sign to advertise the same business in the general area.

10 ASSESSMENT CRITERIA: SPECIFIC SIGN TYPES

10.1 When considering an application for a permit to exhibit an advertising sign under this Code, Council shall have regard to all of the following:

- i. the relevant zoning in the Northern Territory Planning Scheme;
- ii. the public interest;
- iii. The provisions of this Code;

10.2 Council will only issue a permit for an advertising sign if:

- a. the advertising sign causes no significant obstruction of, or distraction to, vehicular or pedestrian traffic; and
- b. an advertising sign is not to obscure a pedestrian's view of traffic, or a motorist's or cyclist's view of parkings and other traffic, or the road ahead; and
- c. an advertising sign is not to be distracting to drivers in close proximity to intersections, traffic signals, vehicle merging and weaving situations; and
- d. advertising signs are not to be designed so as to be confused with a traffic control device; and
- e. where there are a number of kinds of signs involved, advertising signs are co-ordinated and complementary to one another; and
- f. the dimensions of the advertising sign bear a reasonable relationship to the dimensions of surrounding buildings and structures so that:
 - i. its presence is not unduly dominating or oppressive; and
 - ii. it does not unreasonably obstruct existing views; and
- g. the advertising sign is consistent in colour and appearance, with buildings and natural features of the environment in which it is to be situated; and

- h. the number of advertising signs per premises is minimised to avoid visual clutter and to avoid one sign obscuring another; and
 - i. the advertising sign is in other respects consistent with the character and values of the environment in which it is to be displayed; and
 - j. the advertising sign shall be constructed of durable materials and maintained in good condition at all times;
 - k. the advertising sign shall be designed so that structural supports are either concealed from public view or are of minimal visual impact;
 - l. the advertising sign does not cause offence to the general public by virtue of the design, message or location; and
- iii. The approval is consistent with this Code and the By-Laws.

10.3 **Animated and Illuminated Signs within and/or visible from NT Government Road Reserve**

Placement of animated advertising signs (including variable message boards) will not be permitted either within view of or in NT Government road reserves except for traffic control measures or road safety messages.

10.4 **Cluster Signs**

No more than one cluster sign will be permitted per premises.

10.5 **Free-standing Signs**

No more than one free-standing sign will be permitted per premises.

Free-standing signs shall not exceed a height of 2 metres.

10.6 **Illuminated Signs**

No more than one permanent illuminated sign per premises within business, industrial and organised recreation zones will be permitted without consent.

illumination from or upon any sign shall be shielded, shielded, directed or otherwise so as to avoid undue brightness or disturbance to traffic, the general public, and residents, and to prevent glare or reflection of light on private or public property in the surrounding areas. Undue brightness or illumination in excess of that which is unreasonably necessary to make the sign visible to the average person on an adjacent street.

10.7 Projecting Signs

No more than one permanent projecting sign will be permitted per premises.

Projecting signs shall:

- I. have a clearance of at least 2.7m from ground level;
- II. not exceed a height of 2m above ground level; and
- III. not extend past the edge of any curbing adjacent to a road.

A projecting sign must be positioned and designed in such a manner that is compatible with the architecture of the building to which it is attached.

10.8 Wall or Fascia Signs

No more than one wall or fascia sign will be permitted per premises within residential and retail zones.

Wall or fascia signs should be limited to one facade of a building, except where the building has dual street frontages.

No Wall or Fascia sign will be permitted to exceed 25% of the area of the wall or fascia upon which it is displayed without consent.

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Community Consultation Report

Proposed Amendments to the Outdoor Advertising Signs Code at Marrara Sporting Precinct

for Darwin City Council, September 2008

Prepared by Creative Territory Pty Ltd
26 September 2008



HE IMAGE AND REPRESENTATION

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Executive Summary

For some years a number of the sporting groups within the Marrara Sporting Precinct have raised concerns with Darwin City Council regarding the current Outdoor Advertising Signs Code suggesting that it limits their opportunities to raise sponsorship and places increased burden on an already-stretched volunteer base.

This matter has been discussed several times by the Council and remains unresolved due to concerns that changes in the current Signs Code will result in "visual pollution" and that any reduction in controls in the Marrara area will ultimately lead to signage changes across the greater area of Darwin and a revenue raising advantage to those clubs in the Marrara Sporting Precinct.

In January 2007, a petition was received by the Council from a group of residents overlooking the Marrara Sporting Precinct. This petition represented five dwellings in the area and opposed any changes to the Signs Code in the Marrara Sporting Precinct.

In May 2008, the Council resolved that Lord Mayor Graham Sawyer undertake consultation with the user groups in the area regarding this matter and that a further report be presented to Council for further consideration.

Creative Territory was contracted by Council to assist the Lord Mayor in this community consultation process.

The community consultation process has been carried out over a three month period and includes communication with sporting and community groups within the Precinct, drafting of proposed amendments to the signs code, distribution of a discussion paper to the local community and public information on the matter via the Internet and general media.

The discussion paper clearly outlined that the proposed amendments were only being considered for the Marrara Sporting Precinct due to this precinct being specifically designed for sporting and community activities, the absence of residential activity within the Precinct and the overall reduced speed of traffic in the zone.

More than 140 stakeholders have been directly contacted through this process and invited to respond to the proposed changes.

At the close of the response period, 12% of recipients had responded, with 88% of the respondents supporting the proposed changes and 12% of the respondents opposing the proposed amendments.

Major Findings

- Only one resident in the area expressed opposition to proposed amendments to the signs code.
- One Darwin City Council Aldermen expressed opposition to the proposed amendments as part of the process.
- A number of other Aldermen requested extra information about the proposed amendments.
- The response rate to this survey was relatively low, suggesting a lack of concern about the issue, particularly from residents.
- The community demonstrated concern for the well being of local sporting and community associations.
- Residential, sporting and community associations expressed an interest in the Council exploring other activities, not directly applicable to the Signs Code, which will assist sporting and community groups in the Marrara Sporting Precinct promote their clubs and acknowledge sponsor support, such as electronic entrance signs.

Marrara Sporting Precinct

The Murrara Sporting Precinct was established by the Northern Territory Government as a specific location for sporting and community activities within the boundary of McMillans Road, Henry Wigley Drive and Dante Road, Marrara.

Sports venues include:

- the Murrara Oval, currently known as TD Stadium, home to the AFL NT and venue of international sporting and entertainment events;
- the Murrara Indoor Stadium;
- the Darwin Football Stadium;
- the Anafura Stadium, with floodlit facilities for track and field including an international standard synthetic running track;
- an international standard hockey stadium;
- an air conditioned basketball stadium; and
- dedicated grounds for rugby union, cricket, BMX racing and clay target shooting.

Future development of the precinct will also include a netball centre due to open in the coming months.

Actual sporting and community associations based in the Precinct include:

- NT Rugby Union
- South Darwin Sporting League
- The Italian Club
- Northern Territory Cricket Association
- Plat Club
- Darwin Clay Target Club
- Jingili BMX Club
- Darwin City Brass Band
- Wanderers Football Club
- St. Mary's Football Club
- Darwin Basketball Association
- AFL NT
- NT Athletics

- Basketball NT
- Gymnastics NT
- NT Table Tennis
- Marrara Judo Club
- Boxing NT
- Football Federation Northern Territory

While many of the facilities are of a very high standard, many of the sporting groups operate on limited budgets as voluntary, not for profit community organisations. Few of the sporting associations in the Precinct have paid management or development staff and all are highly dependent on sponsorship and the support of the broader business and philanthropic community to enable them to exist.

More than 22,000 participants, not including parents, patrons or supporters, are active in the sports at Marrara. This will increase even further as new facilities such as the Netball Centre open.

It is generally agreed that sporting activities play a significant role in the social and cultural well-being of any community. Sporting activities provide an opportunity for junior development and training and encourage community engagement through participation as players or spectators.

The Marrara Sporting Precinct provides a valuable community asset to the entire Northern Territory. The facility is used by many sporting bodies for peak activities, premier competitions and demonstrations as well as for visiting sporting events.

Community Consultation Process

Stage One:

- Consultation with key stakeholders including NT Rugby Union to ascertain key contracts and commitments.
- Creative Territory invited all sporting and community association in the Marrara Sporting precinct to a meeting with the Lord Mayor on 21 July to discuss their concerns regarding signage in the Marrara Sporting precinct and provide input into the consultation process.

Stage Two:

- Creative Territory developed a Discussion Paper outlining proposed amendments for the Marrara Sporting Precinct.
- The proposed amendments were formulated by the Technical Services Department of Council and based on a minimum standard of signage control defined by the existing sign exhibited at Northern Territory Rugby Union.
- The first draft of the Discussion Paper was distributed to the sporting and community groups for their feedbacks before the document was finalised and distributed to the wider community.

Stage Three:

- The Discussion Paper, covering letter and response form were sent or hand delivered to residents and home owners in the surrounding suburban area (approximately 112 recipients) and sporting and community groups located in the Marrara Sporting Precinct on Thursday, 11 September and Friday, 12 September.
- Recipients were given until 24 September – just under two weeks – to respond.
- A media release announcing the community consultation by the Lord Mayor (attached as appendix E) was issued on Monday, 15 September.

- Discussion papers were also sent to the local MIA, all Darwin City Council Aldermen, the Department of Sport and Recreation and Department of Planning and Infrastructure.
- Media coverage regarding the consultation included: a news article in the NT News and radio coverage on Territory FM on Tuesday, 23 September, and a supporting editorial comment in the NT News on 24 September.

Stage Four:

- The response phase to the Discussion paper closed on Wednesday, 24 September.
- In total 17 responses were received.

Proposed Amendments

The Discussion Paper proposed that two new sign definitions be incorporated into the Darwin City Council Outdoor Advertising Signs Code with regards to the Murrara Sporting Precinct to enable organisations to develop stronger sponsorship opportunities for their organisations through signage.

The two new sign definitions would be Sporting Sponsorship Signage and Sporting Field Name Signs, each respectively with the following controls:

Sporting Sponsorship Signage

Advertising identifying the name and/or logo of a person, company or organisation providing sponsorship to a sporting club in the Murrara Sporting Precinct.

Content:

For Sporting Sponsorship Signs facing away from a public area there is no limit on the number or size of Sporting Sponsorship Signs provided they generally face inwards towards the sporting ground and are not readily viewable from the surrounding public area.

All Sporting Sponsorship Signs facing away from a public area shall have an attractive backing that does not detract from the amenity of the area.

For Sporting Sponsorship Signs facing a public area;

- no Sporting Sponsorship Sign shall exceed an area of one square metres;
- no Sporting Sponsorship Sign shall be illuminated; and
- it is prohibited to place a Sporting Sponsorship Sign on or over a public area.

Free-standing Sporting Sponsorship Signs shall;

- be double sided with the same sponsor displayed on each side of the sign;
- display only one sponsor per sign;
- be no higher than 3.5 metres from finished ground level;
- be displayed at a rate not greater than one sign per 50 metres of road frontage, with no specific spacing between the signs; and
- be no closer than ten metres from the sporting organisation's property boundary.

General Sporting Sponsorship Signs shall,

- be no higher than seven metres from finished ground level; and
- display only one sponsor per sign.

Sporting Field Name Signs

Advertising identifying the name and logo of the sports ground official name.

Controls

- Sporting Field Name Signs shall not exceed an area of 20 square metres;
- Sporting Field Name Signs shall not be illuminated;
- Sporting Field Name Signs shall not contain any other type of advertising; and
- there shall be no more than one Sporting Field Name Sign per road frontage

The Discussion paper also outlined Council's interest in assisting the sporting organisations in the Marrara Sporting Precinct through a number of other activities not directly applicable to the Sign Code, including the establishment of an electronic "Entrance Sign" displaying the names of the sporting groups in the precinct, their major sponsor and upcoming events, and invites the community to share their views on this.

Feedback

Recipients	Papers Distributed	Responses Received	Support	Opposed
Sporting/Community	19	10	10	
Residential/Owner	112	6	5	1
Other	15	1		1
Total	146	17	15	2

Community Responses

Supporting comments from residents/owners:

- supports the needs for clubs to raise funds
- supports the amendments as long as strict controls are in place
- strongly support any changes to the above code that will help the sporting bodies at Marrara and anywhere else for that matter
- I commend the current council for getting moving on this and look forward to seeing its conclusion
- the signs the MFCU had were fine in my opinion – it's a main road after all and there are all types of signage on this and other roads that are bigger, brighter and more obtrusive than these
- I live opposite the MFCU ground and see their signs every day. Have your code around them and I don't think any reasonable person would complain.
- strongly support for the idea of electronic signage on entrance

Supporting comments from sporting/community groups:

- As a relatively small not-for-profit organisation we struggle to attract sponsors and funding, other than that from Government and our members. Being able to promote sponsors to the general public is major attraction to these sponsors we do have, and helps raise funds for our NT representative teams and the organisation as a whole.
- Limiting the opportunity to advertise our sponsors would mean an extra burden on our already stretched funding sources and could mean a reduction in our current activities.
- We hope the Darwin City Council supports these amendments.
- We are pleased that the proposed amendments to the DCC outdoors sign code will address our sporting needs by giving us the opportunities to raise funds for our sport and our future survival.
- We are all aware that funding from governments will be reduced and thus it is expected that sporting bodies are to fill the short fall. We agree that these amendments to the sign code will go a long way to assist us.
- We are pleased and keen that the DCC erects an electronic "Entrance Sign" displaying the names of the sporting groups in the precinct, their major sponsor and upcoming events.

Opposed comments from residents:

- I do not want to look at a large sign or series of signs along McMillans Road. If the signs are restricted to the Marrara precinct proper and not visible from McMillans Road then I have no objection. I suspect however that the aim is to attract the attention of passing motorists along McMillan Road. This would be to the detriment of the residents as it would most likely deface and devalue McMillans Road.

Appendix 1: Media Release



Media Release

Darwin City Council

Public Relations Office Ph (08) 8930 0534 Fax (08) 8930 0669

Proposed amendments to Darwin's Outdoor Advertising Signs Code

A Discussion Paper regarding proposed amendments to Darwin's City Council's Outdoor Advertising Signs Code was released for public comment today.

Lord Mayor Graham Sawyer said that the proposed amendments had been developed to address the emerging needs of the sporting community within the Manly Sporting Precinct.

A number of the sporting precinct within the Manly Precinct have raised concerns with Council regarding the current Signs Code, suggesting that it limits their opportunities to place advertising in places inaccessible to most other advertising or not within the scope of the Code Mayor said.

The proposed amendments will see the new sign definitions incorporated into the existing Outdoor Advertising Signs Code.

The amendments will only apply to the Manly Sporting Precinct which is considered a specially designed sporting and leisure facility precinct.

The Discussion Paper will be distributed to all relevant community groups by the Manly Sporting Precinct and community associations within the Precinct.

Responses to the proposed amendments can be made in writing via reply post box or email by Wednesday, 24 September 2008.

"To make the community to share their views on the matter and input that we will be able to release a Signs Code which suits the needs of the sporting organisations and the local community," Lord Mayor Sawyer said.

For further information and a copy of the Discussion Paper visit www.darwinnc.gov.au

Date 12 September 2008

Contact 08 8930 4500 (08) 8930 0534

Appendix 2: Media Coverage

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NEWS

'Billboard fever' fears

By STEW LANKFORD

A proposal to allow advertising signs in parts of Toronto's downtown core could lead to billboard fever throughout the city,

if a recent Council decision to approve a new by-law is implemented. The proposal would allow signs to be placed in parts of the city that have been previously designated as "billboard-free zones."

The proposal would allow signs to be placed in parts of the city that have been previously designated as "billboard-free zones."

Review of council ban

The review will be completed by the end of the year, and the council will be asked to approve the new by-law.

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Page 6 NT News, Tuesday 23 September 2008.

"Advertising signage"

Date: Tuesday, 23 September 2008

Time: 09:21

Duration 5 mins

Station: Territory FM

Programme: Territory Talk

Newsreader/Comperer: Daryl Manzie

Interviewee: Alderman Robyn Lesley

Summary:

Alderman Robyn Lesley talks about advert signage in the CBD and the reviewing by the DCC of some of the provision of advertising signage.



SEPTEMBER 24, 2008

Bilboards an asset to sport

DARWIN City Council is considering allowing bilboards in the Darwin sport ring complex.

This has sparked fears that ugly advertising billboards will soon be sprouting all over the city.

Of course, the council has the power to allow one without allowing the other.

And that's what it should do.

Sports rings are, in many ways, one of the bedrocks of a community, particularly an outdoor community such as the Northern Territory.

They add cohesion to society by bringing separate diverse people together for nothing more than love of the game -- people who wouldn't necessarily mix in other ways.

And sport isn't not only improves health but also character.

Something for excellence -- even if that excellence is no more than doing well in the present event -- adds depth to personality and builds people in a way suited for the rest of their lives.

But sports clubs need income for purchasing equipment etc.

And as previous events from the NT Government have clearly shown, clubs have to raise much of their own cash.

The handy amount of income would be advertised by boards.

Lord Alton of Liverpool's health was then the billboard company's special guest only to see a self-complacent speechless organisation.

So far from financial success, when a Government is found to be spending money by the million on the people, it's before long, there will be signs of hardship in Darwin.

But there is an annual reason why the council should allow this.

... and another thing

THE addition to the Northern Territory School division seems obvious -- these the grounds and extend the school grounds to the back of the private houses in that way, whether the school for residents are at risk of antisocial characters.

The Northern Territory News

4170 Box 1348

Darwin NT 0801

Editorial Facsimile: (081) 8941 6945

Our Ref: 10/01/2009/0402

Your Ref:

3 June 2009

Attention: Luccio Cerearelli and Peter Lindvall

Darwin City Council
GPO Box 84
DARWIN NT 0801

Dear Luccio and Peter

Darwin City Council Outdoor Advertising Signs Code ("the Code")

I refer to your instructions to advise us to the effect of the Council resolution of 25 November 2008 ("the Resolution"), resolving to adopt the signage controls identified in the report to Council, 08/PS02/08, dated 8 October 2008 ("the Report"). Particularly you have requested advice as to whether a further resolution of Council is required to effect the changes to the Code, as identified in the Report.

Summary Advice

1. The Resolution appears to be expressed in terms that intend to effect changes to the Code as identified in the report prepared by Creative Territory Pty Ltd ("the CTPL Report") without the need for any further resolution of the Council.
2. The changes made to the Code by the Resolution are only those provided for in the CTPL Report. Any further changes required for operational purposes or to address any drafting concerns will need to be made by a further resolution of Council.
3. Council will need to publish the changes to the Code as required under by-law 185(4) and update the Code as it appears on its website.

A more detailed discussion of the issues and effect of the Resolution follows:

Facts

1. The Darwin City Council Signs Code ("the Code") is referred to in by-law 185 of the Darwin City Council By-Laws as the Darwin City Council Outdoor Advertising Signs Code approved by resolution of the council on 30 March 2004 as amended from time to time.
2. The copy of the Code appearing on Council's website indicates that the Code was subsequently amended by resolutions of Council passed on:

- (a) 26 October 2004 – Decision Number 19/654,
 - (b) 16 November 2005 – Decision Number 19/2272,
 - (c) 14 March 2006 – Decision Number 19/2649,
 - (d) 15 May 2007 – Decision Number 19/4456,
 - (e) 12 June 2007 – Decision Number 19/4601
3. On 15 September 2008, Council released a Discussion Paper on the Code, prepared by Creative Territory Pty Ltd (“CTPL”), for public comment, requiring comments and responses to be provided by 24 September 2008¹. The Discussion Paper was sent to residents and sporting and community groups in the Murrumbidgee Precinct, as well as local MLA and Council members and the Department of Planning and Infrastructure. 17 responses were received.
4. The Discussion Paper proposed 2 new definitions of signage be incorporated into the Code as regards the Murrumbidgee Precinct, namely:
- (a) Sporting Sponsorship Signage – generally no limit on the number or size of these signs provided that they face inward to the sporting ground. A range of restrictions were proposed to apply to such signs facing a public area; and
 - (b) Sporting Field Name Signs – Certain restrictions were proposed to apply to such signs.
5. On 26 September 2008, CTPL provided a draft report to Council, titled “Community Consultation Report” (“the CTPL Report”).
6. On 8 October 2008 Report Number 08FS0206 MS:lm, with the “Subject” being “N1 Rugby Union Signs Prosecution Further Legal Advice” (“the Report”), was presented to Council. One of the recommendations in the Report was:
- That Council adopt the signage controls for Sporting Sponsorship Signage and Sporting Field Name Signs as details in the Draft Community Consultation Report, Proposed Amendments to the Outdoor Advertising Signs Code at Murrumbidgee Precinct and implement them as controls in a newly developed precinct within the Outdoor Advertising Signs Code.”
7. On 14 October 2008, Council considered the Report of 8 October and resolved against a resolution proposed in terms of the recommendation contained in the Report. There was an equality of votes, such that the Motion was resolved in the negative.

¹ Refer IRCC media release of 15 September 2008.

8. On 18 November 2008, the Lord Mayor gave a Notice of Motion proposing that the matter be brought forward for further consideration and that the motion in the Report (see paragraph 6 above) be adopted. This Notice of Motion was required given the requirements of by-law 162(1) of the Darwin City Council By-laws¹.
9. On 25 November 2008, the same motion was put and 5 members (including the Lord Mayor) voted in favour of the motion and 5 members voted against the motion. The motion was passed by the Lord Mayor exercising his casting vote in favour of the resolution ("the Resolution"). The motion was in the following terms:

"The Council adopt the signage controls for Sporting Sponsorship Signage and Sporting Field Name Signs as detailed in the Attachment to Report Number 08130206 MS:Im, 'Draft Community Consultation Report, Proposed Amendments to the Outdoor Advertising Signs Code at Marrara Sporting Precinct', and, ~~amend~~ amend them as controls in a newly developed precinct within the Outdoor Advertising Signs Code."

(underlining is mine for emphasis)

10. The Resolution was passed by the Lord Mayor exercising his casting vote. I have assumed that the Council has a policy allowing the Lord Mayor, as Chair of Council meetings, a second or casting vote, in the event of an equality of votes².

The Resolution

11. The Resolution adopts the signage controls detailed in the CTP1 Report. Those controls appear on pages 6 & 7 of the CTP1 Report:
- (a) Sporting Sponsorship Signage – generally no limit on the number or size of these signs provided that they face inward to the sporting ground. A range of restrictions were proposed to apply to such signs facing a public area, and
 - (b) Sporting Field Name Signs. A range of restrictions were proposed to apply to such signs.
12. The Code is referred to in By-law 185, which reads as follows:

- (1) The Code is the Darwin City Council Outdoor Advertising Signs Code approved by resolution of the council on 30 March 2004 as amended from time to time and, if that code is replaced under clause (2), the replacement

¹ By-law 162(1)(b) provides that a resolution of the council may not be altered or rescinded ... within 3 months after the date of passing of the resolution unless notice of motion is given as ascertained with this Part to alter or rescind the resolution. The motion was presumably put pursuant to by-law 157, which provides for the Lord Mayor to introduce a matter by way of a Lord Mayoral Minute signed by the Lord Mayor, without the need for a second.

² Refer section 61(1)(a) of the Local Government Act.

code is amended from time to time

- (2) The council may, by resolution, amend the Code or replace it with another code that prohibits, regulates or exempts matters relating or incidental to the placing, size, shape, content and colour of signs, hoardings and advertising in a public area or on premises adjoining or in view of a public area
- (3) The council must make the Code available for inspection by the public at the council's offices
- (4) If the council amends or replaces the Code, the council must publish in a newspaper circulating in the municipality a notice stating that the amendment or replacement has been made and including a description of the effect of the amendment

(underlining is mine for emphasis)

- 13. The issue is whether the Resolution:
 - (a) is such as to itself "amend" the Code, that is, is it in sufficient detail to make the necessary changes; or
 - (b) requires or envisages a further resolution, containing more precise details or possibly a "marked up" version of the Code detailing the amendments provided for in the CTPL Report.
- 14. The CTPL Report, at pages 6 & 7, is quite specific and detailed as to the changes proposed to the Code, namely:
 - (a) the incorporation into the Code of 2 new definitions for Sporting Sponsorship Signage and Sporting Field Name Signs – these new definitions are contained in the CTPL Report at pages 6 & 7;
 - (b) to apply to the Marrara Sporting Precinct – this precinct is described on page 4 of the CTPL Report;
 - (c) for specific controls to apply to the 2 newly defined signs – these controls are set out in the CTPL Report at pages 6 & 7.
- 15. Whilst an amended Code was not presented to the Council and adopted with "mark ups" of the proposed changes (as I understand has happened on the previous occasions referred to in paragraph 2 above), the terms of the Resolution appear to be clear and unequivocal and intended to effect the changes to the Code without the need for a further resolution of the Council – in this regard, the terms of the Resolution that I have underlined in paragraph 9 above are pertinent
- 16. As to the changes to the Code marked on the draft titled "JAPLAN DESIGN SIGNAGE Signs Code/Marrara precinct Outdoor Advertising Signs Code (in 09) doc" ("the Proposed Code"), I make the following comments.

- (a) the inclusion of the 2 new definitions for Sporting Sponsorship Signage and Sporting Field Name Signs appear largely consistent with the CTPL Report
- (b) the changes to the definition of "Third party advertising" are not provided for in the CTPL Report and do not appear necessary or appropriate,
- (c) the introduction in clause 7.8 appears consistent with the CTPL Report, albeit the words are not specifically contained in that report,
- (d) the definition of the Marrara Sporting Precinct is different to that contained in the CTPL Report. For the Resolution to be implemented, I suggest that clauses 7.8 & 7.9 should be replaced and amended to read:

7.8 The following controls apply to Sporting Sponsorship Signage and Sporting Field Name Signs with regards to the Marrara Sporting Precinct to enable organizations to develop stronger sponsorship opportunities for their organizations through signage

Sporting Sponsorship Signage

Controls

For Sporting Sponsorship Signage (being away ... [correctly the wording contained on page 6 of the CTPL Report])

Sporting Field Name Signs

Controls

- Sporting Field Name Signs shall not exceed an area of 20 square meters,
- Sporting Field Name Signs shall not be illuminated,
- Sporting Field Name Signs shall not contain any other type of advertising, and
- There shall be no more than one Sporting Field Name Sign per road frontage

7.9 For the purposes of clause 7.8, the Marrara Sporting Precinct is the area established by the Northern Territory Government in a specific location for sporting and community activities within the boundary of McMillans Road, Henry Wagley Drive and Dante Road, Marrara."

17. This wording is not as precise as may be otherwise preferred. For example, the definition of the Marrara Sporting Precinct in clause 7.9 is not the same as in the Proposed Code. Particularly, it
- (a) does not appear to contain an eastern boundary, and
 - (b) adopts "Dante Road" as its southern boundary, rather than the "Airport Boundary" as in the Proposed Code.

However, given the apparent intent of the Resolution to itself amend the Code, and in the absence of any other material that could be read in or necessarily part of the Resolution, its terms need to be followed and no additional terms included.

I trust that this advice addresses the matters required and will be pleased to advise further as required.

Yours sincerely
CRIDLANDS MB



Richard Giles
Partner

Contact 08 8943 0983
Facsimile 08 8943 0499
Email: richard.giles@cridlands.com.au

ENCL: YES

DARWIN CITY COUNCIL

DATE: 7/09/09

REPORTTO: TOWN PLANNING COMMITTEE MEETING **APPROVED:** BSFROM: GENERAL MANAGER INFRASTRUCTURE **APPROVED:** PLREPORT NO: 09TS0150 BS:sv **APPROVED** LC

COMMON NO: 1638529

SUBJECT: PERMANENT PROMOTION PROJECTING SIGN APPLICATION
LOT 3711 (46) MITCHELL STREET, DARWIN MONSOONS**ITEM NO: 10.10****SYNOPSIS:**

Approval is sought for a Permanent under-awning Promotion Projecting Sign to be located over Council road reserve in the CB (Central Business) Zone, for Monsoons, Lot 3711 (46) Mitchell Street Darwin City. **Attachment A.**

This report recommends Council refuse this application.

GENERAL:

Applicant	Monsoons	
Type of Advertising <i>(inc. temp/perm/illuminated)</i>	Permanent – Changing advertising	x
Type of Sign <i>(Business/Election/Promotion etc.)</i>	Promotion	x
Type of Structure <i>(Pole/Free Standing/Fascia/High etc.)</i>	Projecting	x
Measurement of Sign <i>(inc.height)</i>	2.4m long x 0.6m High	x
Location of Sign	Over Council road reserve	x
Existing Signage	Have Council approval	✓

Complies - ✓ Not Comply - x

This application is the result of a sign complaint which Council received regarding the installation of the sign over Council road reserve without acquiring a Council Sign Permit.

The promotion sign has been designed with interchangeable panels. This allows the business to be able to change the sign to promote any function, event, planned within the premises.

PAGE: 2
 REPORT NO: 09TS0150
 SUBJECT: PERMANENT PROMOTION PROJECTING SIGN APPLICATION,
 LOT 3711 (46) MITCHELL STREET, DARWIN
 MONSOONS

The Outdoor Advertising Signs Code allows one permanent projecting business sign per premises. Monsoons have Council approval for a 6.5m x 1.4m (9.1m²) projecting business sign over the road reserve in Mitchell Street, and a 7.5m x 0.68m (5.1m²) projecting business sign over the road reserve in Nuttall Place.

In the CB Zone, identification of the business should be the prime objective for signage, rather than promotion advertising. The Outdoor Advertising Signs Code allows promotion advertising to 1 square metre in the CB Zone. A sign permit was issued in 2008 for the existing fascia promotion sign (which is approximately 5 square metres), as shown in **Attachment A**.

Council to date have not approved an application for an under-awning promotion projecting sign, and have adhered to the Outdoor Advertising Signs Code by consistently refusing projecting sign applications which apply for more than one projecting sign.

Conclusion

The Outdoor Advertising Signs Code allows only one permanent projecting sign per premises.

The approval of an extra projecting sign, business or promotion, may set a precedent for other businesses to apply for extra projecting signs.

Council has not approved an under-awning projecting promotion sign in the CB Zone to date.

FINANCIAL IMPLICATIONS:

Nil.

STRATEGIC PLAN IMPLICATIONS:

The issues addressed in this report are in accordance with the following goals/strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

Goal

1 Achieve Effective Partnerships and Engage in Collaborative Relationships

Key Strategies

1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin.

LEGAL IMPLICATIONS:

This issue is not considered confidential.

PAGE: 3
REPORT NO: 09TS0150
SUBJECT: PERMANENT PROMOTION PROJECTING SIGN APPLICATION,
LOT 3711 (46) MITCHELL STREET, DARWIN
MONSOONS

ENVIRONMENTAL IMPLICATIONS:

Nil.

PUBLIC RELATIONS IMPLICATIONS:

Nil.

COMMUNITY SAFETY IMPLICATIONS:

Nil.

DELEGATION:

Nil.

CONSULTATION:

Nil.

PROPOSED PUBLIC CONSULTATION PROCESS:

Nil.

APPROPRIATE SIGNAGE:

Not Applicable.

PAGE: 4
REPORT NO: 09TS0150
SUBJECT: PERMANENT PROMOTION PROJECTING SIGN APPLICATION,
LOT 3711 (46) MITCHELL STREET, DARWIN
MONSOONS

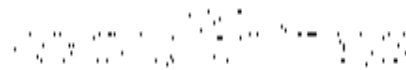
RECOMMENDATIONS:

- A. THAT Report Number 09TS0150 BS:sv entitled: Permanent Promotion Projecting Sign Application, Lot 3711 (46) Mitchell Street, Darwin, Monsoons, be received and noted.
- B. THAT Council refuse the application for the promotion projecting sign in accordance with the requirements of the Outdoor Advertising Signs Code for the following reasons:
- i). The Outdoor Advertising Signs Code allows one projecting business sign per business, Monsoons already have a permit for two projecting business signs for these premises.
 - ii). The approval of an extra projecting sign, business or promotion, may set a precedent for other businesses to apply for extra projecting signs.
 - iii). Council has not approved an under-awning projecting promotion sign in the CB Zone to date.
- C. THAT enforcement of the sign complaint continue, until the sign has been removed from over Council's road reserve.

PETER LINDWALL
STRATEGIC TOWN PLANNER

DROSSO LELEKIS
A/GENERAL MANAGER INFRASTRUCTURE

Any queries on this report may be directed to Brian Sellers, Planning Officer on telephone 8930 0683 or email b.sellers@darwin.nt.gov.au



10 Mitchell Street, Darwin NT 0801
 Darwin NT 0801
 Tel: 08 9391 1176 Fax: 08 9391 1167
 www.monsoon.com.au

Brian Sellers
 Planning officer
 Darwin City Council
 Darwin NT 0800

27th August 2009

RE: Application for Sign Permit.

Dear Brian,

As part of the advertising and positioning of Monsoon, we would like to apply for a sign permit for a temporary "removable" sign to help locate the venue.

We are proposing to have the sign under the currently fixed sign on the corner of Nuttall Place and Mitchell St off the awning over the footpath entrance area to assist the awareness of Monsoon. We wish to request Darwin City Council approval.

Overview:

In the initial renovations, 2 Monsoon signs located on the front facade above the awning and down the side of Nuttall place were erected. The signage at the front of the building is covered by the awning and can only be seen directly across from Monsoon, which is no use for foot traffic or when trying to locate Monsoon from the road.

Requirements for Monsoon:

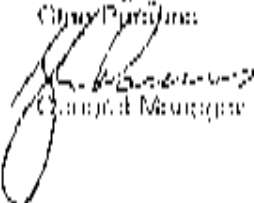
- That the sign has a 2.7m clearance from the highest ground point.
- That we have public liability for \$10 million or more
- Letter indemnifying Darwin City Council

HEIGHT OF SIGNAGE: After making some changes to the positioning of the sign, we can report that the sign has the minimum clearance of 2.7m from the highest ground point of the affected footpath area.

PUBLIC LIABILITY: Monsoon Holdings Pty Ltd (trading as Monsoon) have a general liability of \$20,000,000 and a products liability for \$20,000,000 through Lloyds of London through A&R Underwriting Agencies P/L - Leds A copy of the letter is attached.

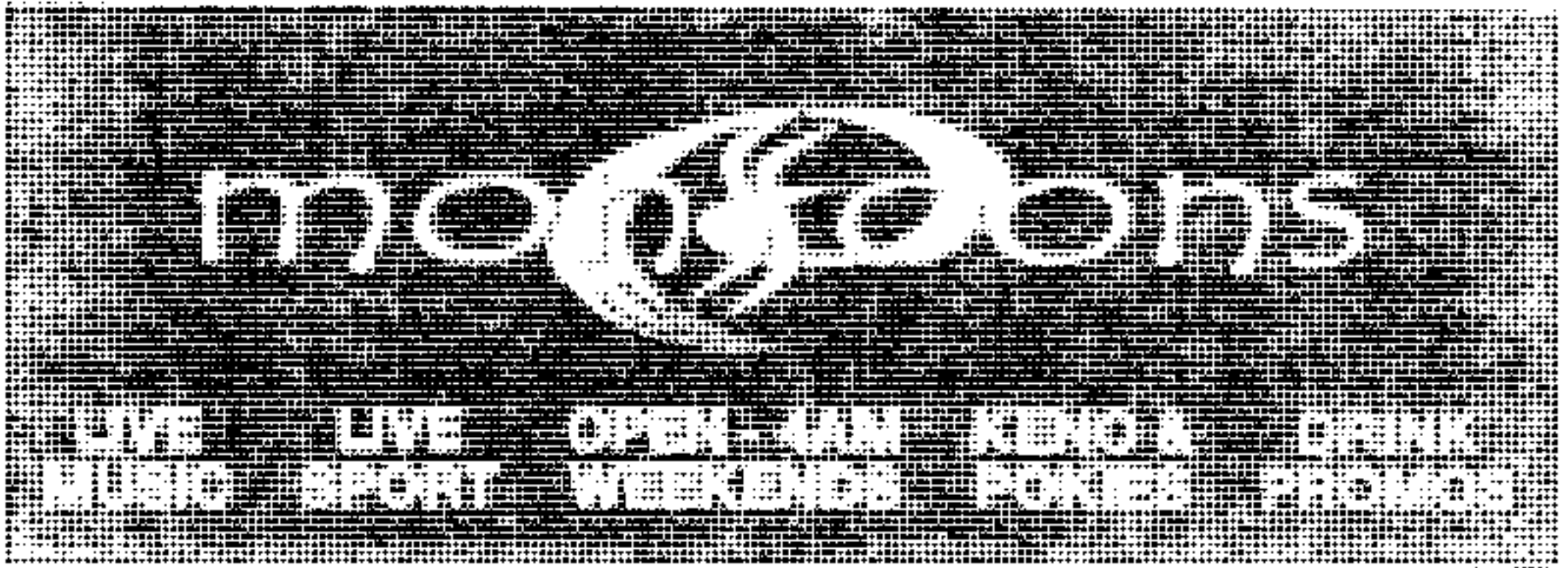
Please feel free to contact me with any further queries regarding the above on 0405 623 620.

Kind regards,
 Gary Purdine


 General Manager

www.monsoon.com.au

Sample of signage,



Sample of signage

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239

CLIENT: ATTN: GLEN & CINDY
MONSOONS
PROJECT
VARIOUS

DATE 3-10-2007

JOB No 32959

DETAILS

PLEASE ADVISE ON LAYOUT.

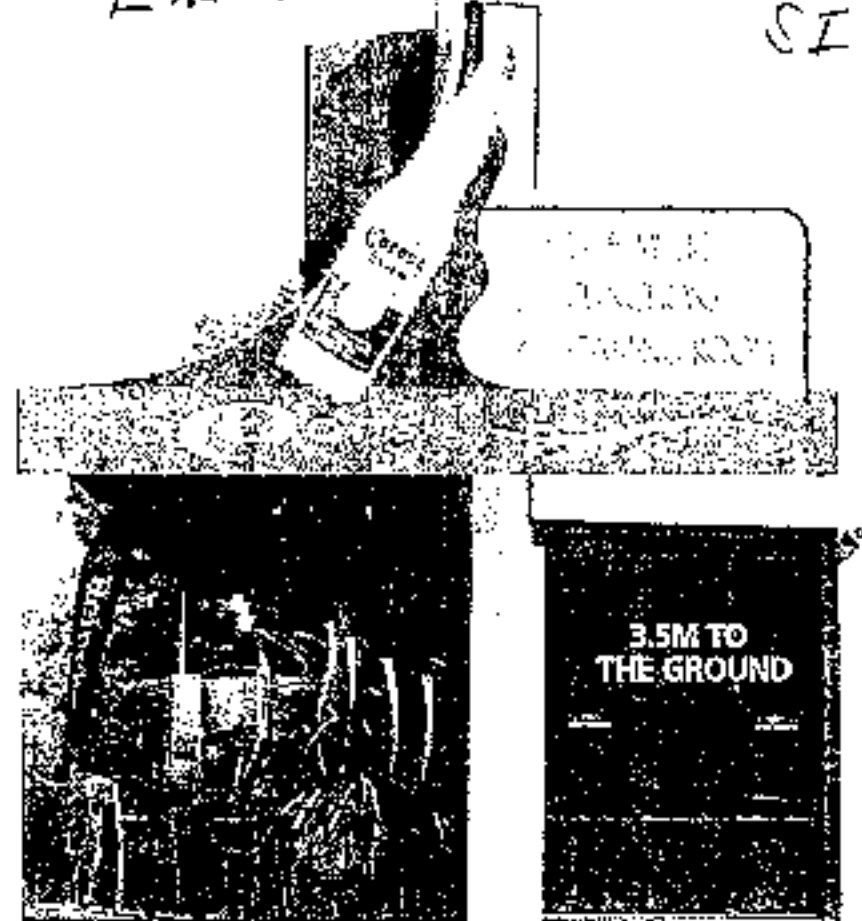
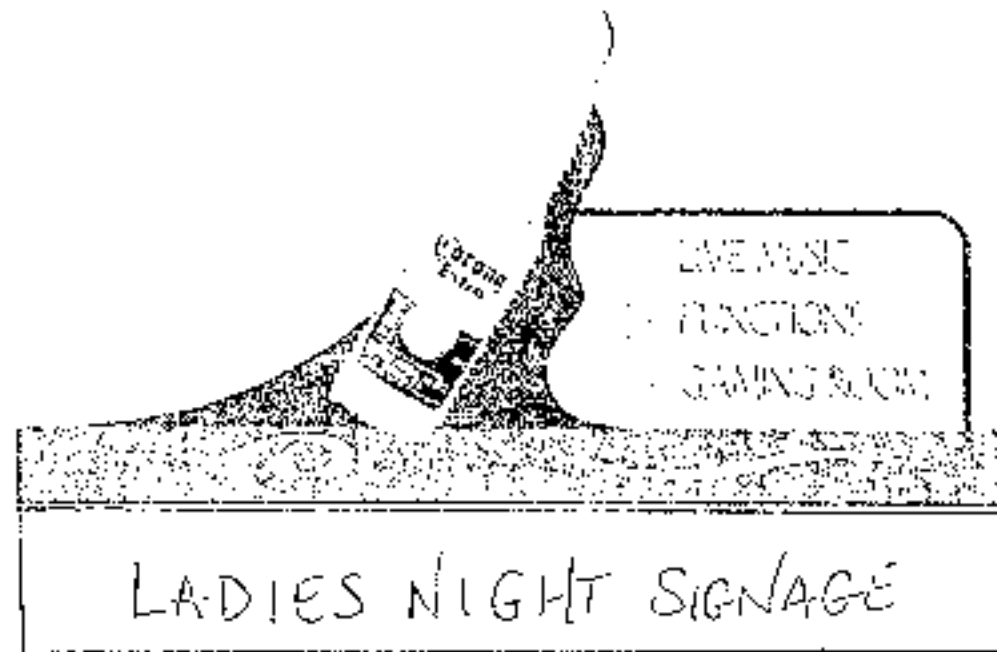
DRG BY JD



PHONE DARWIN
08 8984 3772
08 8947 0180
FAX 08 8984 4827
C/O COORINA RD
2 SWIFT ST, WOODLIE

EXISTING PROMOTION
SIGN

Corona advertising
for side of building.



↑ 2.7M TO GROUND

Job will not proceed without signature of approval.

Signature:

Date:

Approved: YES NO

THIS LAYOUT REMAINS
THE PROPERTY OF
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ENCL: YES

DARWIN CITY COUNCIL**DATE:** 7/09/09**REPORT****TO:** TOWN PLANNING COMMITTEE MEETING
OPEN B**APPROVED:** BS**FROM:** GENERAL MANAGER INFRASTRUCTURE**APPROVED:** PL**REPORT NO:** 09TS0156BS:sv**APPROVED:** LC**COMMON NO:** 1643485**SUBJECT:** MATERIAL ALTERATIONS OF LIQUOR LICENSED PREMISES
DARWIN RAILWAY SPORTS & SOCIAL CLUB, LOT 4901,
(4901) SOMERVILLE GARDENS, PARAP**ITEM NO: 10.11****SYNOPSIS:**

Darwin Railway Sports & Social Club has applied to the Northern Territory Licensing Commission for a material alteration to their liquor licence premises, located at 4901 Somerville Gardens, Parap, **Attachment A**. The alteration is for internal changes resulted by a recent fire within the premises.

Council officers responded to the Director of Licensing, Licensing and Regulation on 9 September 2009, under delegation, **Attachment B**. Council officers had no objections or comments regarding this application.

GENERAL:

Darwin Railway Sports & Social Club are making a number of internal alterations to their licenced premises in Parap. The club suffered damage through a recent fire and are now taking this opportunity to make some internal changes to their licenced premises.

Applicant: Darwin Railway Sports & Social Club**Name of Premises:** Darwin Railway Sports & Social Club**Current Conditions:** The current conditions will remain unchanged.**Trading Hours:** The current trading hours will remain unchanged.

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 REPORT NO: 09TS0156BS:sv
 SUBJECT: MATERIAL ALTERATIONS OF LIQUOR LICENSED PREMISES
 DARWIN RAILWAY SPORTS & SOCIAL CLUB, LOT 4901,
 (4901) SOMERVILLE GARDENS, PARAP

Material Alterations:

- The relocation of the main bar to the opposite end of the building with another service area attached onto the side to service outside patronage. A stage area will encompass the old main bar area.
- Minor modifications to the kitchen area.

Council's Land Affected

No Council owned or controlled land is affected by the proposal.

Considerations Under The Liquor Act

Grounds For Objection Under Section 47F(2) Of The Liquor Act

Pursuant to Section 47F(2) of the Liquor Act an objection may only be made on the grounds that the grant of the licence may or will adversely affect:

- (a) The amenity of the neighbourhood where the premises the subject of the application are or will be located; or
- (b) Health, education, public safety or social conditions in the community.

Conclusion

There appears to be nothing related to this application which would be grounds for objection under Section 47F(2) of the Liquor Act.

Conditions To A Liquor Licence – Section 3 Objects Of The Act & Section 6 Public Interest Criteria

Conclusion

There appears to be nothing related to this application which would require additional considerations or conditions of the proposed licence under Section 3 & 6 of the Liquor Act.

FINANCIAL IMPLICATIONS:

Nil.

ACTION PLAN IMPLICATIONS:

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Action Plan of the Darwin City Council 2004 - 2008:

2 ECONOMIC DEVELOPMENT

2.1 Economic Growth

Goal:

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DARWIN RAILWAY SPORTS & SOCIAL CLUB, LOT 4901,
(4901) SOMERVILLE GARDENS, PARAP

To promote the growth of the Darwin economy.

2.3 Central Business District Viability

Goal:

To support the CBD as a viable centre of activity.

2.4 Darwin Business

Goal:

To support and encourage local business.

LEGAL IMPLICATIONS:

This matter is not considered confidential.

ENVIRONMENTAL IMPLICATIONS:

Nil.

PUBLIC RELATIONS IMPLICATIONS:

Nil.

COMMUNITY SAFETY IMPLICATIONS:

Nil.

DELEGATION:

Letter sent under delegation to the Liquor Licensing Commission on the 9 September 2009.

Delegation :

THAT Darwin City Council, pursuant to section 32(2) of the Local Government Act, 2008, hereby delegates to the Chief Executive Officer or his delegate for the time being the power to:

- I. Determine grounds for objections to Liquor Licence Applications and advise the Liquor Commissioner in writing of Council's objection as and when required in order to meet statutory deadlines under the Northern Territory Liquor Act.
- II. Submit comments on Liquor Licence Applications to the Department of Racing, Gaming and Licensing only when required to meet statutory or Departmental deadlines.

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REPORT NO: 09TS0156BS:sv
SUBJECT: MATERIAL ALTERATIONS OF LIQUOR LICENSED PREMISES
DARWIN RAILWAY SPORTS & SOCIAL CLUB, LOT 4901,
(4901) SOMERVILLE GARDENS, PARAP

CONSULTATION:

Nil.

PROPOSED PUBLIC CONSULTATION PROCESS:

Nil.

APPROPRIATE SIGNAGE

Nil.

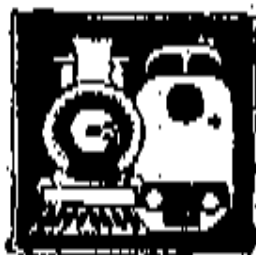
RECOMMENDATIONS:

- A. THAT Report Number 09TS0156BS:sv entitled, Material Alterations of Liquor Licensed Premises, Darwin Railway Sports & Social Club, Lot 4901, (4901) Somerville Gardens, Parap, be received and noted.

PETER LINDWALL
STRATEGIC TOWN PLANNER

DROSSO LELEKIS
A/GENERAL MANAGER INFRASTRUCTURE

Any queries on this report may be directed to Brian Sellers, Planning Officer on extension 8930 0683 or b.sellers@darwin.nt.gov.au



Darwin Railway Sports & Social Club Inc

Somerville Gardens Parap NT 0820

PO Box 47 Parap NT 0804

phone (08) 8981 4171

<http://www.railwayexpress.org>

secretary@railwayexpress.org

ABN: 23 547 702 943

Notes on intended changes of bar location to the Darwin Railway Club

The existing bar has had a fire so has presented a good opportunity to change or upgrade a number of elements around the Club.

Firstly, it is intended to move the bar to the opposite end of the main Club room (called the 'existing games room' on the plan).

There are a number of reasons that this is seen to be advantageous:

- i. It will help reduce noise that can cause problems with neighbours. The old bar will be where live entertainment will be housed and so direct the sound in the opposite direction.
- ii. Trucks dropping off supplies will go to the front entrance. This will be much easier for the drivers, it will reduce noise at the rear of the building and will be ergonomic for staff.
- iii. Rubbish collection will still be from the rear of the building so there will be a fair distribution of business.

The new bar lay out will be much the same as the old bar with a few changes ie beer taps will be set into the bar but same as the old bar, there will be a cool room put into the centre of the room that will have glass display doors. There will be the installation of the necessary sinks and drains, glass washer and ice machine.

The kitchen will be upgraded with a grease trap to be installed and also an appropriate exhaust fan

LIQUOR ACT**2nd NOTICE OF APPLICATION FOR MATERIAL ALTERATIONS OF
LICENSED AREA OF****LIQUOR LICENSED PREMISES
DARWIN RAILWAY SPORTS & SOCIAL CLUB INC**

DARWIN RAILWAY SPORTS & SOCIAL CLUB INC, HEREBY GIVE NOTICE that it has applied to the Northern Territory Licensing Commission for a material alteration of licensed area to the premises, Liquor Licence (number B1401142) for Darwin Railway Sports & Social Club Inc, located at Sommerville Gardens Road, Parap NT 0820.

Due to fire damage incurred the alterations to the premises will consist of:

- The relocation of the main bar to the opposite end of the building with another service area attached onto the side to service outside patronage. A stage area will encompass the old main bar area.
- Minor modifications to the kitchen area.

The premises licensed liquor hours and conditions will remain unchanged.

This is the second notice of application.

The objection period of 14 days is deemed to commence from Friday, 4 September 2009.

Pursuant to Section 47F(2) of the *Liquor Act* an objection may only be made on the ground that the material alterations of licensed premises may or will adversely affect:

- (a) the amenity of the neighbourhood where the premises the subject of the application are or will be located; or
- (b) health, education, public safety or social conditions in the community.

Only those persons, organisations or groups described in Section 47F(3) of the *Liquor Act* may make an objection. Section 47G of the *Liquor Act* requires the Director of Licensing to inform the applicant of the substance of any objection. This will include the identity and where relevant the address of the objector.

For further information regarding this application contact the Director of Licensing on telephone 8999 1800. Objections to this application should be lodged in writing with the Director of Licensing, GPO Box 1154, Darwin, within thirty (30) days of the commencement date of the objection period.

Dated this 4th Day of September 2009.



Darwin City Council

Website: www.darwin.nt.gov.au

Please quote: 1643485 BS:sv

9 September 2009

Director of Licensing
 Racing, Gaming and Licensing
 GPO Box 1154
 DARWIN NT 0801

Dear Sir,

**Material Alterations of Liquor Licensed Premises
 Darwin Railway Sports & Social Club, Lot 4901,
 (4901) Somerville Gardens, Parap**

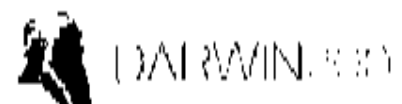
In reference to the above Liquor Licence Application, I advise (under delegated authority) as follows:

- i). Council raises no objection to the proposal under Section 47F(2) of the Liquor Act.
- ii). Council has no comments in relation to the proposal taking into account the Objects of the Liquor Act as defined in Section 3 and 6 of the Liquor Act.

Please contact Brian Sellers, Planning Officer on 8930 0683 if you wish to discuss this matter further

Yours sincerely

PETER LINDWALL
STRATEGIC TOWN PLANNER



ENCL: YES

DARWIN CITY COUNCIL**REPORT****DATE:** 7/09/09**TO:** TOWN PLANNING COMMITTEE MEETING
OPEN B**APPROVED:** BS**FROM:** GENERAL MANAGER INFRASTRUCTURE**APPROVED:** PL**REPORT NO:** 09TS0149**APPROVED:** LC**COMMON NO:** 1637085**SUBJECT:** RESTAURANT LIQUOR LICENCE APPLICATION CHRISTO'S FISH
CAFÉ LOT 6866, UNIT 10, 90 FRANCES BAY DRIVE, STUART PARK**ITEM NO: 10.12****SYNOPSIS:**

Christo's Fish Café has applied to the Northern Territory Licensing Commission for a restaurant liquor licence for their new premises at lot 6866, Unit 10, 90 Frances Bay Drive, Stuart Park, **Attachment A**.

Council officers responded to the Director of Licensing, Licensing and Regulation under delegation on the 11 September 2009, **Attachment B**.

Council officers had no objections or comments regarding this application.

GENERAL:

The proposed restaurant is located within the Francis Bay Marina precinct adjacent to the marina.

Applicant: Christo Phillipou**Name of Premises:** Christo's Fish Cafe**Proposed Conditions:**

- The business proposed to be conducted on the premises will be in the nature of a restaurant with bar facilities where persons may consume alcohol without the requirement of consuming a meal. Consumption of liquor without a meal is not to be advertised or promoted.
- The premises shall consist of bar/kitchen area with alfresco dining.
- Noise emanating from the premises will be such as to not cause unreasonable disturbance to the businesses or ordinary comfort of lawful occupiers of neighbouring premises or to any other person in the vicinity.

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REPORT NO: 09TS0149
SUBJECT: RESTAURANT LIQUOR LICENCE APPLICATION
CHRISTO'S FISH CAFÉ
LOT 6866, UNIT 10, 90 FRANCES BAY DRIVE, STUART PARK

- The premises shall at all times have the appearance of and shall trade predominantly as a restaurant.
- The premises shall close no later than one and half hours after the kitchen closes.

Trading Hours:

The proposed trading hours are:

11:30 hours until 23:59 hours, seven days a week

Council's Land Affected

No Council owned or controlled land is affected by the proposal. The proposed alfresco dining area is completely on private property.

Considerations Under The Liquor Act

Grounds For Objection Under Section 47F(2) Of The Liquor Act

Pursuant to Section 47F(2) of the Liquor Act an objection may only be made on the grounds that the grant of the licence may or will adversely affect:

- (a) The amenity of the neighbourhood where the premises the subject of the application are or will be located; or
- (b) Health, education, public safety or social conditions in the community.

Conclusion

There appears to be nothing related to this application which would be grounds for objection under Section 47F(2) of the Liquor Act.

Conditions To A Liquor Licence – Section 3 Objects Of The Act & Section 6 Public Interest Criteria

The approval of the Restaurant Liquor Licence to allow consumption of liquor in an alfresco dining setting, and without a meal is not expected to negatively affect the amenity of the surrounding area. This type of liquor licence is currently common practice and it reflects other liquor licences recently approved in Darwin.

Conclusion

There appears to be nothing related to this application which would require additional considerations or conditions of the proposed licence under Section 3 & 6 of the Liquor Act.

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REPORT NO: 09TS0149
SUBJECT: RESTAURANT LIQUOR LICENCE APPLICATION
CHRISTO'S FISH CAFÉ
LOT 6866, UNIT 10, 90 FRANCES BAY DRIVE, STUART PARK

FINANCIAL IMPLICATIONS:

Nil.

STRATEGIC PLAN IMPLICATIONS:

The issues addressed in this report are in accordance with the following goals/strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin.

LEGAL IMPLICATIONS:

This matter is not considered confidential.

ENVIRONMENTAL IMPLICATIONS:

Nil.

PUBLIC RELATIONS IMPLICATIONS:

Nil.

COMMUNITY SAFETY IMPLICATIONS:

Nil.

DELEGATION:

Letter sent under delegation to the Liquor Licensing Commission on the 11 September 2009.

Delegation :

THAT Darwin City Council, pursuant to section 32(2) of the Local Government Act, 2008, hereby delegates to the Chief Executive Officer or his delegate for the time being the power to:

- I. Determine grounds for objections to Liquor Licence Applications and advise the Liquor Commissioner in writing of Council's objection as and when required in order to meet statutory deadlines under the Northern Territory Liquor Act.
- II. Submit comments on Liquor Licence Applications to the Department of Racing, Gaming and Licensing only when required to meet statutory or Departmental deadlines.

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REPORT NO: 09TS0149
SUBJECT: RESTAURANT LIQUOR LICENCE APPLICATION
CHRISTO'S FISH CAFÉ
LOT 6866, UNIT 10, 90 FRANCES BAY DRIVE, STUART PARK

CONSULTATION:

Nil.

PROPOSED PUBLIC CONSULTATION PROCESS:

Nil.

APPROPRIATE SIGNAGE

Nil.

RECOMMENDATIONS:

- A. THAT Report Number 09TS0149 entitled Restaurant Liquor Licence Application, Christo's Fish Café, Lot 6866, Unit 10, 90 Frances Bay Drive, Stuart Park be received and noted.

PETER LINDWALL
STRATEGIC TOWN PLANNER

DROSSO LELEKIS
A/GENERAL MANAGER INFRASTRUCTURE

Any queries on this report may be directed to Brian Sellers, Planning Officer on extension 8930 0683 or email b.sellers@darwin.nt.gov.au

CHRISTO'S FISH CAFÉ BUSINESS PLAN

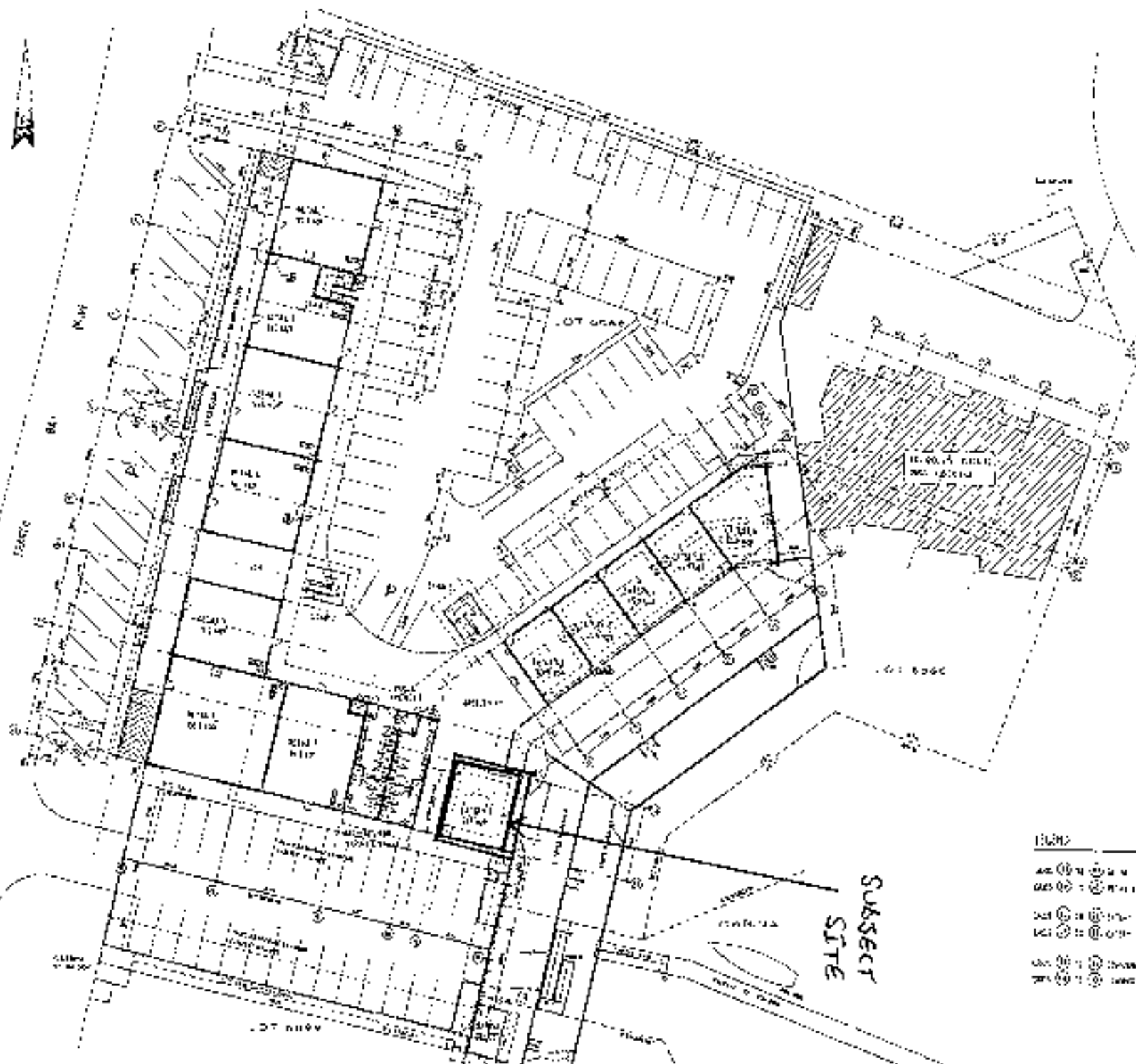
The Café is to trade six days per week, closing Monday as many operators do. The plan is to trade 9.00am to 9.00 pm six days per week. There will be bench type seating, in tables of 4 and 6, which will seat up to 180 people.

The Café will sell ice cream and good coffee, in order to appeal to families on a Saturday or Sunday, going to and from various weekend activities, creating a destination between the Café and the Marina, as an easy to access (parking and the walking distance) and affordable venue that is interesting and safe for a family environment.

The concept of the Fish Café is based on a simple menu of fresh local fish served with chips and salad. The fish portion would be about 200 grams and be priced at \$12.50. Chips would be \$3.00 per serve and the salad \$6.00 per serve.

The Café is to be licensed and have wines priced to suit the market share being sought. Typically the wine list will have a variety but predominantly be focused on wines in the \$25 to \$35 range.

Patrons will order their meals and drinks from the counter and be given a buzzer to collect their food once it has been prepared. The savings in wait staff, will enable the Café to maintain its prices at the lower end and thereby attract a wider range of patrons.



CITY PLAN - 100' RECALCULATED

DATE: 10/20/06
 BY: [Signature]
 FOR: [Signature]
 PROJECT: [Signature]

This is the drawing referred to in Development Permit No. DP 06-016
 Issued by the Development Consent Authority on 23.8.2006
 [Signature]
 Director of Auckland

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Subject: FW: (DWS Doc No 1647489) Christo's

From:
Sent: Wednesday, 9 September 2009 12:05 PM
To:
Subject: (DWS Doc No 1647489) Christo's

RE: NEW LIQUOR LICENCE APPLICATION CHRISTO'S FISH CAFÉ

In accordance with section 6(2) of the *Liquor Act*, Mr Phillipou has provided a response to the Public Interest Criteria relating to the above mentioned liquor licence application.

(a) harm or ill-health caused to people, or a group of people, by the consumption of liquor is to be minimised:

Will ensure that the responsible service of alcohol practices are strictly adhered to

(b) liquor is to be sold, or sold and consumed, on licensed premises in a responsible manner:

Will ensure that liquor will be sold and consumed in a responsible manner. Mr Phillipou will be in attendance at all times and will be able to monitor the sobriety of all his customers.

(c) public order and safety must not be jeopardised, particularly where circumstances or events are expected to attract large numbers of persons to licensed premises or an area adjacent to those premises:

This is a small restaurant and it is not envisaged it will attract large crowds that will adversely affect public order or safety

(d) the safety, health and welfare of persons who use licensed premises must not be put at risk:

Will ensure compliance with all legislation and make sure all liquor is responsibly distributed and consumed

(e) noise emanations from licensed premises must not be excessive:

There will be no or very limited entertainment provided. If entertainment is ever provided it would only be on rare occasions, be finished well before night time and only involve a soloist or duet or jazz

(f) business conducted at licensed premises must not cause undue offence, annoyance, disturbance or inconvenience to persons who reside or work in the neighbourhood of the premises or who are making their way to or from, or using the services of, a place of public worship, hospital or school:

Aware of the surroundings and will make every effort to ensure the business does not cause any adverse effects on the local neighbourhood.

(g) a licensee must comply with provisions of this Act and any other law in force in the Territory which regulate in any manner the sale or consumption of liquor or the location, construction or facilities of a licensed premises including –

(i) by-laws made under the *Local Government Act*; and

(ii) provisions of or under the *Planning Act*,

Will ensure compliance with all applicable legislation.

(h) each person involved in the business conducted at licensed premises must receive suitable training relevant to the person's role in the conduct of the business:

Mr Phillips will be on the premises at all times and will ensure his staff is aware of their responsibilities when it comes to the sale and supply of liquor. Will also ensure all staff obtains Responsible Service of Alcohol accreditation as soon as possible.

(i) the use of credit in the sale of liquor must be controlled:

No credit will be offered.

(j) practices which encourage irresponsible drinking must be prohibited:

This is a Restaurant and will not be encouraging irresponsible drinking in any shape or form.

(k) it may be necessary or desirable to limit any of the following:

(i) the kinds of liquor that may be sold;

(ii) the manner in which liquor may be sold;

(iii) the containers, or number or types of containers, in which liquor may be sold;

(iv) the days on which and the times at which liquor can be sold.

Again this is a small restaurant that will only be selling a limited range of liquor. The hours sought are 11:30 to 23:59 seven days per week.

(l) it may be necessary or desirable to prohibit persons or limit the number of persons who may be on licensed premises, on any particular part of the licensed premises or in an adjacent area subject to the control of the licensee:

Not applicable in this case.

(m) it may be necessary or desirable to prohibit promotional activities in which drinks are offered free or at reduced prices:

Not applicable. The concept/theme is for the venue to operate as a family restaurant and there will not be any promotional activities offering reduced priced liquor or encouraging the irresponsible consumption of liquor.

LIQUOR ACT
1st NOTICE OF APPLICATION FOR A
LICENCE TO SELL LIQUOR
CHRISTO'S FISH CAFE PTY LTD

I, CHRISTO PHILLIPOU, HEREBY GIVE NOTICE that I have applied to the Northern Territory Licensing Commission for a conditional "RESTAURANT" Liquor Licence to sell liquor from the premises to be known as **CHRISTO'S FISH CAFE**, located at unit 10/90 Frances Bay Drive, Stuart Park NT 0820.

PROPOSED TRADING DETAILS for the sale of liquor are as follows:

- The business proposed to be conducted on the premises will be in the nature of a restaurant with bar facilities where persons may consume alcohol without the requirement of consuming a meal. Consumption of liquor without a meal is not to be advertised or promoted.
 - The premises shall consist of Bar/Kitchen area with Alfresco Dining.
 - Noise emanating from the premises will be such as to not cause unreasonable disturbance to the businesses premises or to any other person in the vicinity.
 - Liquor may be sold from 11:30 hours until 23:59 hours, seven days a week.
 - The premises shall at all times have the appearance of and shall trade predominantly as a restaurant.
 - The premises shall close no later than one and half hours after the kitchen closes.
- This is the first notice of application. The notice will be published again on Friday 28 August 2009. The objection period is deemed to commence from Friday, 28 August 2009 (date of publication of second notice).
- Pursuant to Section 47F(2) of the Liquor Act an objection may only be made on the ground that the grant of the licence may or will adversely affect:
- (a) the amenity of the neighbourhood where the premises (b) health, education, public safety or social conditions in the community.

Only those persons, organisations or groups described in Section 47F(3) of the Liquor Act may make an objection. Licensing to inform the applicant of the substance of any objection. This will include the identity and where relevant the address of the objector.

For further information regarding this application contact the Director of Licensing on telephone 0899 1800. Objections to this application should be lodged in writing with the Director of Licensing, Licensing, Regulation and Alcohol Strategy, GPO Box 1154, Darwin, within thirty (30) days of the commencement date of the objection period. Dated this 18 Day of August 2009.



Darwin City Council

Website: www.darwin.nt.gov.au

Please quote: 1637085BS:sv

11 September 2009

Director of Licensing
Racing, Gaming and Licensing
GPO Box 1154
DARWIN NT 0801

Dear Sir,

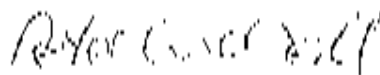
**RESTAURANT LIQUOR LICENCE APPLICATION
CHRISTO'S FISH CAFÉ, LOT 6866, UNIT 10, 90 FRANCES BAY DRIVE,
STUART PARK**

In reference to the above Liquor Licence Application, I advise under delegated authority as follows:

- i). Council raises no objection to the proposal under Section 47F(2) of the Liquor Act.
- ii). Council has no comments in relation to the proposal taking into account the Objects of the Liquor Act as defined in Section 3 and 6 of the Liquor Act.

Please contact Brian Sellers, Planning Officer on 8930 0683 if you wish to discuss this matter further.

Yours sincerely



**PETER LINDWALL
STRATEGIC TOWN PLANNER**



DARWIN NT

ENCL: YES

DARWIN CITY COUNCIL**DATE:** 21/09/09**REPORT****TO:** TOWN PLANNING COMMITTEE MEETING
OPEN B**APPROVED:** BS**FROM:** ACTING GENERAL MANAGER
INFRASTRUCTURE**APPROVED:** PL**REPORT NO:** 09TS0161 BS:sv**APPROVED:** DL**COMMON NO:** 1647293**SUBJECT:** MATERIAL ALTERATION OF LIQUOR LICENSED PREMISES –
CASUARINA ALL SPORTS CLUB – LOT 9099 (269) TROWER ROAD,
CASUARINA**ITEM NO: 10.13****SYNOPSIS:**

Casuarina All Sports Club has applied to the Northern Territory Licensing Commission to increase their liquor licenced area to include an outdoor area as well as a material alteration to their liquor licence premises. The licenced premises are located at 269 Trower Road, Casuarina, **Attachment A**.

Council officers responded to the Director of Licensing, Licensing and Regulation on 23 September 2009, under delegation, **Attachment B**. Council officers had no objections or comments regarding this application.

GENERAL:

Casuarina All Sports Club are applying to licence their existing outdoor area, and to modify the internal area of the club.

Applicant: Casuarina All Sports Club**Name of Premises:** Casuarina All Sports Club**Current Conditions:** The current conditions will remain unchanged.**Trading Hours:** The current trading hours will remain unchanged.**Material Alterations:**

- The restructure of the main front entrance and ceiling area.
- The removal of the existing reception counter and installation of a new expanded counter.

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 SUBJECT: MATERIAL ALTERATION OF LIQUOR LICENSED PREMISES –
 CASUARINA ALL SPORTS CLUB – LOT 9099 (269) TROWER ROAD,
 CASUARINA

- Relocation of the gaming machine area.
- Establish a new outdoor area.
- Renewal of doors to outside area, off the relocated gaming area.
- Construction of a vertical slat fence enclosing the extended area.
- The extension of the licenced premises to cover the proposed outdoor area.

Council's Land Affected

No Council owned or controlled land is affected by the proposal.

Considerations Under The Liquor Act

Grounds For Objection Under Section 47F(2) Of The Liquor Act

Pursuant to Section 47F(2) of the Liquor Act an objection may only be made on the grounds that the grant of the licence may or will adversely affect:

- (a) The amenity of the neighbourhood where the premises the subject of the application are or will be located; or
- (b) Health, education, public safety or social conditions in the community.

Conclusion

There appears to be nothing related to this application which would be grounds for objection under Section 47F(2) of the Liquor Act.

Conditions To A Liquor Licence – Section 3 Objects Of The Act & Section 6 Public Interest Criteria

Approving the extension of the licenced area to include the existing outdoor area is not expected to negatively affect the amenity of the surrounding area.

Conclusion

There appears to be nothing related to this application which would require additional considerations or conditions of the proposed licence under Section 3 & 6 of the Liquor Act.

FINANCIAL IMPLICATIONS:

Nil.

STRATEGIC PLAN IMPLICATIONS:

The issues addressed in this report are in accordance with the following goals/strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

PAGE: 3
REPORT NO: 09TS0161 BS:sv
SUBJECT: MATERIAL ALTERATION OF LIQUOR LICENSED PREMISES –
CASUARINA ALL SPORTS CLUB – LOT 9099 (269) TROWER ROAD,
CASUARINA

Goal

1 Achieve Effective Partnerships and Engage in Collaborative Relationships

Key Strategies

1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin.

LEGAL IMPLICATIONS:

This matter is not considered confidential.

ENVIRONMENTAL IMPLICATIONS:

Nil.

PUBLIC RELATIONS IMPLICATIONS:

Nil.

COMMUNITY SAFETY IMPLICATIONS:

Nil.

DELEGATION:

Letter sent under delegation to the Liquor Licensing Commission on the 23 September 2009.

Delegation :

THAT Darwin City Council, pursuant to section 32(2) of the Local Government Act, 2008, hereby delegates to the Chief Executive Officer or his delegate for the time being the power to:

- I. Determine grounds for objections to Liquor Licence Applications and advise the Liquor Commissioner in writing of Council's objection as and when required in order to meet statutory deadlines under the Northern Territory Liquor Act.
- II. Submit comments on Liquor Licence Applications to the Department of Racing, Gaming and Licensing only when required to meet statutory or Departmental deadlines.

CONSULTATION:

Nil.

PAGE: 4
REPORT NO: 09TS0161 BS:sv
SUBJECT: MATERIAL ALTERATION OF LIQUOR LICENSED PREMISES –
CASUARINA ALL SPORTS CLUB – LOT 9099 (269) TROWER ROAD,
CASUARINA

PROPOSED PUBLIC CONSULTATION PROCESS:

Nil.

APPROPRIATE SIGNAGE

Nil.

RECOMMENDATIONS:

- A. THAT Report Number 09TS0161BS:sv entitled: Material Alteration of Liquor Licensed Premises, Casuarina All Sports Club, Lot 9099 (269) Trower Road, Casuarina, be received and noted.

PETER LINDWALL
STRATEGIC TOWN PLANNER

DROSSO LELEKIS
A/GENERAL MANAGER INFRASTRUCTURE

Any queries on this report may be directed to Brian Sellers, Planning Officer on extension 8930 0683 or b.sellers@darwin.nt.gov.au



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Where Good Sports Meet

SM
SL
14/8

Wednesday 12th August 2009.

The Director of Licensing
Licensing Regulation and Alcohol Strategy
Department of Justice
GPO Box 1154
Darwin NT 0801

Dear Sir,

In accordance with Section 119 of the Liquor Act, the Casuarina All Sports Club Inc. makes application as per the attached plans for a refurbishment of the Casuarina All Sports Club facilities.

The Club has engaged the professional services of Norman Designs to plan, schedule, liaise and obtain all necessary permits and authorities, whilst the Club has sought and obtained, as per our lease agreement, approval from the premises landlord, Pollen Ply Ltd.(enclosed).

The planned refurbishments for the most part are consistent with previously approved premises alterations (2006), with the current works being a deferment of the final stage of that works. We advise that the Development Consent Authority has consented to grant a variation dated 10th August 2009.

The enclosed Plans detail the scope of works the Club has determined to be undertaken, which include:-

- Relocate the gaming lounge
 - We enclose a completed application form as is required for a relocation of a gaming room
- Establish a new outdoor area.
 - In regard to the establishment of an out door facility, we acknowledge that this will require an amendment to the Clubs prescribed licensed area, and as such make such application.
 - In our considerations of this we note that the plan on file in your department delineating the licensed area (attached), is in fact incorrect as this does not pick up the beer garden as was established in the approved premises alterations of 2006.

- We have taken the opportunity to prepare (enclosed) a plan with our understanding of delineated licensed area as is current, in order that this matter may be addressed and amended.

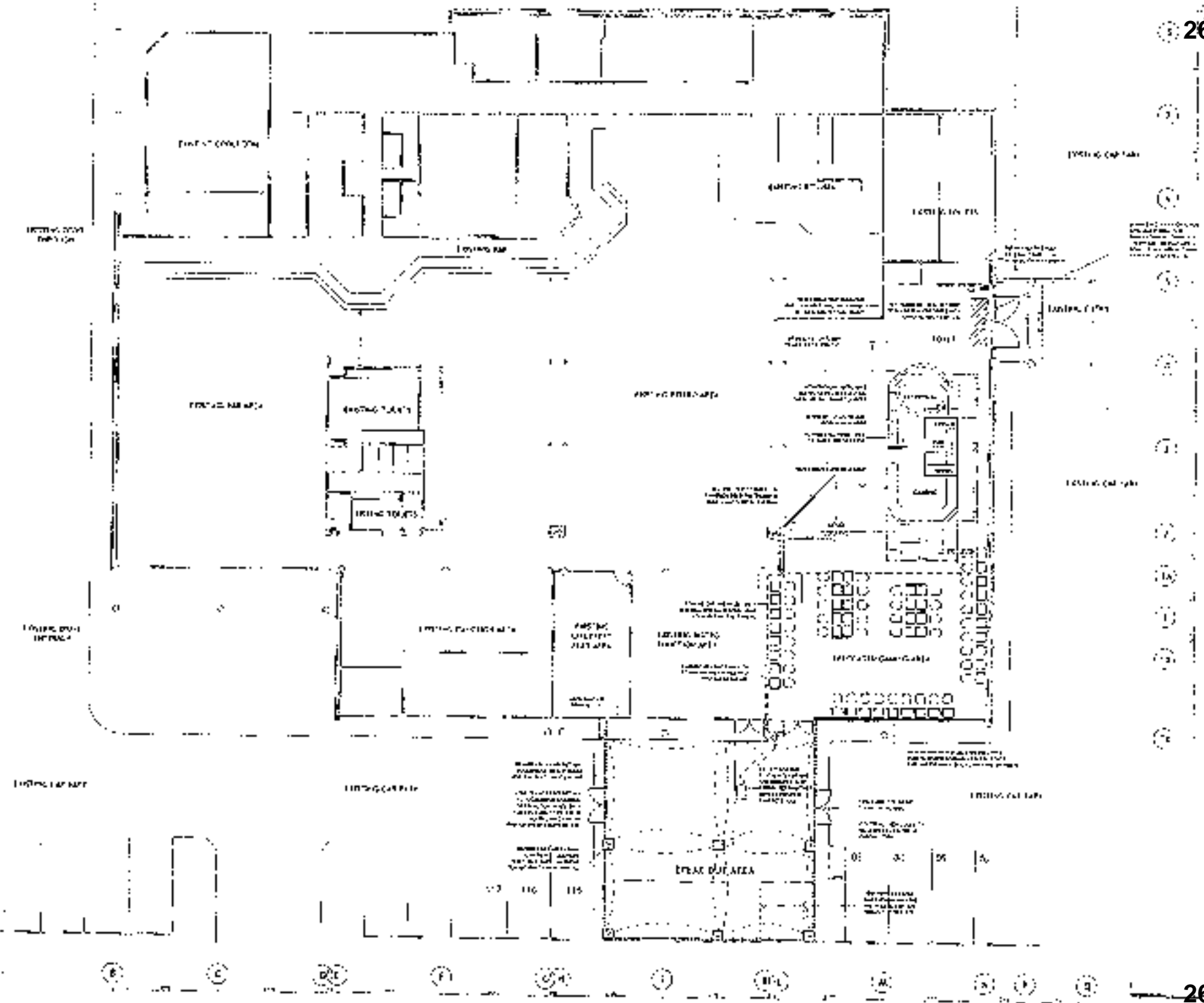
Finally we ask that you appreciate the urgency of this application, given the tight time frame that the Club has available in order to provide the proposed enhanced member amenities and facilities before January 2010.

The General Manager, together with Club Manager would be pleased to meet with you and/or representatives at your convenience to further discuss the attached planned refurbishments works.

Yours Faithfully,



Andrew Hay
General Manager



NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
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LEGEND

- 1. EXISTING WORK
- 2. NEW WORK
- 3. TO BE DEMOLISHED
- 4. TO BE RELOCATED
- 5. TO BE ENLARGED
- 6. TO BE REDUCED
- 7. TO BE REPLACED
- 8. TO BE REPAIRED
- 9. TO BE MAINTAINED
- 10. TO BE PRESERVED

INDEX

1. Lobby Area

2. Restrooms

3. Break Room Area

4. Corridor

5. Office

6. Lobby Bar

7. Lobby Area

8. Lobby Area

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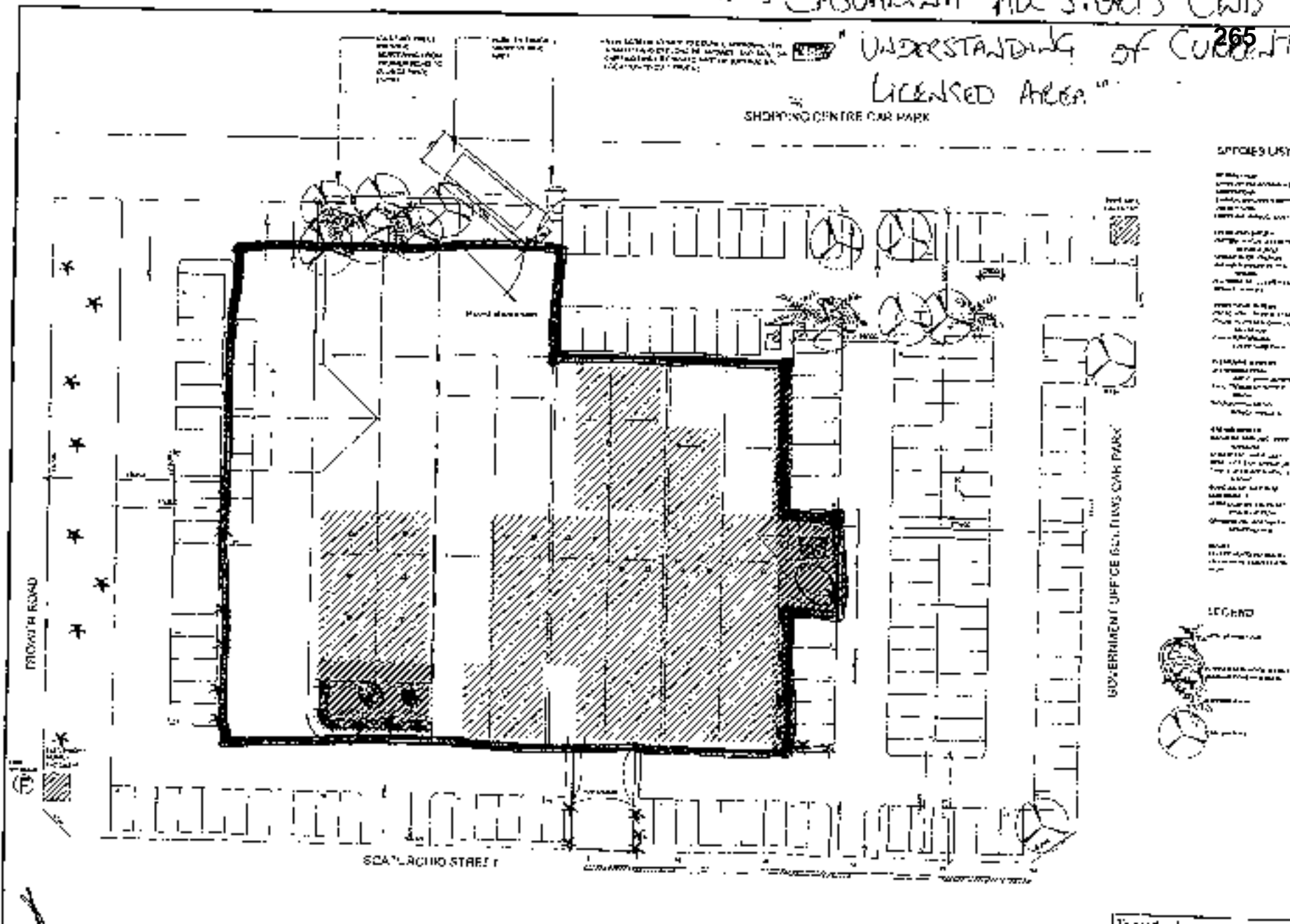
98. Lobby Area

99. Lobby Area

100. Lobby Area

UNDERSTANDING OF CURRENT
LICENSED AREA
SHOPPING CENTRE CAR PARK

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- SCHEDULE LIST**
- 1. EXISTING BUILDING
 - 2. EXISTING CAR PARK
 - 3. EXISTING LANDSCAPE
 - 4. EXISTING SERVICES
 - 5. EXISTING UTILITIES
 - 6. EXISTING FENCES
 - 7. EXISTING SIGNAGE
 - 8. EXISTING LIGHTING
 - 9. EXISTING TREES
 - 10. EXISTING DRIVEWAYS
 - 11. EXISTING WALLS
 - 12. EXISTING ROOFS
 - 13. EXISTING FLOORS
 - 14. EXISTING CEILING
 - 15. EXISTING INTERIORS
 - 16. EXISTING EXTERIORS
 - 17. EXISTING PAINT
 - 18. EXISTING GLASS
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 - 20. EXISTING WOOD
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 - 32. EXISTING JOIST
 - 33. EXISTING SILL
 - 34. EXISTING MOULDING
 - 35. EXISTING TRIM
 - 36. EXISTING DOORS
 - 37. EXISTING WINDOWS
 - 38. EXISTING STAIRS
 - 39. EXISTING ELEVATORS
 - 40. EXISTING ESCALATORS
 - 41. EXISTING MECHANICAL
 - 42. EXISTING ELECTRICAL
 - 43. EXISTING TELEPHONE
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 - 45. EXISTING SECURITY
 - 46. EXISTING ACCESSIBILITY
 - 47. EXISTING SUSTAINABILITY
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 CASUARINA AIR SERVICES CLINO RECONSTRUCTION, LOT 2590, 589 TREWEE ROAD, CASUARINA
 SITE PLAN
 JOB NO. 210506
 DATE 10/11/17
 REV 1/17

architects studio
 10/11/17
 210506

SITE PLAN/ ROOF PLAN

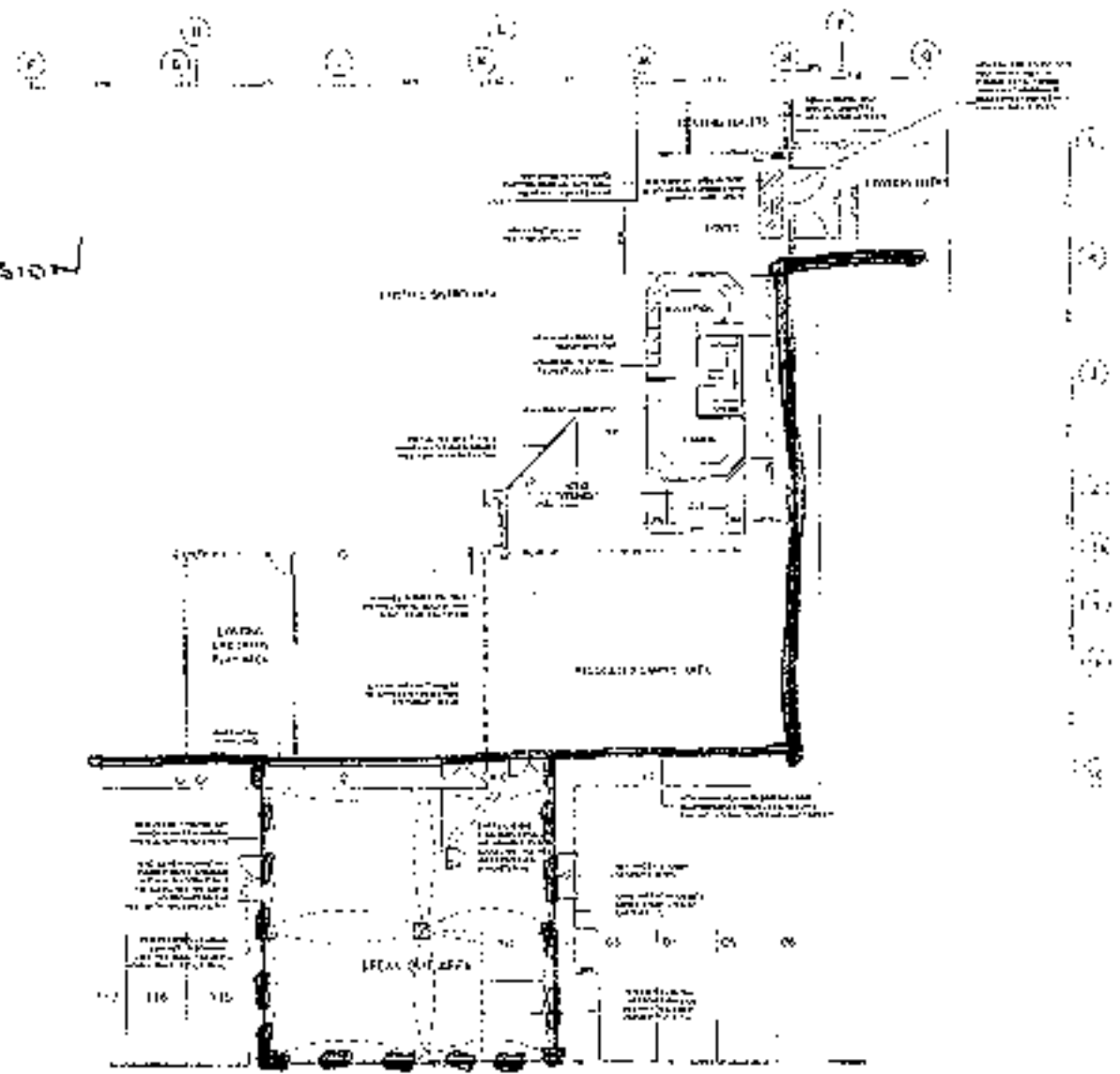
This is the drawing referred to in the
 Permit No. 210506/17
 issued by the Development Control Authority
 on 10/11/17

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EXISTING LICENSED AREA

PROPOSED EXTENSION



LIQUOR ACT AND GAMING MACHINE ACT**1st NOTICE OF APPLICATION FOR MATERIAL ALTERATIONS OF
LICENSED AREA OF****LIQUOR LICENSED PREMISES****CASUARINA ALL SPORTS CLUB**

CASUARINA ALL SPORTS CLUB INCORPORATED, HEREBY GIVE NOTICE that it has applied to the Northern Territory Licensing Commission for a material alteration and extension of licensed area to the premises, Casuarina All Sports Club, Liquor Licence (number 81415370), located at 209 Trower Road, Casuarina NT 0811.

The alterations to the premises will consist of:

- The restructure of the main front entrance and ceiling area.
- The removal of the existing reception counter and installation of a new expanded counter.
- Relocation of the gaming machine area
- Establish a new outdoor area
- Renewal of doors to outside area, off the relocated gaming area.
- Construction of a vertical slat fence enclosing the extended area.
- The extension of the Licensed premises to cover the proposed outdoor area.

The premises licensed liquor hours and conditions will remain unchanged.

This is the first notice of application. The notice will be published again in the Northern Territory News paper on Friday, 4 September 2009.

The objection period is deemed to commence from Friday, 4 September 2009.

Pursuant to Section 47F(2) of the *Liquor Act* an objection may only be made on the ground that the material alterations of licensed premises may or will adversely affect:

- (a) the amenity of the neighbourhood where the premises the subject of the application are or will be located; or
- (b) health, education, public safety or social conditions in the community.

Only those persons, organisations or groups described in Section 47F(3) of the *Liquor Act* may make an objection. Section 47G of the *Liquor Act* requires the Director of Licensing to inform the applicant of the substance of any objection. This will include the identity and where relevant the address of the objector.

For further information regarding this application contact the Director of Licensing on telephone 8999 1800. Objections to this application should be lodged in writing with the Director of Licensing, GPO Box 1154, Darwin, within thirty (30) days of the commencement date of the objection period.

Dated this 2nd Day of September 2009

Development Consent Authority

Northern Territory

GPO BOX 1680
DARWIN NT 0801

Telephone Fax: 089 4999 6044
Facsimile Fax: 089 4999 6035

In reply please quote: D&D06/00135
NMA:HP



Andrew Hay
Casuarina All Sports Club
PO Box 41834
CASUARINA NT 0811

Dear Sir

NOTICE OF CONSENT (SECTION 53B OF THE PLANNING ACT) LOT 2022 (269) TROWER ROAD, TOWN OF NIGHTCLIFF

The Development Consent Authority has determined, in accordance with section 53(a) of the *Planning Act*, to grant consent to the proposal to use and develop the abovementioned land for the purpose of rear garden extensions and alterations to the existing building, subject to the conditions specified on the attached Development Form DPO6/01B3.

Reasons for the Determination

1. The proposed development is generally consistent with the relevant provisions of the NT Planning Scheme and will have no discernible impact on the amenity of the locality.
2. A variation to clause 21.5 (Parking Layout) of the Darwin Town Plan 1990 (as amended) for a minor reduction in the length of some of the parking bays and width of internal access routes is supported as the parking area is constructed and located so as to facilitate its convenient use.

Right of Appeal

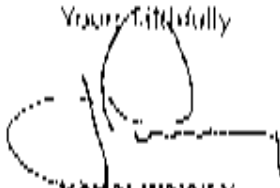
Applicants are advised that a right of appeal to the Appeals Tribunal exists under Part 9 of the *Planning Act*. An appeal under section 134 against a determination of a development application must be made within 28 days of the serving of this notice.

The Registrar of the Appeals Tribunal can provide information regarding the Notice of Appeal form and fees payable. The address for lodgement of a Notice of Appeal is: The Registrar, Appeals Tribunal, GPO Box 2014, DARWIN NT 0801 or Level 3, 9-11 Cavenagh Street, Darwin NT 0800 (Telephone: 08 8399 1471 or Facsimile 08 8999 1473).

There is no right of appeal by a third party under section 117 of the *Planning Act* in respect of this determination as section 117(4) of the Act and regulation 15 of the *Planning Regulations* apply to the application.

If you have any queries in relation to this Notice of Consent or the attached Development Permit, please contact Development Assessment Services on telephone (08) 8299 7067.

Yours faithfully



JOHN PINNEY

Deputy

31/3/2006

Attachment

Cc Darwin City Council

NORTHERN TERRITORY OF AUSTRALIA

*Planning Act - sections 34 and 35***DEVELOPMENT PERMIT**

DP06/0183

DESCRIPTION OF LAND THE SUBJECT OF THE PERMIT

Lot 09099

Town of Nightcliff

269 TROWER RD, CASUARINA

APPROVED PURPOSE

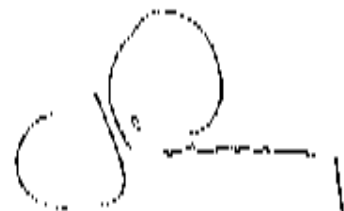
To use and develop the land for the purpose of a beer garden extension and alterations to the existing building consisting of relocation of gaming area, provision of a shade structure over an existing entrance, new entry foyer, reception counter, small bar and an office area, in accordance with the attached schedule of conditions and the endorsed plans.

VARIATIONS GRANTED

Variation to Clause 21.5 (Parking Layout) of the Darwin Town Plan 1990 (as amended).

BASE PERIOD OF THE PERMIT

Subject to the provisions of sections 38, 39 and 39A of the Planning Act, this permit will lapse two years from the date of issue.



JOHN FINNEY
Delegate
Development Consent Authority

31/3/2006

NORTHERN TERRITORY OF AUSTRALIA

Planning Act - Section 17(3)

VARIATION OF CONDITIONS

DP06/0188C

DESCRIPTION OF LAND THE SUBJECT OF THE PERMIT

Lot 09099

Town of Nightcliff

269 TROWER RD, CASUARINA

VARIATION

Consent is granted to vary condition 1 of Development Permit DP06/0188C for the purpose of minor alterations to site layout and modifications to existing car parking, in accordance with drawing numbers 2006/0035/C1, to 2006/0035/C5, endorsed as forming part of this permit.

In all other respects Development Permit DP06/0188C and its subsequent variations remain unchanged.

BASE PERIOD OF THE PERMIT

This permit does not extend the base period of the original permit.



PETER McQUEEN

Delegate

Development Consent Authority

10/18/2009

DEVELOPMENT PERMIT

DP06/0183

SCHEDULE OF CONDITIONS

1. Works carried out under this permit shall be in accordance with drawing numbers S01-A, S02, S03 and S04 endorsed as forming part of this permit.
2. Any developments on or adjacent to any easements on site shall be carried out to the requirements of the relevant service authority to the satisfaction of the consent authority.
3. Storm water is to be collected and discharged into the drainage network to the technical standards of and at no cost to Darwin City Council to the satisfaction of the consent authority.
4. The owner of the land must enter into agreements with the relevant authorities for the provision of water supply, drainage, sewerage facilities and electricity services to the land shown on the endorsed plan in accordance with the authorities' requirements and relevant legislation at the time.
5. Storage for waste disposal bins is to be provided to the requirements of Darwin City Council to the satisfaction of the consent authority.



Darwin City Council

Website: www.darwin.nt.gov.au

Please quote: 1647293 BS:sv

28 September 2009

Director of Licensing
Racing, Gaming and Licensing
GPO Box 1154
DARWIN NT 0801

Dear Sir,

**Material Alteration of Liquor Licensed Premises – Casuarina All Sports Club
Lot 9099 (269) Trower Road, Casuarina**

In reference to the above Liquor Licence Application, I advise under delegated authority as follows:

- i). Council raises no objection to the proposal under Section 47F(2) of the Liquor Act.
- i). Council has no comments in relation to the proposal taking into account the Objects of the Liquor Act as defined in Section 3 and 6 of the Liquor Act.

Please contact Brian Sellers, Planning Officer on 8930 0683 if you have any queries.

Yours sincerely

PETER LINDWALL
STRATEGIC TOWN PLANNER



DARWIN200

ENCL: YES

DARWIN CITY COUNCIL**DATE:** 31/08/09**REPORT****TO:** TOWN PLANNING COMMITTEE MEETING
OPEN B**APPROVED:** BS**FROM:** GENERAL MANAGER INFRASTRUCTURE**APPROVED:** PL**REPORT NO:** 09TS0145 BS:sv**APPROVED:** LC**COMMON NO:** 1524237**SUBJECT:** MATERIAL ALTERATIONS OF LIQUOR LICENSED PREMISES
THE FOX ALE HOUSE, LOT 627 (85) MITCHELL STREET, DARWIN**ITEM NO: 10.14****SYNOPSIS:**

Nundor Pty Ltd has applied to the Northern Territory Licensing Commission for a material alteration to their liquor licence premises, being The Fox Ale House. The premises are located at 85 Mitchell Street, Darwin, **Attachment A**. The alteration is for internal changes only.

Council officers responded to the Director of Licensing, Licensing and Regulation on 9 September 2009, under delegation, **Attachment B**. Council officers had no objections or comments regarding this application.

GENERAL:

Nundor are making a number of internal alterations to their premises in Mitchell Street. The alterations are to increase the inside area and security for patrons utilising the premises. No alterations have been proposed for the approved licenced alfresco area on Council road reserve.

Applicant: Nundor Pty Ltd**Name of Premises:** The Fox Ale House**Current Conditions:** The current conditions will remain unchanged.**Trading Hours:** The current trading hours will remain unchanged.

PAGE: 2
REPORT NO: 09TS0145 BS:sv
SUBJECT: MATERIAL ALTERATIONS OF LIQUOR LICENSED PREMISES
THE FOX ALE HOUSE, LOT 627 (85) MITCHELL STREET, DARWIN

Material Alterations:

- The removal of the main internal entrance portico.
- The removal of the rear seating area existing floor (3 tier) to level off with the main floor, with the relocation of the gaming machines to this area and a dining area to be situated in the current gaming area.
- Installation of a new coffee bar inside, to service patrons with coffee, sandwiches and light snacks outside of dining times.
- Minor modifications to the kitchen area.

Council's Land Affected

No Council owned or controlled land is affected by the proposal.

Considerations Under The Liquor Act**Grounds For Objection Under Section 47F(2) Of The Liquor Act**

Pursuant to Section 47F(2) of the Liquor Act an objection may only be made on the grounds that the grant of the licence may or will adversely affect:

- (a) The amenity of the neighbourhood where the premises the subject of the application are or will be located; or
- (b) Health, education, public safety or social conditions in the community.

Conclusion

There appears to be nothing related to this application which would be grounds for objection under Section 47F(2) of the Liquor Act.

Conditions To A Liquor Licence – Section 3 Objects Of The Act & Section 6 Public Interest Criteria**Conclusion**

There appears to be nothing related to this application which would require additional considerations or conditions of the proposed licence under Section 3 & 6 of the Liquor Act.

FINANCIAL IMPLICATIONS:

Nil.

ACTION PLAN IMPLICATIONS:

The issues addressed in this Report are in accordance with the following Goals/Strategies of the Darwin City Council 2008 – 2012 as outlined in the 'Evolving Darwin Strategic Directions: Towards 2020 and Beyond':-

Goal 1: Achieve Effective Partnerships and Engage in Collaborative Relationships

Outcome

1.1 Improve relations with all levels of Government

Key Strategies

1.1.4 Play a strategic role in the planning and developmental processes that impact Darwin

LEGAL IMPLICATIONS:

This matter is not considered confidential.

ENVIRONMENTAL IMPLICATIONS:

Nil.

PUBLIC RELATIONS IMPLICATIONS:

Nil.

COMMUNITY SAFETY IMPLICATIONS:

Nil.

DELEGATION:

Letter sent under delegation to the Liquor Licensing Commission on the 9 September 2009.

Delegation :

THAT Darwin City Council, pursuant to section 32(2) of the Local Government Act, 2008, hereby delegates to the Chief Executive Officer or his delegate for the time being the power to:

- I. Determine grounds for objections to Liquor Licence Applications and advise the Liquor Commissioner in writing of Council's objection as and when required in order to meet statutory deadlines under the Northern Territory Liquor Act.
- II. Submit comments on Liquor Licence Applications to the Department of Racing, Gaming and Licensing only when required to meet statutory or Departmental deadlines.

PAGE: 4
REPORT NO: 09TS0145 BS:sv
SUBJECT: MATERIAL ALTERATIONS OF LIQUOR LICENSED PREMISES
THE FOX ALE HOUSE, LOT 627 (85) MITCHELL STREET, DARWIN

CONSULTATION:

Nil.

PROPOSED PUBLIC CONSULTATION PROCESS:

Nil.

APPROPRIATE SIGNAGE

Nil.

RECOMMENDATIONS:

- A. THAT Report Number 09TS0145 BS:sv entitled, Material Alterations of Liquor Licensed Premises, The Fox Ale House, Lot 627 (85) Mitchell Street, Darwin, be received and noted.

PETER LINDWALL
STRATEGIC TOWN PLANNER

DROSSO LELEKIS
A/GENERAL MANAGER INFRASTRUCTURE

Any queries on this report may be directed to Brian Sellers, Planning Officer on extension 8930 0683 or b.sellers@darwin.nt.gov.au

10th March 2009

Director of Licensing
Knuckey Street
Darwin NT 0800

RE: THE FOX ALE HOUSE, 85 MITCHELL STREET DARWIN

LIQUOR LICENSE NUMBER: 80316831

Dear Sir

We hereby make formal application for approval to modify the following areas of the premises registered as the Fox Ale House:

Front entrance:

The current entrance incorporates a portico, with a double front entrance which on entry patrons or guests must open two doors to gain entry into the main bar area.

The second set of double doors is fronted glass which restricts visibility upon entry and from the perspective of staff on the premises restricts visibility of guests entering or vacating the premises.

The removal of the portico and positioned walls to a level double fronted street door entrance will allow ease and visibility of access and also open the bar and entertainment area into a larger open plan room area whilst improving acoustics. This also will allow more flexibility for wheelchair access into the premises.

Rear seating area:

The rear area originally was utilized as a stage for entertainment and is currently utilized as a private seating and dining area -- however this area is narrow and is three steps above the level of the main floor. We believe this area could possibly be raised as an OH&S issue and are conscious of the safety of staff and guests.

The intention is to remove the existing floor, level off with the existing floor throughout, re-carpet and relocate the Gaming Machines from the gaming room into this area. The area is large enough to accommodate the gaming machines and the coin dispenser with the required spacing between machines as per the gaming license requirements. Attached is a brief layout (not to scale) indicating the positioning of the gaming machines when re-located.

Gaming Room:

Upon relocation of the gaming machines the current gaming room will be utilized for dining and/or private meeting or functions. As per the business plan prepared for the operation of the business the intention is to increase service levels for patrons and

MENDOR PTY LTD - TRADING AS THE FOX ALE HOUSE

LHM - 08 133 722 197 • Address: 85 Mitchell Street Darwin • PO Box 1199 Darwin NT 0801 • Tel: 08 8942 1811
 Fax: 08 3942 1866 Mobile: 0499 316 512 • Email: foxalehouse@bigpond.com

guests by providing more flexibility in the delivery of meals, the introduction of coffee and regular snacks throughout the day. The gaming room will provide a more functional area, and from a business perspective maximizing the return on investment per square metre.

The remodeling of the three areas listed above will provide a safe environment and a substantially more functional area for patrons and guests.

Works to remove the portico walls and rear stage area also will be conducted outside of trading hours to reduce inconvenience to patrons and for safety considerations.

Relocation of the gaming machines will be undertaken in accordance with gaming regulation and conducted by approved service technicians such as Bytecraft and NBC Communications together with required approval by Fire and Safety.

We seek authorisation to undertake the above works and approval to proceed with the modifications as soon as practicable following any advertising period required, preferably to be completed prior to the upcoming Dry Season.

If you require further information please do not hesitate to contact the writer on any of the numbers below.

Yours sincerely

Daryl Nunn
Director

Dorreyella Carmody
Director

Nominee
Nundor Pty Ltd
Liquor Licence Number 80316631



The Fox Ale House

**85 Mitchell Street, Darwin
Northern Territory**

Application for modification to premises

Liquor License Number: 00316631

Background

The Fox Ale House is an established licensed hotel located within the CBD of tropical Darwin, Northern Territory – License Number 80316631. The Leasehold business was purchased by Nundor Pty Ltd in February 2009.

Located on Mitchell Street, the main entertainment strip of the Darwin CBD, The Fox Ale House trades seven days a week currently catering for lunch and dinner Monday to Sunday. Licensed to accommodate 185 patrons, the venue offers an alfresco seating area with comfortable dining for 50 seated patrons. There is one main bar which services the whole of the premises.

The Ale House offers a wide range of imported beers offering familiarity and variety for patrons of which many are international travellers. Traditional pub meals are available from the restaurant seven days a week for lunch and dinner.

Trading hours are from 11.30am until 2.00am Sunday to Saturday. Meals are currently available on request between the hours of 12-2pm and 6-8pm seven days a week. Under the current Liquor license in place the policy prohibits trading on Good Friday and Christmas Day. Application for extended hours is through Special permit application.

Lunch and dinner meals service a diverse range of customers including tourists, regional visitors, local businesses, offices and government office employees, construction workers and local residents of Darwin and the Palmerston region.

The age trend of patrons is diverse from 25 years upwards.

Proposal

The letter of application for modifications to the premises is attached for licensing commission approval. In addressing the Objects of the Liquor Act against the attached application the following is proposed:

Front entrance:

The removal of the portico and positioned walls to a level double fronted street door entrance will allow ease and visibility of access and also open the bar and entertainment area into a larger open plan room area whilst improving acoustics. This also will allow more flexibility for wheelchair access into the premises. Visibility of patrons from all angles from the bar and externally for staff and security will also be improved for crowd control purposes. Patrons carrying drinks through two sets of doors causes spillage, the proposed modification will eliminate unnecessary accidents and is in the best interest of public safety.

Modifications will be undertaken in accordance with Northern Territory Building and Planning regulation and approval.

Existing Rear Seating Area to Gaming Room

The proposed modification to lower the currently raised floor is considered to be in the interest of patrons, guests and staff, as this area is currently a safety issue for all who utilise the area.

Page 1 of 2

The modification of the floor level and relocation of the ten gaming machines into this area would enable a more functional area for patrons and guests. The new gaming area will contain one only coin dispenser machine and machines will be positioned in accordance with gaming regulations. Staff will provide beverage service to guests in this area. The gaming room will be partitioned in such a way that the noise from the gaming machines will be contained within, so as to not cause undue annoyance or disturbance to other patrons within the premises. The partitioning will also provide privacy for players but will be accessible for staff to monitor guests and player activity. An additional security surveillance camera will be installed as per the Camera Surveillance guidelines.

Existing Gaming Room to Dining Room

The proposal to relocate the existing gaming machines into the rear area will provision an extra dining room for patrons and guests, and provide an amenity for small functions and business meetings. Within the new dining area table seating will be provided and will be table or tray serviced responsibly by staff for meals and the service of alcohol. Product range will include Australian and imported liquor including a range of premium quality and upmarket Australian wines. Wine lists will be available to guests in the dining area. Quality glassware will also be used in service.

Pricing of meals within the dining area will be consistent throughout the venue.

Light background or piped music only will be available in the dining area.

The new dining area will provide patrons with an alternative dining area providing privacy and a quiet area in addition to the current alfresco and main bar area. Dining trade times will be in accordance with the current license no BQ316631, 12 noon – 2pm and 6pm – 10pm.

Currently the majority of bar staff employed on the premises hold a Responsible Service of Alcohol Certificate and further training by management is provided relevant to each staff member's role. From 1 July 2009, all employed bar and wait staff will hold a current RSA Certificate.

Introduction of coffee

The introduction of espresso coffee sales and associated products such as sandwiches, light snacks will enhance the image of the premises and make available food for patrons outside of dining times whilst consuming alcohol during trade hours promoting responsible consumption. This area will also incorporate a reception desk, under-bench refrigerator and Bain Marie for service. The coffee area will be staffed by an authorised Barista operator and further training provided to staff utilising the equipment.

The proposed dining/function and coffee area will provide diversity within the licensed premises and associated services and facilities for members of the local community.

Public order and safety must not be jeopardised, particularly where any function or event attracts large numbers of persons to the premises or an area adjacent to the premises – the maximum number of persons on the premises under the current license is 188 and crowd controllers are engaged on the premises for such events. Mr Nunn has also completed the Certificate 11 in Security Operations.

As per the terms of the Liquor License special conditions specify for Camera Surveillance and licensed security guards as minimum requirement. The current installed surveillance system comprises of:

- 10 Cameras
- Tachtech switching
- TE NEG Grounded SEC 1212 supply
- IBM DVD record PC
- Samsung 17" LCD touch screen control.
- The system and it's recordings are secure from unauthorised access in the office which is locked when unattended
- A daily functionality check of the camera surveillance equipment is conducted and recorded in line with the Camera surveillance requirements and guidelines.
- Appropriate staff are trained and authorised to use the equipment as per the guidelines.

Credit facilities

The premises currently has an ATM installed adjacent to the main bar area. Purchases for meals and beverages may be tendered by cash, debit or nationally recognised credit card. Credit book up or IOU is prohibited in the sale of liquor on the premises.

Entertainment

It is considered that the proposed modifications will not further effect or increase noise levels emanating from the premises.

The licensee shall not play or permit techno music, acid music, heavy metal or death metal music to be played in the premises. The maximum noise emanating from the licensed premises as measured at any premises where a person resides shall not exceed the limit specified (and for the periods of the day prescribed) by the Environmental Protection Act of South Australia in the Information Sheet on Environmental Noise dated 27 July 2002 in respect of premises classified as 'predominantly commercial', that is to say:

65dB(A) from 7am - 11pm; and
60dB(A) from 11pm - 7am

Summary

As a family owned and operated business – Daryl Nunn, Director and as licensee is conscious in promoting responsible service of alcohol and does not allow irresponsible consumption or offensive or disruptive behaviour by patrons on the premises.

Although patrons must accept responsibility for their own behaviour, the licensee, staff and management have a responsibility towards patrons. If responsibility is not carried out, this can have an effect on cost and reputation.

It is considered that the intended modifications would not cause undue offence, annoyance disturbance or inconvenience to persons who reside or work in the area. The operation of the Fox Ale House is similar to other businesses within the immediate vicinity and the modifications will provide a more functional and safer environment for patrons.

Nunder seek authorisation to undertake the above works and approval to proceed with the modifications as soon as practicable following the required advertising period and all modifications undertaken will be in accordance with Northern Territory Building and Planning regulation and approval.

2/10/2014

LIQUOR ACT AND GAMING MACHINE ACT**1st NOTICE OF APPLICATION FOR MATERIAL ALTERATIONS OF
LICENSED AREA OF****LIQUOR LICENSED PREMISES****THE FOX ALE HOUSE**

NUNDOR PTY LTD, HEREBY GIVE NOTICE that it has applied to the Northern Territory Licensing Commission for a material alteration of licensed area to the premises, Liquor Licence (number 80316631) for the The Fox Ale House, located at 85 Mitchell Street, Darwin NT 0800.

The alterations to the premises will consist of:

- The removal of the main front entrance portico.
- The removal of the rear seating area existing floor (3 step floor) to level off with the main floor, with the relocation of the gaming machines to this area and a dining area to be situated in the current gaming area.
- Installation of a new coffee bar inside, to service patrons with coffee, sandwiches and light snacks outside of dining times.
- Minor modifications to the kitchen area.

The premises licensed liquor hours and conditions will remain unchanged.

This is the first notice of application. The notice will be published again in the Northern Territory News paper on ~~Wednesday~~, 19 August 2009.

The objection period is deemed to commence from ~~Friday~~, 21 August 2009.

Pursuant to Section 47F(2) of the *Liquor Act* an objection may only be made on the ground that the material alterations of licensed premises may or will adversely affect:

- (a) the amenity of the neighbourhood where the premises the subject of the application are or will be located; or
- (b) health, education, public safety or social conditions in the community.

Only those persons, organisations or groups described in Section 47F(3) of the *Liquor Act* may make an objection. Section 47G of the *Liquor Act* requires the Director of Licensing to inform the applicant of the substance of any objection. This will include the identity and where relevant the address of the objector.

For further information regarding this application contact the Director of Licensing on telephone 8999 1800. Objections to this application should be lodged in writing with the Director of Licensing, GPO Box 1154, Darwin, within thirty (30) days of the commencement date of the objection period.

Dated this 10th Day of August 2009

LIQUOR ACT AND GAMING MACHINE ACT**2ND NOTICE OF APPLICATION FOR MATERIAL ALTERATIONS OF
LICENSED AREA OF****LIQUOR LICENSED PREMISES****THE FOX ALE HOUSE**

NUNDOR PTY LTD, HEREBY GIVE NOTICE that it has applied to the Northern Territory Licensing Commission for a material alteration of licensed area to the premises, Liquor Licence (number 80316831) for The Fox Ale House, located at 85 Mitchell Street, Darwin NT 0800.

The alterations to the premises will consist of:

- The removal of the main front entrance portico.
- The removal of the rear seating area existing floor (3 step tier) to level off with the main floor, with the relocation of the gaming machines to this area and a dining area to be situated in the current gaming area.
- Installation of a new coffee bar inside, to service patrons with coffee, sandwiches and light snacks outside of dining times.
- Minor modifications to the kitchen area.

The premises licensed liquor hours and conditions will remain unchanged.

This is the second notice of application.

The objection period is deemed to commence from Friday, 21 August 2009.

Pursuant to Section 47F(2) of the *Liquor Act* an objection may only be made on the ground that the material alterations of licensed premises may or will adversely affect:

- (a) the amenity of the neighbourhood where the premises the subject of the application are or will be located; or
- (b) health, education, public safety or social conditions in the community.

Only those persons, organisations or groups described in Section 47F(3) of the *Liquor Act* may make an objection. Section 47G of the *Liquor Act* requires the Director of Licensing to inform the applicant of the substance of any objection. This will include the identity and where relevant the address of the objector.

For further information regarding this application contact the Director of Licensing on telephone 8999 1800. Objections to this application should be lodged in writing with the Director of Licensing, GPO Box 1154, Darwin, within thirty (30) days of the commencement date of the objection period.

Dated this 21st Day of August 2009



Darwin City Council

Website: www.darwin.nt.gov.au

Please quote: 1643496BS:sv

9 September 2009

Director of Licensing
 Racing, Gaming and Licensing
 GPO Box 1154
 DARWIN NT 0801

Dear Sir,

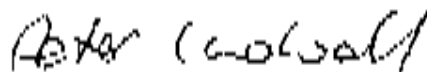
**Material Alterations of Liquor Licensed Premises
 Darwin Railway Sports & Social Club, Lot 4901,
 (4901) Somerville Gardens, Parap**

In reference to the above Liquor Licence Application, I advise under delegated authority as follows:

- i). Council raises no objection to the proposal under Section 47F(2) of the Liquor Act.
- ii). Council has no comments in relation to the proposal taking into account the Objects of the Liquor Act as defined in Section 3 and 6 of the Liquor Act.

Please contact Brian Sellers, Planning Officer on 8930 0683 if you wish to discuss this matter further.

Yours sincerely



**PETER LINDWALL
 STRATEGIC TOWN PLANNER**



DARWIN 0801

OPEN SECTION

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TP10/8

Town Planning Committee Meeting – Wednesday, 7 October, 2009**11 INFORMATION ITEMS****11.1 Minutes of the Development Consent Authority Meeting – 4 September, 2009 and 18 September, 2009**

Document No. 1660292 (04/09/09) Common No. 1660292

Document No. 1660314 (18/09/09) Common No. 1660314

*The Minutes of the Development Consent Authority Meeting held on 4 September, 2009 and 18 September, 2009 are distributed as a separate attachment.***COMMITTEE'S DECISION**

THAT the Committee resolve under delegated authority that the Minutes of the Development Consent Authority Meeting held on 4 September, 2009 and 18 September, 2009, be received and noted.

DECISION NO.20\() (07/10/09)



OPEN SECTION

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TP10/9

Town Planning Committee Meeting – Wednesday, 7 October, 2009**11 INFORMATION ITEMS****11.2 Various Letters sent to Development Assessment Services under Delegated Authority**

COMMITTEE'S DECISION

THAT the Committee resolve under delegated authority that the following letters sent to Development Assessment Services, be received and noted:-

- i) Lot 2243 (4) Hinkler Crescent, Fannie Bay PROPOSED DEVELOPMENT 4 X 3 Bedroom Multiple Dwellings in 2 x 2 Storey Buildings – Common Number 1635206 CT:sv dated 4 September 2009.
- ii) Lot 1129 (17) Gardens Hill Crescent, The Gardens, Town of Darwin, PROPOSED DEVELOPMENT: 4 X 3 Bedroom Multiple Dwellings in a 2 Storey Building – Common Number 1643628 PL:sv dated 18 September 2009.
- iii) Lot 10305 (7) Gumimba Crescent Lyons Town of Nightcliff PROPOSED DEVELOPMENT 2 X 3 Bedroom Multiple Dwellings in a 2 Storey Building – Common Number 1643634 PL:sv dated 16 September 2009.
- iv) Lot 4608 (6) Willes Road, Berrimah PROPOSED DEVELOPMENT 42 Self Storage Warehouse Units NOT EXHIBITED – Common Number 1630668 PL:sv dated 26 August 2009.
- v) REVISED LETTER, Lot 9327 (125) Dick Ward Drive Coconut Grove Town of Nightcliff PROPOSED DEVELOPMENT Subdivision to Create 8 Lots including 2 for Multiple Dwellings – Common Number 1643631 PL:sv dated 18 September 2009.
- vi) Lot 2338 (17) Cavenagh Street Darwin Town of Darwin PROPOSED DEVELOPMENT Of Motel Offices Restaurant and Shop in a 21 Storey Building – Common number 1601960 PL sv dated 16 September 2009.
- vii) Lot 2528 (5) Margaret Street Stuart Park – Town of Darwin PROPOSED DEVELOPMENT – Carport Additions to an Existing Multiple Dwelling (Unit 2) – Common number 1650705 PL sv dated 15 September 2009.
- viii) Lot 1557 (26) Farrell Crescent Winnellie Hundred of Bagot PROPOSED DEVELOPMENT – Change in Use to Warehouse with Associated Car parking and Landscaping – Common number 1642525 PL sv dated 16 September 2009.
- ix) Portion 1349 (119) Reichardt Road Winnellie Hundred of Bagot PROPOSED DEVELOPMENT change of Use for A Portion of a Building from Warehouse to Office – Common number 1644265 PL sv dated 16 September 2009.
- x) Lot 4894 (18) Mahogany Crescent Karama town Of Sanderson PROPOSED DEVELOPMENT Verandah / Balcony Addition to an Existing 2 Storey Single Dwelling with a Reduced Front Setback – Common number 1643633 PL sv dated 15 September 2009.
- xi) Lot 5142 (43) Rosewood Crescent Leanyer – Town Of Sanderson PROPOSED DEVELOPMENT – Extension to an Existing Multiple Dwelling (Unit 4) – Common number 1650704 PL sv dated 15 September 2009.

(Continued next page...)



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TP10/10

Town Planning Committee Meeting – Wednesday, 7 October, 2009**11 INFORMATION ITEMS****11.2 Various Letters sent to Development Assessment Services under Delegated Authority***(...Continued from previous page)*

- xii) Lot 6072 (6) O'Ferrals Road Bayview Town of Darwin PROPOSED DEVELOPMENT Single Dwellings with Reduced Front Setback – Common number 1643630 PL sv dated 15 September 2009.
- xiii) Lot 9633 (8) Sovereign Circuit Coconut Grove Town Of Nightcliff PROPOSED DEVELOPMENT Addition Of An Undercover Area (Laundry) to An Existing Multiple Dwelling (Unit 2) – Common number 1643632 RB sv dated 16 September 2009.
- xiv) Lot 829 (36) Nightcliff road Rapid Creek Town Of Nightcliff PROPOSED DEVELOPMENT Carport Addition To An Existing Single Dwelling with a Reduced Secondary Street Setback – Common number 1644266 PL sv dated 15 September 2009.
- xv) Lot 3709 (12) butters Street Moil, Town of Nightcliff PROPOSED DEVELOPMENT Variation to existing Under Cover Parking and Side Set Backs Due to Location of Existing Buildings on Site. NOT EXHIBITED – Common number 1638644 PL:sv dated 10 September 2009.
- xvi) Lot 4510 (2) Rosewood Crescent Leanyer town of Sanderson PROPOSED DEVELOPMENT store Room 10m2 with Variation to Side Setback NOT EXHIBITED – Common number 1638646 PL:sv dated 10 September 2009.
- xvii) Lot 5341 (1) Buffalo Court Darwin City PROPOSED DEVELOPMENT Change of Use from Office to Medical Clinic – Common number 1638841 RB:sv dated 11 September 2009.
- xviii) Lot 4806 (133) Bagot Road Ludmilla PROPOSED DEVELOPMENT – Shade Structure over Existing Basketball Court Exceeding 8.5m Height Limitation – Common number 1638839 RB:sv dated 11 September 2009.
- xix) Lot 6217 (6) Eaton Place Karama PROPOSED DEVELOPMENT Verandah Addition to an Existing Single Dwelling with a Reduced Front Setback – Common number PL:sv dated 4 September 2009.
- xx) READVERTISED Lot 2897 (12) Christie Street Fannie Bay PROPOSED DEVELOPMENT Additions to Existing Single Dwelling Including Additions/Alterations to the Second Storey and a Carport Addition with Reduced Front and Side Setbacks – Common number 1634891 PL:sv dated 4 September 2009.
- xxi) NOT EXHIBITED Lot 8727 (5) Durand Court Coconut Grove PROPOSED DEVELOPMENT Construction of an External Awning for Car parking and Staff Under cover work Area with Reduced Side Setbacks – Common number 1632960 PC:sv dated 1 September 2009.
- xxii) Lot 5672 (24) Coolinda Crescent Karama PROPOSED DEVELOPMENT Shade Structure Addition to an Existing Single Dwelling with a Reduced Front Setback – Common number 1630142 PL:sv dated 28 August 2009.
- xxiii) Lot 1532 (390) Cavenagh Street Darwin City Town of Darwin PROPOSED DEVELOPMENT – Subdivision to Create 4 Building Lots and Common Property – Common number 1653725 dated 22 September 2009.
- xxiv) Lot 4498 (66) Nemark Drive Ludmilla Town of Darwin PROPOSED DEVELOPMENT – Verandah / Balcony Addition to an Existing Single Dwelling with a Reduced Front Setback – Common number 1653720 PL:sv dated 2 October 2009.

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TP10/11

Town Planning Committee Meeting – Wednesday, 7 October, 2009**11 INFORMATION ITEMS****11.2 Various Letters sent to Development Assessment Services under Delegated Authority***(...Continued from previous page)*

xxv) Lot 3293 (15) links road Marrara Hundred of Bagot PROPOSED DEVELOPMENT – Verandah Addition to an Existing Multiple Dwelling (Unit 11) – Common number 1653724 PL:sv dated 2 October 2009.

xxvi) Lot 7610 (19) Kitchener Drive Darwin city town of Darwin PROPOSED DEVELOPMENT – changes to the Development approved by DP05/0547 to Enclose Part of the private Open space balcony Areas at Level 6 of Building – Common number 1653719 PL:sv dated 2 October 2009.

xxvii)

DECISION NO.20\() (07/10/09)



Please quote 1635206 CTS/v

4 September 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

Lot 2243 (4) Hinkler Crescent, Fannie Bay
PROPOSED DEVELOPMENT 4 x 3 Bedroom Multiple Dwellings In 2 x 2 Storey Buildings

Thank you for the Development Application referred to this office on 21 August 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- 1). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:

- a). **Council requests the Authority requires amended development application plans demonstrating a waste bin enclosure that meets the requirements of Council's Waste Bin Policy (Policy No. 333 – as amended 26/2/08).**

- 1). The waste bin enclosure shown on the submitted plans is located at the far end of the vehicle driveway between units 1 and 3 and does not meet Council's requirements. Developments of 4 multiple dwellings or more will be provided with a 'manual' waste bin collection service by Council, with the Council contractor entering the property to service the bins.



DARWIN

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The communal waste and recycling storage enclosure should be easily accessible to the contractor from the road verge area and not located behind any type of security gate. Council requests that the waste bin enclosure for the proposed development is therefore, relocated towards the Hinkler Crescent frontage of the property and outside of the proposed security gate. The walls of the enclosure should not block the sightlines for drivers and pedestrians entering or leaving the property and also for pedestrians using the footpath in front of the property.

2). Council will issue a 4 unit residential development with 1 x 240-litre garbage bin (serviced twice weekly) and 1 x 240-litre recycling bin (serviced once weekly). The waste bin storage area should therefore be of sufficient size to house 2 x 240-litre bins.

b). **Council requests the Authority requires a schematic plan demonstrating how stormwater will be collected on the site and discharged underground to Council's stormwater drainage system.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged underground to Council's drainage network.

1). The stormwater plan should include details of site levels and Council's stormwater drain connection points within the vicinity of the site. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system.

2). Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into Council's stormwater drainage system. It is also necessary to ensure that no stormwater will sheet-flow onto the road reserve or adjoining properties, including the Council park to the rear of the site.

ii). **Should the above issues be adequately addressed, Council offers the following comments;**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

a). **The crossover and driveway appear to meet Council's requirements.** The crossover and driveway to the site from Hinkler Crescent appears to approximately 5.5 metres wide and not 6 metres wide, as indicated on the development application plans. The driveway security gate is setback approximately 7 metres from the property boundary and this meets Council's requirements.

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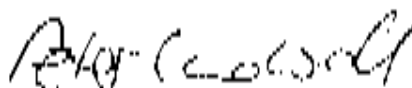
Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager of Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.
- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.
- Kerb crossovers and driveways to the site shall be provided and disused crossovers removed, public footpath and cycleways shall be provided, stormwater shall be collected and discharged into Council's drainage network, and reinstatement works carried out, all to the requirements and satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.
- Sight lines shall be provided at crossovers to public streets to the satisfaction of the General Manager of Infrastructure, Darwin City Council. No wall, fence or tree exceeding 0.6 metres in height shall be constructed or planted in front of the sight line.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager of Infrastructure, Darwin City Council.
- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

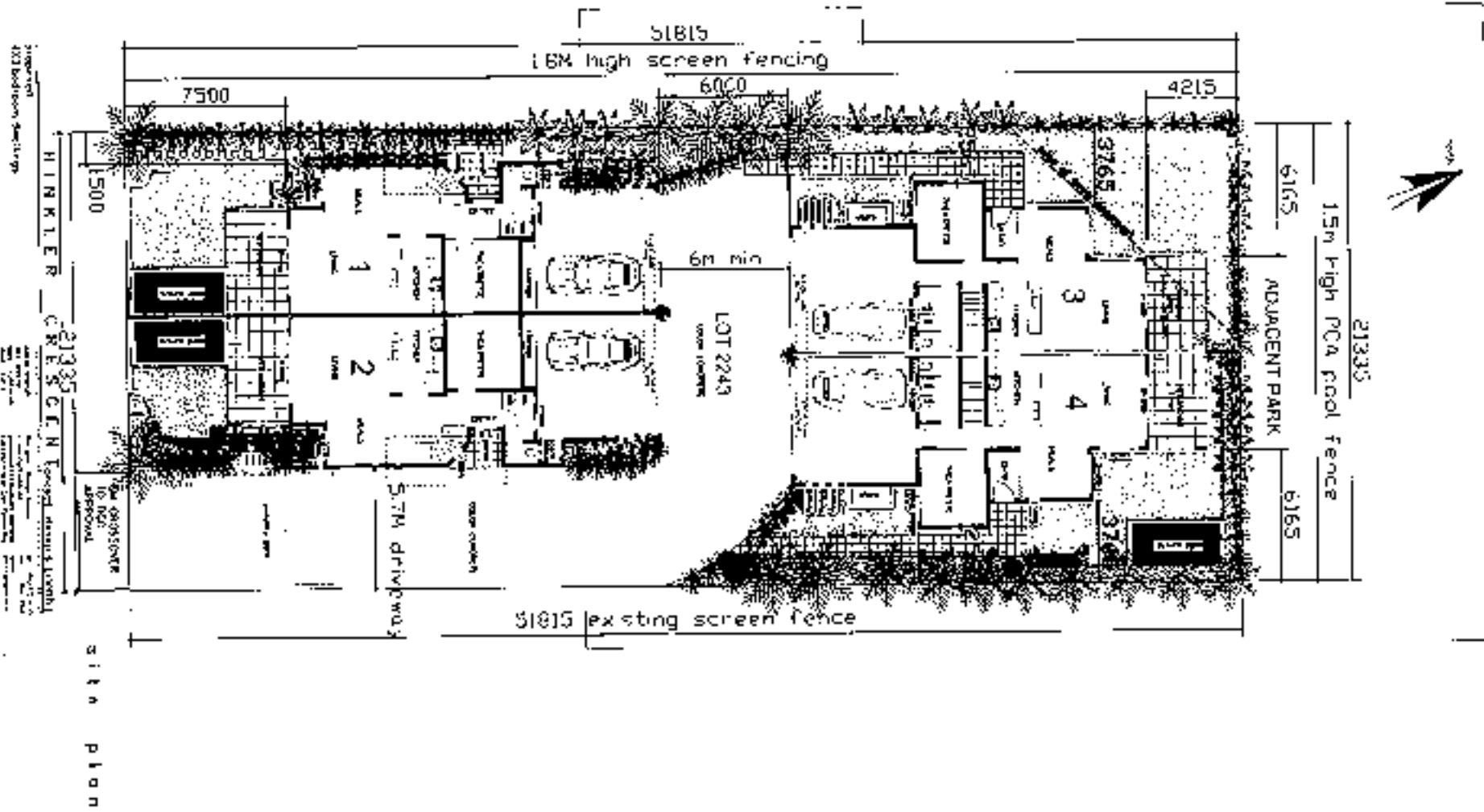
If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

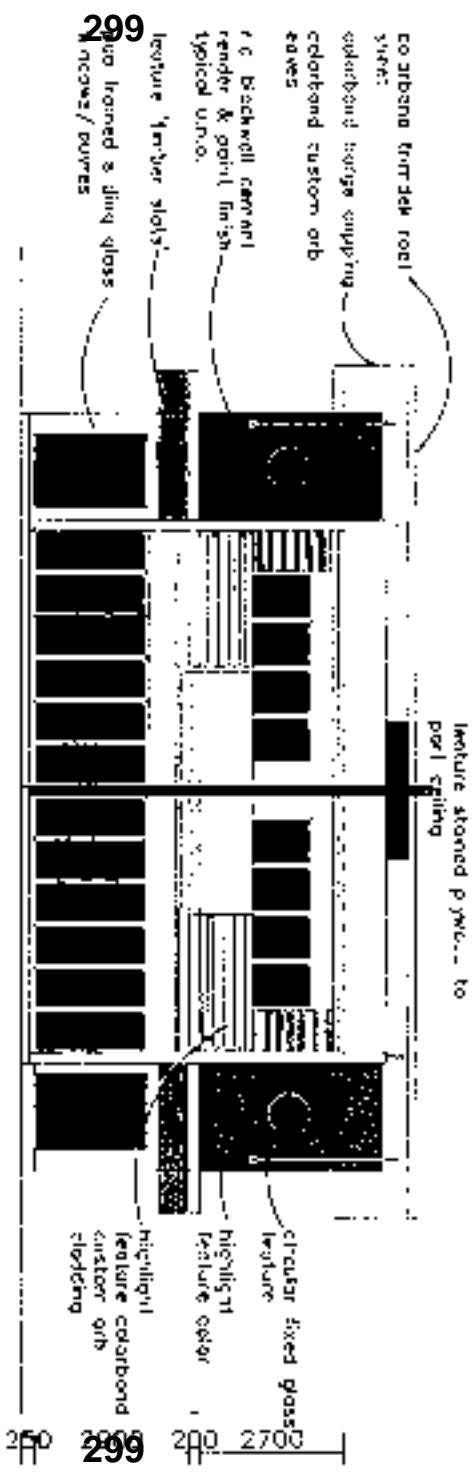
Yours faithfully



PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: George Savvas





ELEVATION 1
1:100



ELEVATION 2
UNIT 1 VESTIBULE WALLS
1:100



ELEVATION 3
1:100

Proposed
4x3 bedroom dwellings

concept designs (north)
 Designer - Dennis Serris
 Proposed 4x3 bedroom dwellings
 Lot 2345 Havelock Cres. Fanning Bay
 045 722 0264
 2945 2902
 046 15/2840
 scale 1:100 all in
 steel & in v

Please quote: 1843628 PL/psv

18 September 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

Lot 1129 (17) Gardens Hill Crescent, The Gardens, Town Of Darwin
Proposed Development: 4x3 Bedroom Multiple Dwellings in a 2 Storey Building

Thank you for the Development Application referred to this office on 3 September 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**

General Comment:-

- a). **Council requests that the Authority requires confirmation from the applicant regarding which development application plans are correct in relation to the location of the vehicle access and design of the waste bin enclosure design. The 'Site Plan' shows a 6 metre wide vehicle crossover and driveway taken from Melville Street, where the 'Plumbing & Drainage Plan' and the 'Landscaping Plan' show a 6 metre wide vehicle crossover and driveway taken from Blake Street. In addition the design of the waste bin enclosure differs on the 'Site Plan' and the 'Plumbing & Drainage' and 'Landscaping' Plans.**



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DARWIN

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- b). **Council requests the Authority requires an amended 'Site Plan' that removes the visitors parking bay located adjacent to the bin enclosure, as this may restrict service contractor and resident's access to the waste bins.**
- 1). Developments of 4 multiple dwellings or more will be provided with a 'manual' waste bin collection service by Council, with the Council contractor entering the property to service the bins. The communal waste and recycling storage enclosure should be easily accessible to the contractor from the road verge area and not located behind a car parking bay, as access could be blocked by a parked car. A parked car will also restrict access for residents.
 - 2). Council will issue a 4 unit residential development with 1 x 240-litre garbage bin (serviced twice weekly) and 1 x 240-litre recycling bin (serviced once weekly). The internal dimensions of the waste bin storage enclosure (3 metres x 1.5 metres) appear to be adequate to store and provide satisfactory access to 3 x 240 litre bins.
 - 3). The 'Plumbing & Drainage Plan' and 'Landscaping Plan' submitted by the applicant shows an alternative arrangement for the waste bin enclosure, with an opening to the enclosure to Melville Street, with a paved footpath across Council's verge area. This same plan indicates that vehicle access will be taken from Blake Street, rather than Melville Street. **Council requests that the Authority requires confirmation from the applicant regarding which plan is correct in relation to the vehicle access and waste bin enclosure design.**
- c). **The proposed 6 metre crossover and driveway from Melville Street appear to meet Council's requirements.** However, as outlined above, the 'Plumbing & Drainage Plan' and 'Landscaping Plan' submitted by the applicant shows that vehicle access will be taken from Blake Street, rather than Melville Street. **Council requests that the Authority requires confirmation from the applicant regarding which plan is correct in relation to the vehicle access and waste bin enclosure design.**
- d). **Council requests the Authority requires amended plans demonstrating clear vehicle sight lines to Melville Street or Blake Street (see c). above) in accordance with the relevant Australian Standard and to the satisfaction of the General Manager of Infrastructure, Darwin City Council.** No wall, fence or tree exceeding 0.6 metres in height shall be constructed or planted

.../

in front of the sight line to protect the safety of other road users and pedestrians using Melville or Blake Street. The applicant's plans demonstrate a 2.0 metre high block wall along the property boundary on both sides of the vehicle driveway.

- e). **The proposed stormwater drainage arrangement set out within the applicant's 'Plumbing & Drainage' Plan appears to meet Council's requirements**
- f). **Council requests the Authority includes the following condition on any development permit issued which references footpath and landscaping works within Council's road reserve:-**

"Notwithstanding the approved plans, the proposed footpath and landscaping works are subject to Council's approval and shall meet all Council's requirements to the satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council."

The applicant's 'Plumbing & Drainage Plan' and 'Landscaping Plan' include a paved footpath from the proposed waste bin enclosure across Council's Melville Street verge area. The 'Plumbing & Drainage Plan' and 'Landscaping Plan' also indicate an outward opening 'timber slat' gate from the waste bin enclosure to the Melville Street verge. Council will not approve any doors or gates opening outwards onto Council's land and the plans should therefore be modified to show an inward opening door or gate.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager of Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.
- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.
- Kerb crossovers and driveways to the site shall be provided and disused crossovers removed, public footpath and cycleways shall be provided, stormwater shall be collected and discharged into Council's drainage network, and reinstatement works carried out, all to the requirements and satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.

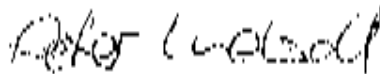
.4/

- Sight lines shall be provided at crossovers to public streets to the satisfaction of the General Manager of Infrastructure, Darwin City Council. No wall, fence or tree exceeding 0.6 metres in height shall be constructed or planted in front of the sight line.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager of Infrastructure, Darwin City Council
- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (DDA) or the Anti Discrimination Act (NT) with regard to access for the disabled.

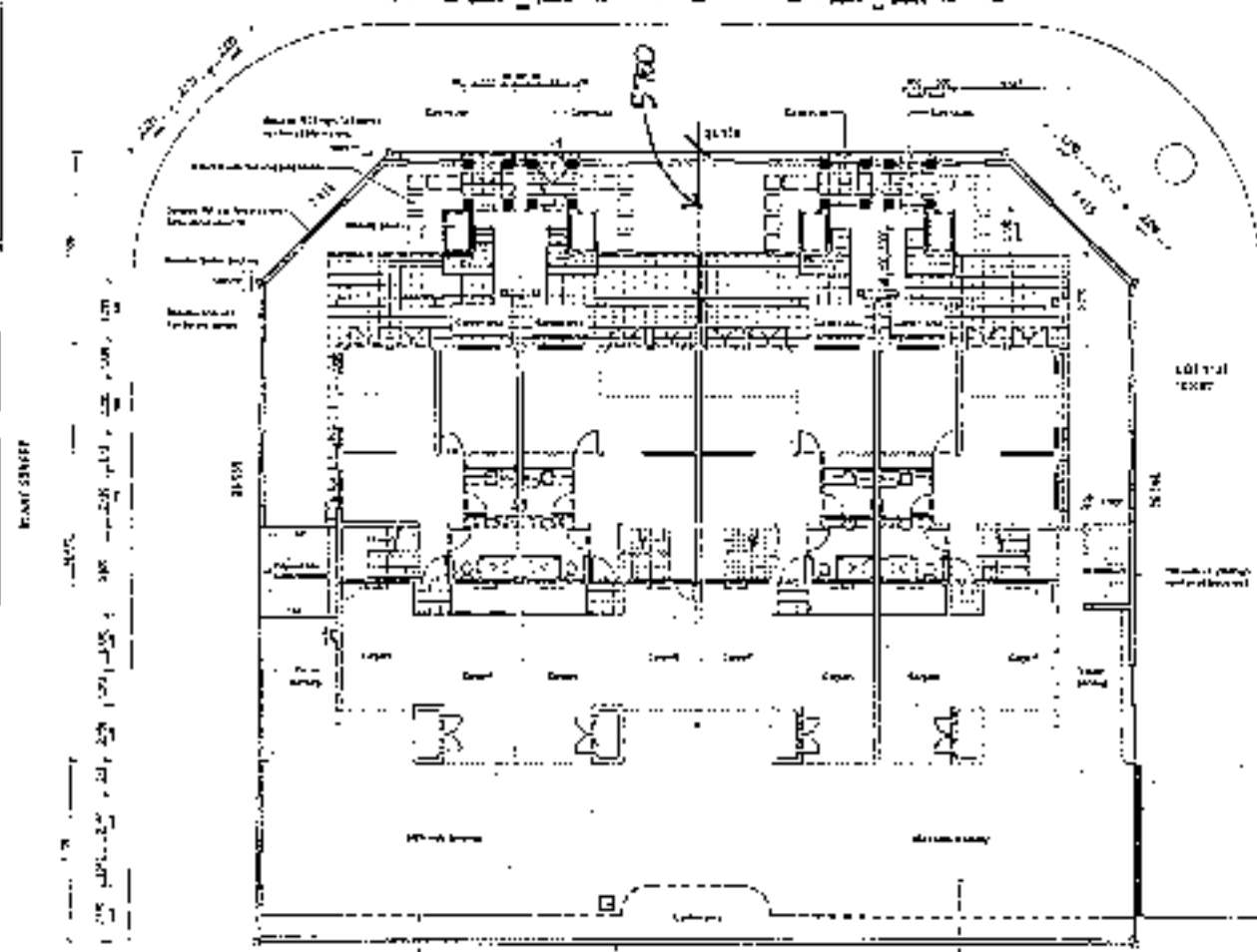
If you require any further discussion in relation to this application please contact me on 8930 0528.

Yours faithfully



PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Jeffrey Blake

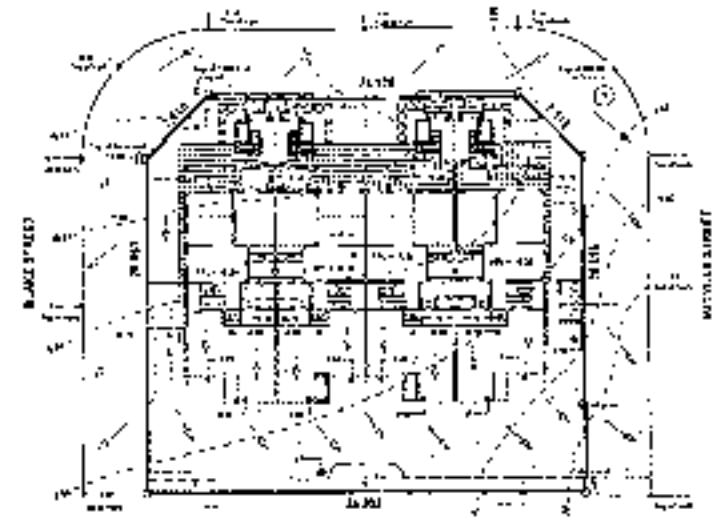


Check to ensure 1/2 inch
wall thickness.

Reinforce masonry for loads
in other areas with
proper concrete grade and
rod spacing.

Concrete grade to top of footing
over the full width of masonry
and tie with 4# bars. Provide
cross-ties at 16" on center, or as
indicated on drawing of masonry.

Minimum of 2" concrete aggregate in walls
with a 1/2" steel reinforcement.



LEVELS & SURFACE DRAINAGE



PIPE & GUTTER
Scale 1/8" = 1'-0"

18 September 2009

Mr Doug Losh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 10305 (7) Gumimba Crescent Lyons Town Of Nightcliff
Proposed Development 2X3 Bedroom Multiple Dwellings In a 2 Storey
Building**

Thank you for the Development Application referred to this office 3 September 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

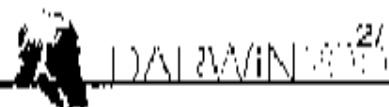
Council supports in principle the granting of a Development Permit

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). The crossover and driveway appear to meet Council requirements.
- b). Council requests the Authority requires a schematic plan demonstrating all stormwater to be collected on the site and discharged underground to Council's stormwater drainage system.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager of Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.

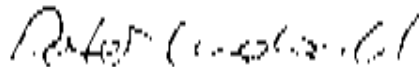


- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the Director of Technical Services, Darwin City Council and at no cost to Council.
- Kerb crossovers and driveways to the site shall be provided and disused crossovers removed, public footpath and cycleways shall be provided, stormwater shall be collected and discharged into Council's drainage network, and reinstatement works carried out, all to the requirements and satisfaction of the Director of Technical Services, Darwin City Council and at no cost to Council.
- Sight lines shall be provided at crossovers to public streets to the satisfaction of the Director of Technical Services, Darwin City Council. No fence or tree exceeding 0.6 metres in height shall be planted in front of the sight lines.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

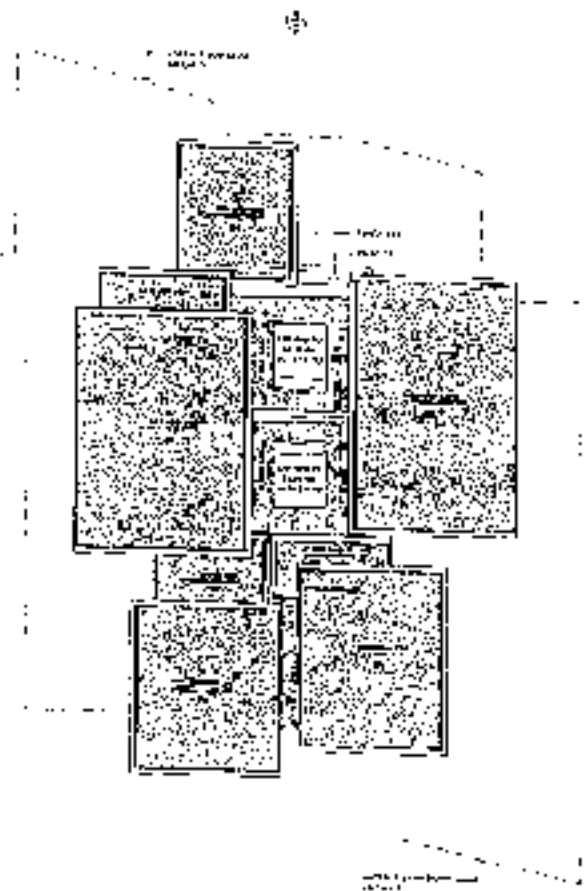
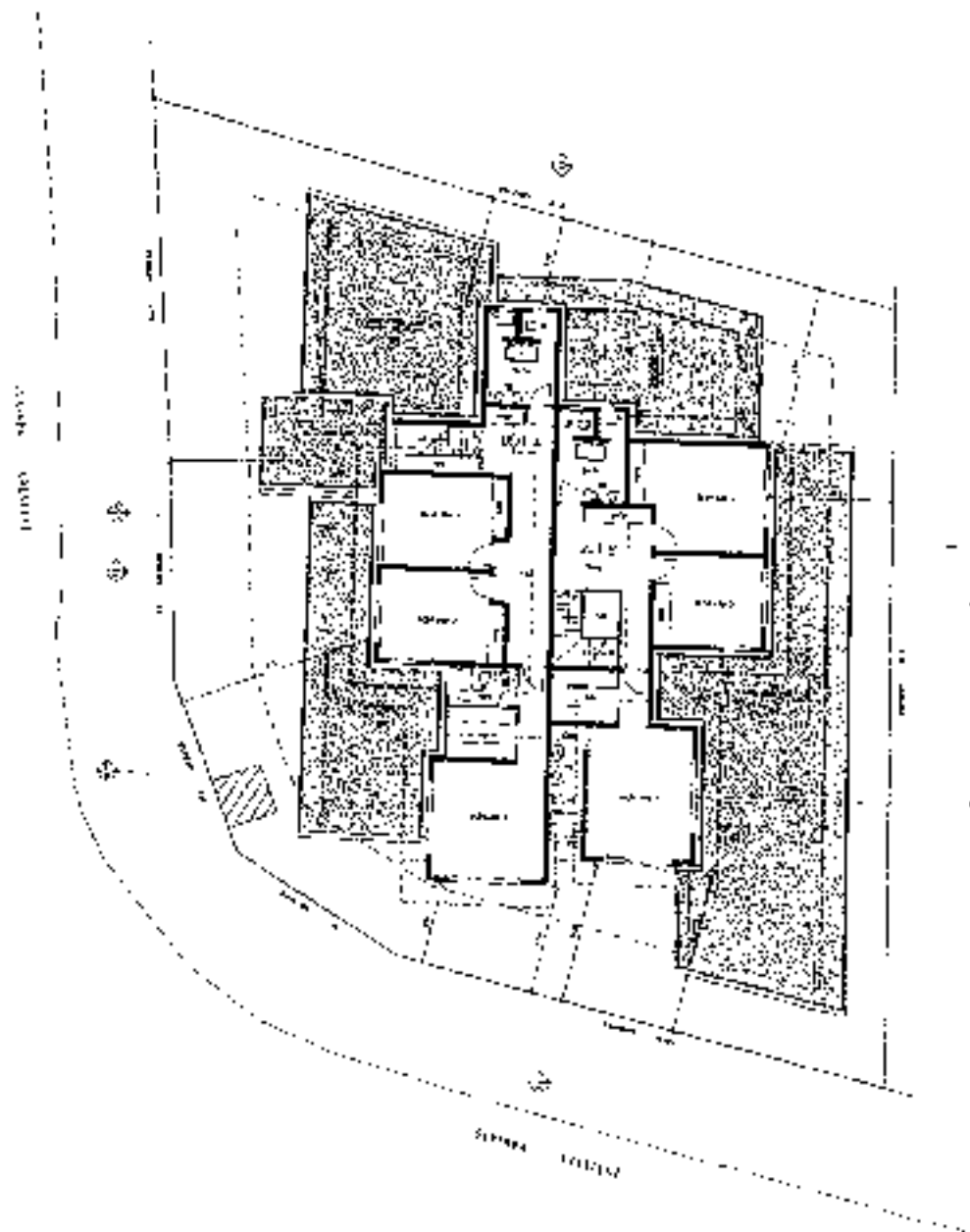
If you require any further discussion in relation to this application please feel free to contact Rick Burgess on 8930 0417.

Yours faithfully



PETER LINDWALL
STRATEGIC TOWN PLANNER

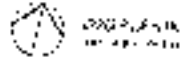
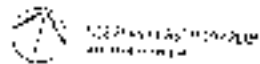
cc: Kerbin T Skills



1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL WALLS ARE 12" THICK UNLESS OTHERWISE NOTED.
 4. ALL DOORS ARE 36" WIDE UNLESS OTHERWISE NOTED.
 5. ALL WINDOWS ARE 48" WIDE UNLESS OTHERWISE NOTED.
 6. ALL CEILING HEIGHTS ARE 8' UNLESS OTHERWISE NOTED.
 7. ALL FLOOR FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.
 8. ALL WALL FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.
 9. ALL CEILING FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.
 10. ALL MECHANICAL AND ELECTRICAL SYSTEMS ARE TO BE DETERMINED BY THE ARCHITECT.

ArchTECH

ARCHITECTS
 1000 N. GARDEN AVENUE
 SUITE 100
 DENVER, CO 80202
 (303) 733-1111
 www.archtech.com



309
 10/07/07

DATE	10/07/07
BY	ARCHITECT
CHECKED BY	ARCHITECT
SCALE	AS SHOWN
PROJECT	309
NO.	10/07/07

Please quote: 1630668 PL:sv

26 August 2009

Mr Doug Losh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 4608 (6) Willes Road Barrimah
PROPOSED DEVELOPMENT 42 Self Storage Warehouse Units NOT
EXHIBITED**

Thank you for the Development Application referred to this office 13 August 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority.

Council supports in principle the granting of a Development Permit for this proposal.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.
- Kerb crossovers and driveways to the site shall be provided and disused crossovers removed, public footpath and cycleways shall be provided, stormwater shall be collected and discharged into Council's drainage network, and reinstatement works carried out, all to the requirements and satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.



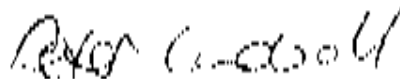
...21
DARWIN2009

- Sight lines shall be provided at crossovers to public streets to the satisfaction of the General Manager of Infrastructure, Darwin City Council. No fence or tree exceeding 0.6 metres in height shall be planted in front of the sight line.
- Car parking spaces and internal driveways shall meet the requirements of the relevant Australian Standard and be linomarked and sealed with an impervious material.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

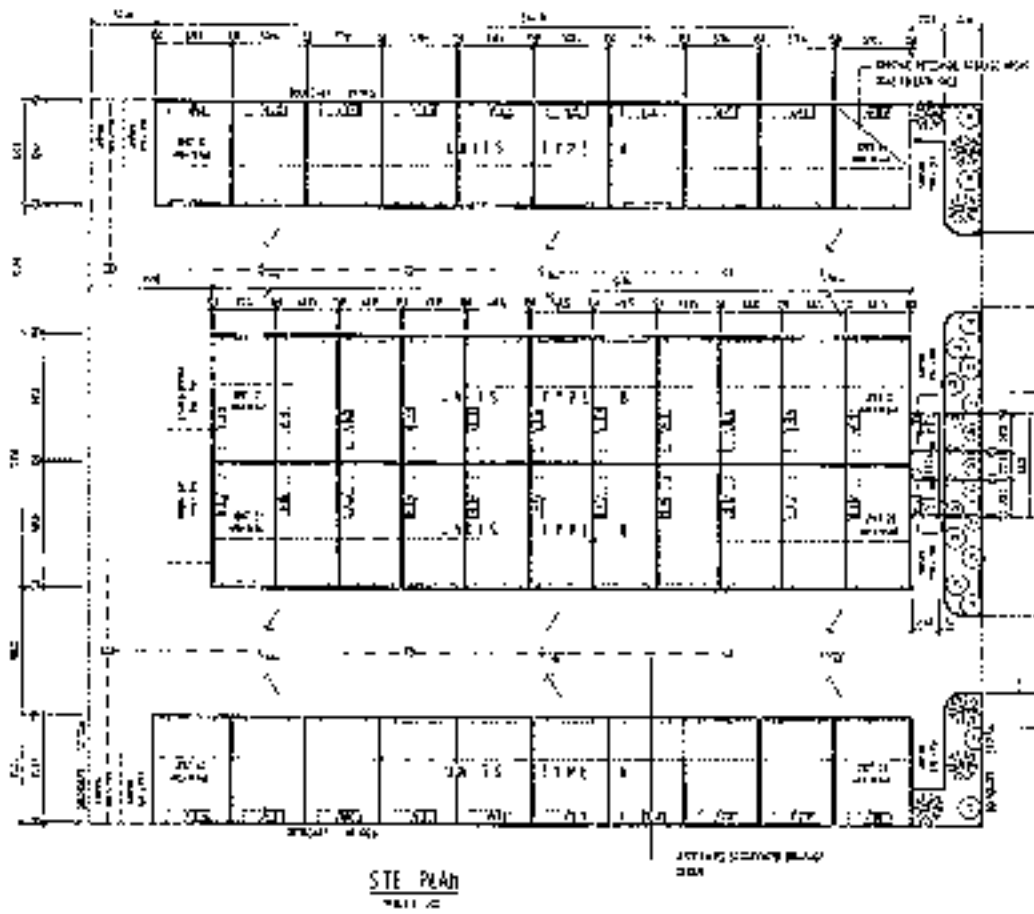
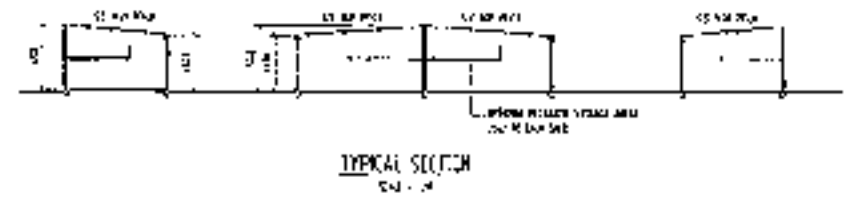
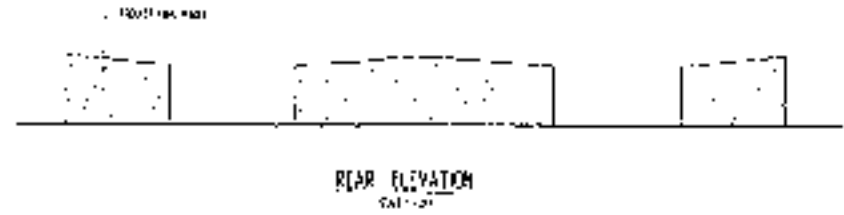
If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: PJ & SA Mulhish & Kooch Investments (NT) Pty Ltd



WILLES ROAD
WOOD UP HALL
WOOD UP LOBBY

UNIT LEGEND

UNIT 1	1000	1000
UNIT 2	1000	1000
UNIT 3	1000	1000

PLANTING LEGEND

PLANTING 1	PLANTING 2
PLANTING 3	PLANTING 4
PLANTING 5	PLANTING 6

18 September 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

REVISED LETTER

**Lot 9327 (125) Dick Ward Drive Coconut Grove Town Of Nightcliff
Proposed Development Subdivision To Create 8 Lots Including 2 For Multiple
Dwellings**

Thank you for the Development Application referred to this office (3 September 2009), concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- The inclusion of a 500 square metre allotment in the subdivision design is unacceptable to Council;
- The Application appears to address the minimum requirements in relation to flooding and storm surge included in clause 6.14 of the NT Planning Scheme;
- Council's requirement for subdivision access to Dick Ward Drive restricted to 'left-in / left-out' vehicle turns only, has been addressed in the application;
- The estate cul-de-sac road has been designed and constructed in accordance with the 'Design Requirements' set out within Council's Subdivision and Development Guidelines September 2005; and
- Stormwater drainage infrastructure has been designed and constructed in accordance with the 'Design Requirements' set out within Council's Subdivision and Development Guidelines September 2005.

...2/



DARWIN

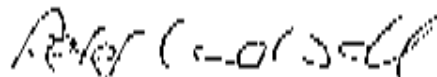
Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Engineering design and specifications for the proposed and affected roads, including streetlighting, stormwater drainage, vehicular access, pedestrian/cycle corridors, streetscaping and landscaping of nature strips shall be submitted for approval by the General Manager, Infrastructure, Darwin City Council and all approved works constructed to Council requirements at the applicant's expense.
- Any easements or reserves required for the purposes stormwater drainage, roads, access or for any other purpose shall be made available free of cost to the Darwin City Council or neighbouring property owners.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

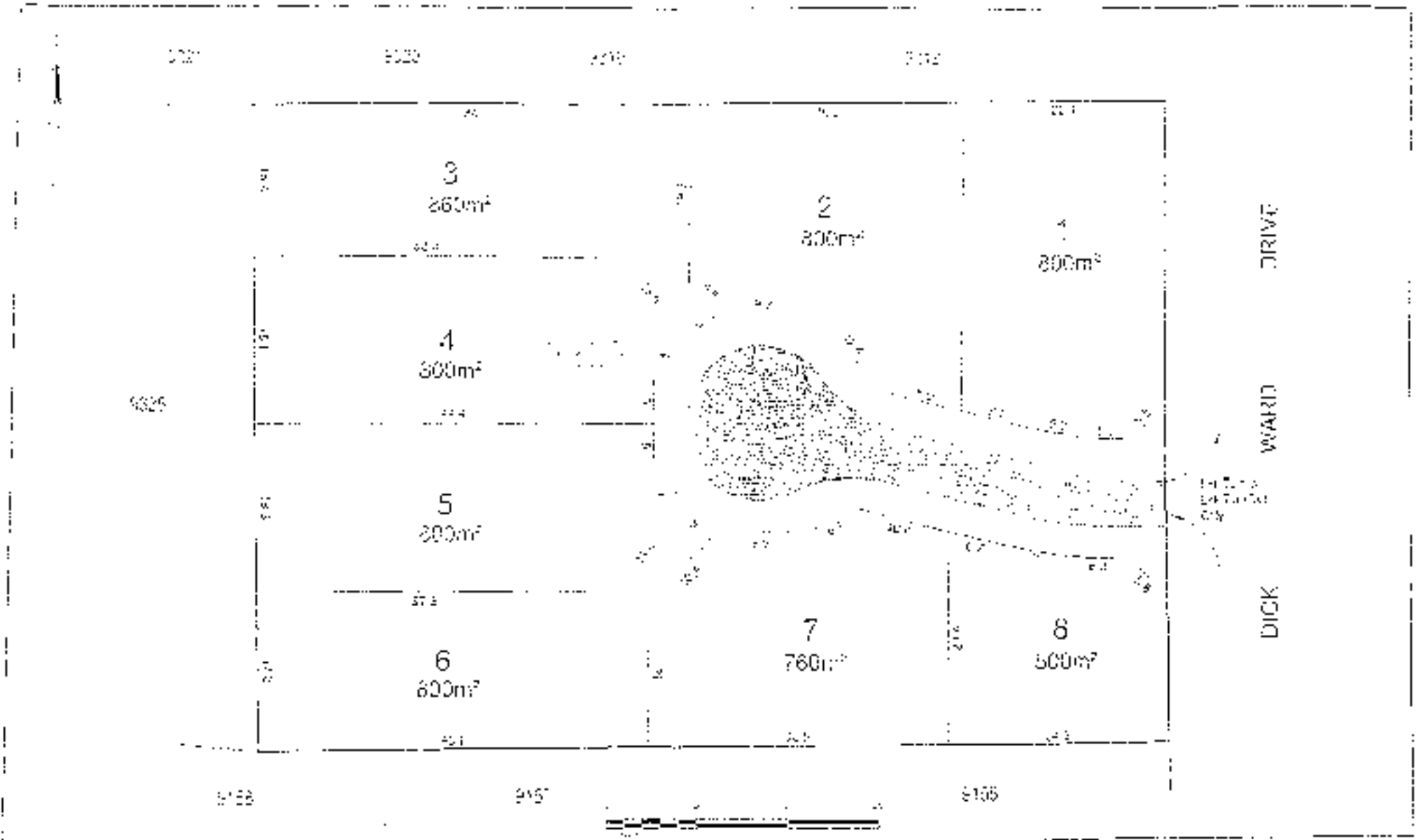
If you require any further discussion in relation to this application please feel free to contact me on 8930 0412.

Yours faithfully



PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Makrylos Group



EARL JAMES & ASSOCIATES
 SURVEYING & ENGINEERING
 100 ...
 ...

LOT 9327 TOWN OF NIGHTCLIFF		DATE: ... SCALE: ...
SANCTUARY ESTATE CONCEPT PLAN		DRAWN BY: ... CHECKED BY: ...
...		...

Please quote: 1601360 PL:sv

16 September 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 2338 (17) Cavanagh Street Darwin Town Of Darwin
Proposed Development Of Motel Offices Restaurant and Shop in a 21 Storey
Building**

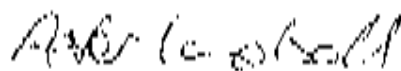
I refer to your letter of 2 September 2009 requesting additional information on various design and traffic issues to assist the Development Consent Authority in its consideration of this Development Application. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

Council is satisfied that the issues raised by the Development Consent Authority at its meeting of 7 August 2009 in relation to this development proposal have been addressed in the response provided by Elton Consulting.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0412.

Yours faithfully

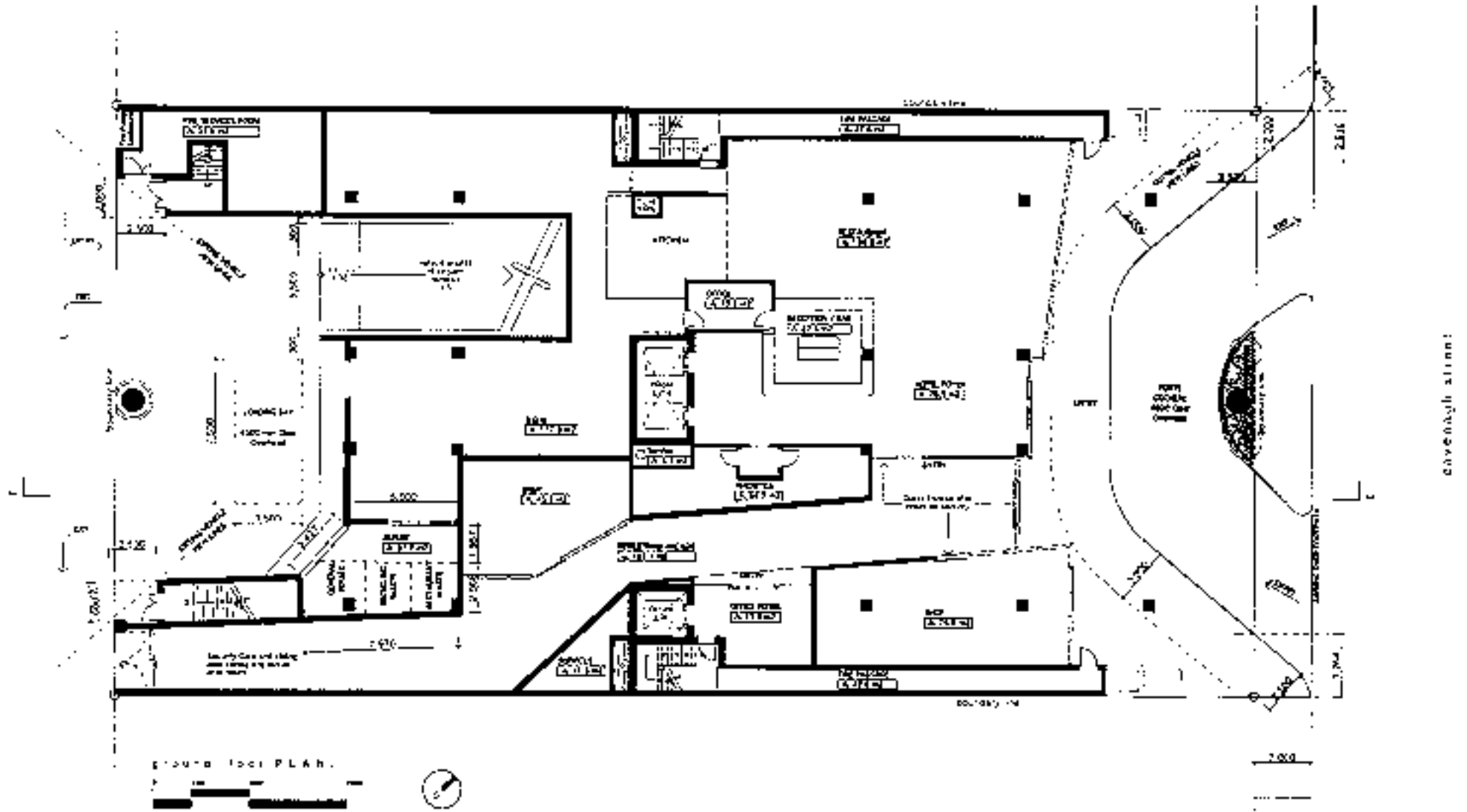


PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Elton Consulting



DARWIN2009



NO. 1	PROPOSED MIXED USE TOWER	DATE	10/10/2023
NO. 2	PROPOSED MIXED USE TOWER	DATE	10/10/2023
NO. 3	PROPOSED MIXED USE TOWER	DATE	10/10/2023
NO. 4	PROPOSED MIXED USE TOWER	DATE	10/10/2023
NO. 5	PROPOSED MIXED USE TOWER	DATE	10/10/2023
NO. 6	PROPOSED MIXED USE TOWER	DATE	10/10/2023
NO. 7	PROPOSED MIXED USE TOWER	DATE	10/10/2023
NO. 8	PROPOSED MIXED USE TOWER	DATE	10/10/2023
NO. 9	PROPOSED MIXED USE TOWER	DATE	10/10/2023
NO. 10	PROPOSED MIXED USE TOWER	DATE	10/10/2023

PROPOSED MIXED USE TOWER
 1007 WEST 100TH STREET
 CHICAGO, IL 60643

PROJECT NO.	1007 WEST 100TH STREET
DATE	10/10/2023
SCALE	AS SHOWN
DESIGNER	ARCHITECTURE FIRM
CLIENT	ARCHITECTURE FIRM
PROJECT NAME	PROPOSED MIXED USE TOWER
PROJECT ADDRESS	1007 WEST 100TH STREET, CHICAGO, IL 60643
PROJECT NO.	1007 WEST 100TH STREET
DATE	10/10/2023
SCALE	AS SHOWN
DESIGNER	ARCHITECTURE FIRM
CLIENT	ARCHITECTURE FIRM
PROJECT NAME	PROPOSED MIXED USE TOWER
PROJECT ADDRESS	1007 WEST 100TH STREET, CHICAGO, IL 60643

ARCHITECTURE FIRM
 1007 WEST 100TH STREET
 CHICAGO, IL 60643
 TEL: (773) 555-1234
 FAX: (773) 555-5678
 WWW.ARFIRM.COM

28 August 2009

Peter McQueen
Chairman
Development Consent Authority
GPO Box 1680
DARWIN NT 0801



Attention: Sarah Gooding

Dear Peter

Re: Lot 2338 & 2339 (15 & 17) Cavenagh Street, Town of Darwin

As stated in the letter from the DCA dated 24 August 2009, further information is required in order to enable proper consideration of the application to develop the above land for the purpose of motel, offices, restaurant and shops in a 71 storey building including car parking at levels 2 to 5.

This letter refers to amended plans lodged at your offices in a meeting on Tuesday 25 August 2009 and further plans and information accompanying this letter.

Statements addressing each point of the further information request follows:

1. Refer drawing SK16. The space has been designed to provide an active and inviting space through the double storey height of the porte cochere which gives access to natural light. This space will be further enhanced by feature up-lighting in the gardens and feature down lighting over the pedestrian crossing. Pedestrian links will be highlighted and treatments will be used to direct pedestrian flow.
2. Refer drawing SK16. Perforated metal is proposed to screen car park levels 2 and 3. This provides an effective screening device and allows suitable ventilation. Levels 4 and 5 will be screened using concrete painted walls. The wall to level 4 is 1.5m in height, providing a solid screen to the vehicles as viewed from the street. On level 5 the car parks are set back more than 6m from the facade to accommodate the pool above, which is set into this level.
3. No decorative illuminated design treatments or finishes are proposed to be used. The building will incorporate illuminated business identification signage in accordance with Darwin City Council's Signage Code and approval will be sought at such time as required.
4. Refer SK10a, SK12 and SK13. Air conditioners are proposed to be housed on the roof, visually screened by louvers and allowing for ventilation.
5. Refer SK6. Alternate access has been provided to the pool deck which bypasses the breakout area and conference rooms. The windows to the conference rooms will incorporate obscure



glazing to 2m above finished floor level. This will ensure privacy of pool access and use for guests.

6. Refer SK17 and SK18. Landscape plans have been provided for the ground level, level 6 (the podium) and level 7. A written statement from a landscape architect has been provided stating that soil depths, growth areas and species are suitable.
7. Refer SK1 and SK 13.1.B. stands for Fire Pump. This enclosure has been relocated to the fire services room. The visual impact of this will be negligible.
8. Refer SK3. Ten parking spaces have public access and the remainder available for offices and hotel guests will have restricted access via a security gate. The accompanying Addendum to the Traffic Impact Assessment Report states that the proposal is acceptable from a traffic operations perspective.

Please contact Hanna on 8911 2199 should you require any further information.

Yours sincerely

Hanna Stevenson
Consultant

h.stevenson@hok.com

Please quote: 1650706 PL:sv

15 September 2009

Mr Doug Lush
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 2528 (5) Margaret Street Stuart Park - Town Of Darwin
Proposed Development - Carport Additions To An Existing Multiple Dwelling
(Unit 2)**

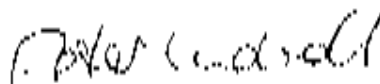
Thank you for the Development Application referred to this office 10 September 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0628

Yours faithfully

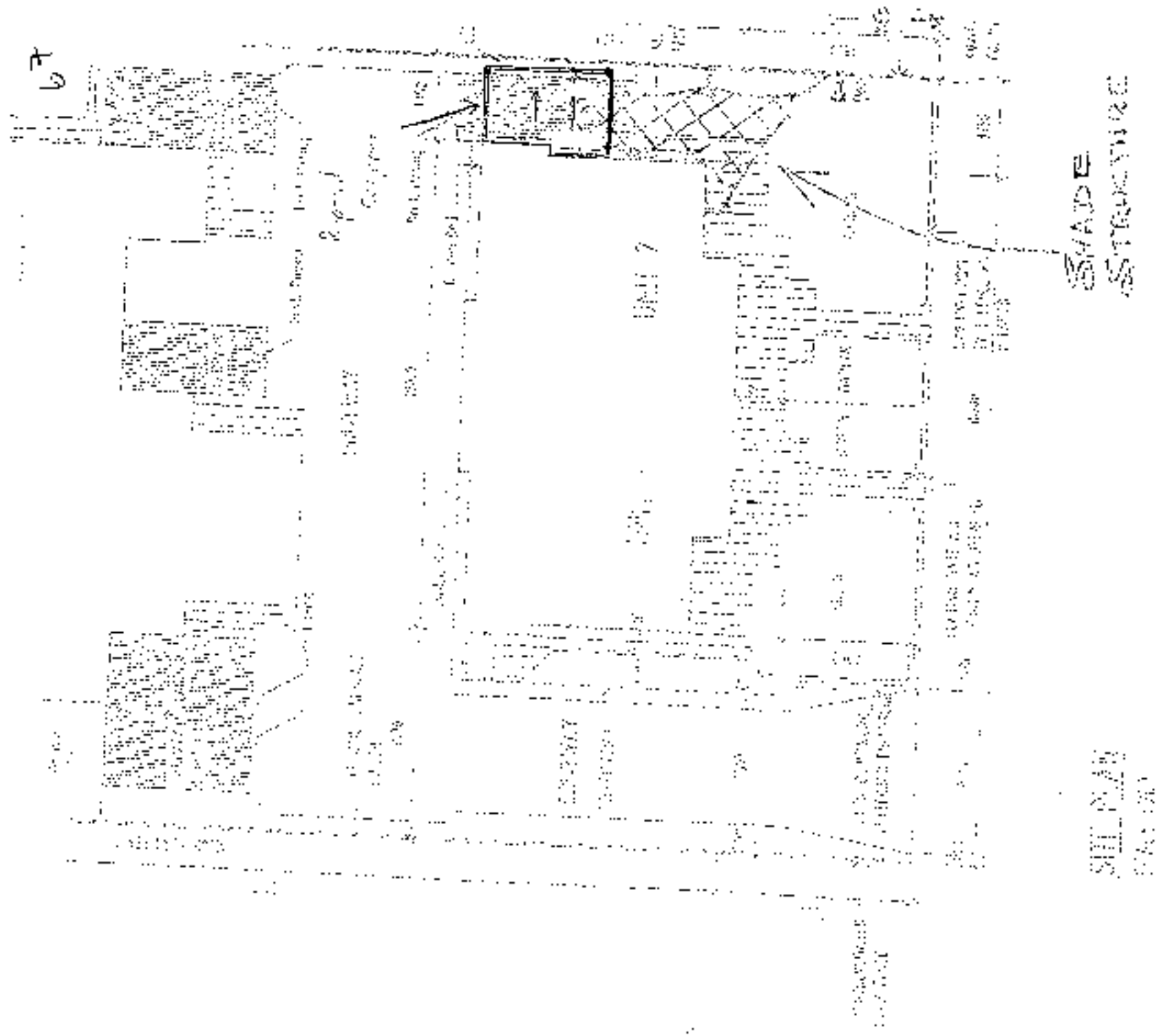


**PETER LINDWALL
STRATEGIC TOWN PLANNER**

cc: New Renovations



DARWIN NT



321



321

ORNDORF LIVING CO.
 & BUILDING CO.
 1000 COMMERCIAL BUILDING, PHOENIX, ARIZONA
 PHONE 2-1111

Lot 2528 West Macdonald St.
 Phoenix, Arizona
 1928

Please quote: 1642525 PL:sv

16 September 2009

Mr Doug Lush
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 1557 (26) Farroll Crescent Winnellie Hundred of Bagot
Proposed Development – Change in Use to Warehouse with Associated
Carparking and Landscaping**

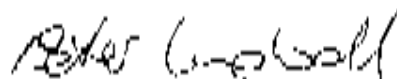
Thank you for the Development Application referred to this office 4 September 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0658.

Yours faithfully

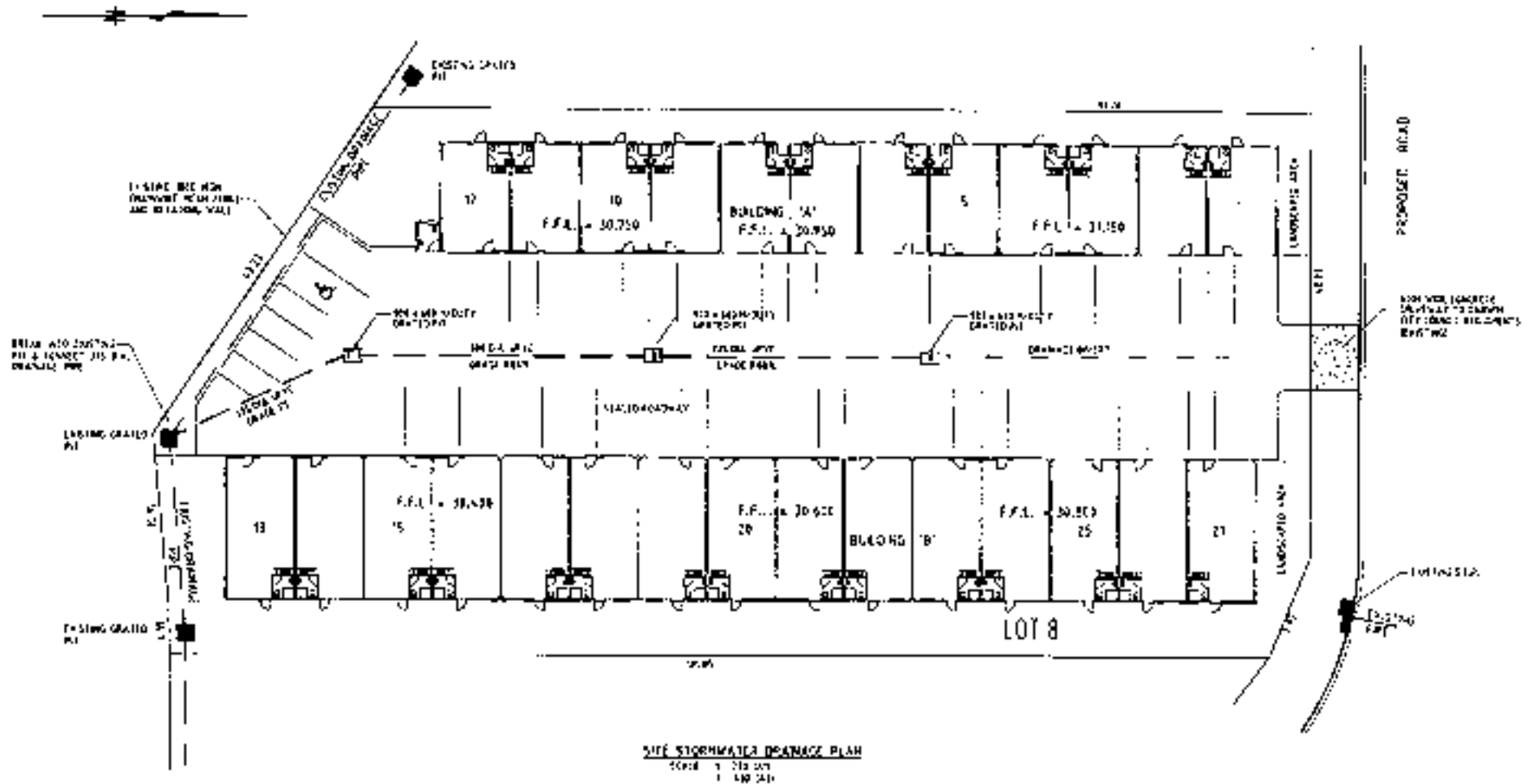


PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: GHMA Pty Ltd



DARWIN



Please quote: 1644265 PL:sv

16 September 2009

Mr Doug Losh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Portion 1349 (119) Reichardt Road Winnelle Hundred Of Bagot
Proposed Development Change Of Use For A Portion Of A Building From
Warehouse To Office**

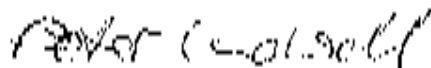
Thank you for the Development Application referred to this office 3 September 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact Rick Burgess on 8930 0412.

Yours faithfully

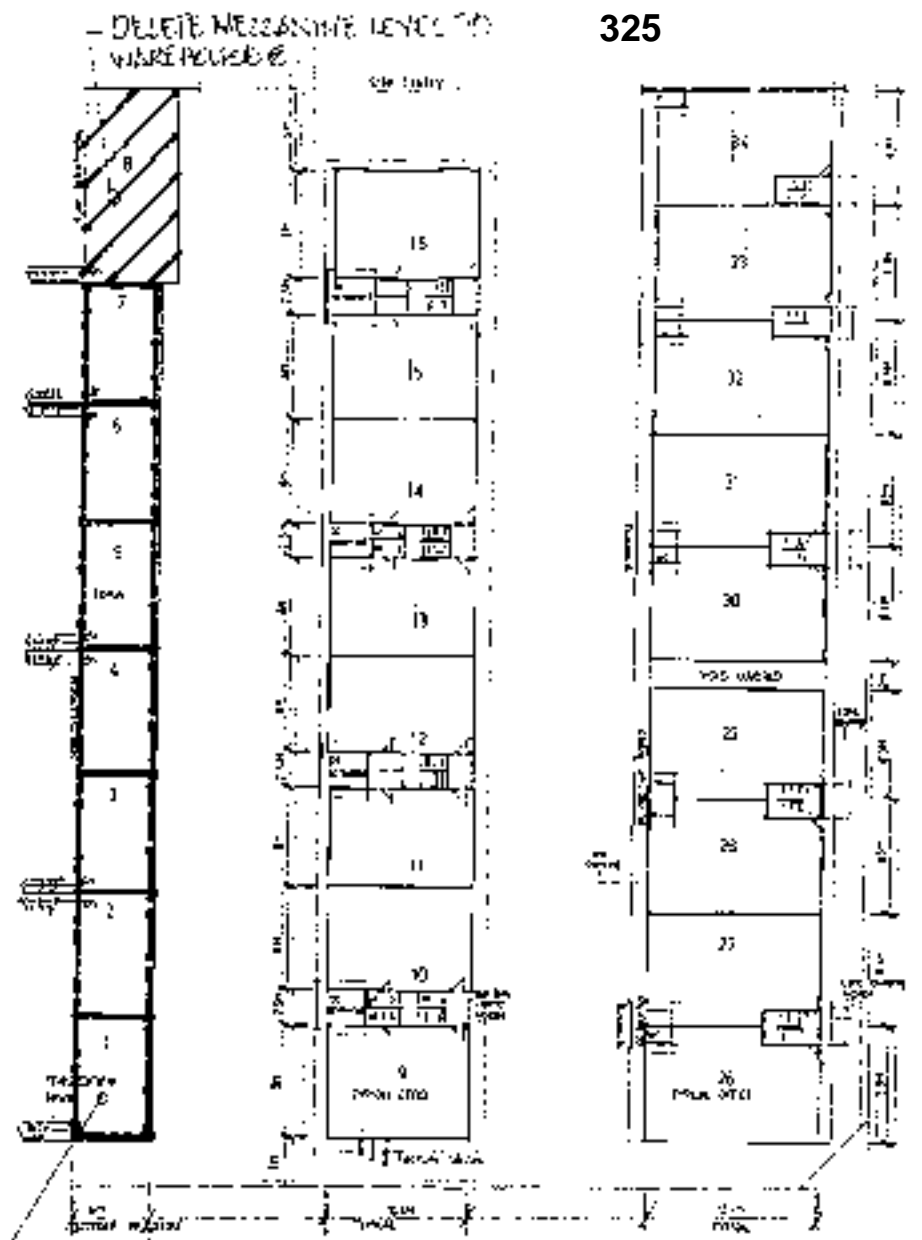
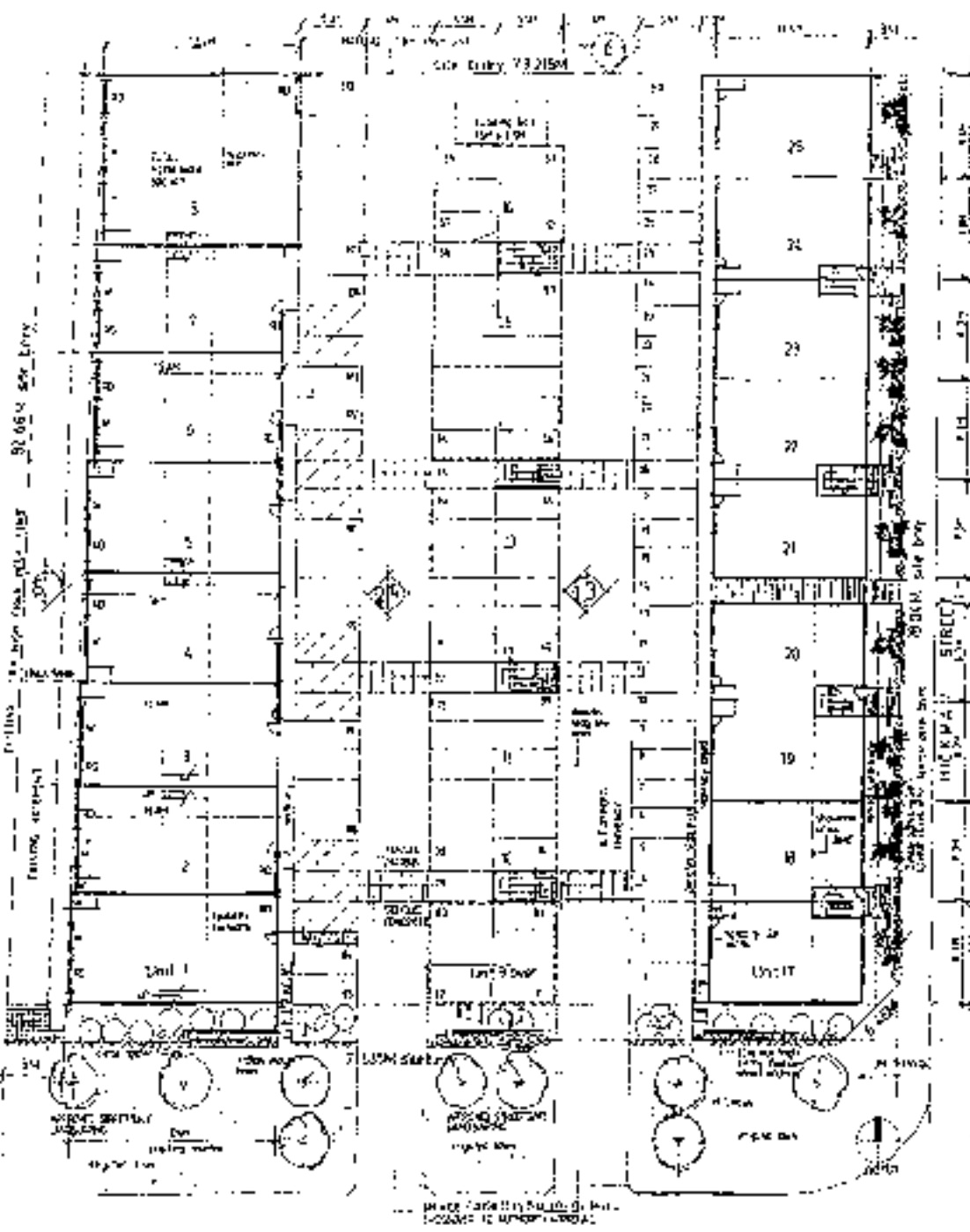


**PETER LINDWALL
STRATEGIC TOWN PLANNER**

cc: Michael Milnes



DARWIN 200



SITE (EXISTING) FLOOR PLAN
1.57

Revised: RUC

27.5.2009. Unit 6. Delete mezzanine.
 AMENDMENTS & Unit 1, 7. Provide offices to



Please quote: 1643633 PL:sv

15 September 2009

Mr Doug Losh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug,

**Lot 4894 (10) Mahogany Crescent Karama Town Of Sanderson
Proposed Development Verandah / Balcony Addition To An Existing 2 Storey
Single Dwelling With A Reduced Front Setback**

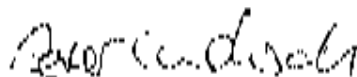
Thank you for the Development Application referred to this office 3 September 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0412.

Yours faithfully



**PETER LINDWALL
STRATEGIC TOWN PLANNER**

cc: [lindwallconsult Pty Ltd](http://www.lindwallconsult.com.au)



DARWIN (326)

AS CONSTRUCTED ADDITIONS & ALTERATIONS LOT 4894 (18) MAHOGANY CRESCENT, KARAMA

DRAWING INDEX

- A001 SCHEDULE OF DRAWINGS
SITE PLAN
- A002 GROUND FLOOR PLAN
- A003 FIRST FLOOR PLAN
- A004 ELEVATIONS

1500 F 610x35 MESH FENCE



AS CONSTRUCTED



CONSTRUCTION OF THIS DRAWING IS LIMITED TO THE SPECIFIC PROJECT AND SITE. THE DRAWING SHALL NOT BE REPRODUCED OR COPIED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN CONSENT OF IRWIN CONSULT.



irwinconsult
 100 South Street, Ottawa, ON
 K1P 1H7
 Tel: 613-237-1122 Fax: 613-237-1123

Project:
**AS CONSTRUCTED
 ADDITIONS & ALTERATIONS
 LOT 4894 MAHOGANY CRESC.**

Drawn:
LAURA LIOK

Drawing Title SCHEDULE OF DRAWINGS			
Sheet No. 327			
Date 2023-07-17	Drawn AL	Checked DT	Noted

Please quote: 1650704 PL:sv

15 September 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 5142 (43) Rosewood Crescent Leanyer – Town Of Sanderson
Proposed Development - Extension To An Existing Multiple Dwelling (Unit 4)**

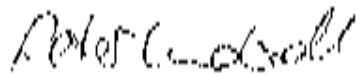
Thank you for the Development Application referred to this office 10 September 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528

Yours faithfully

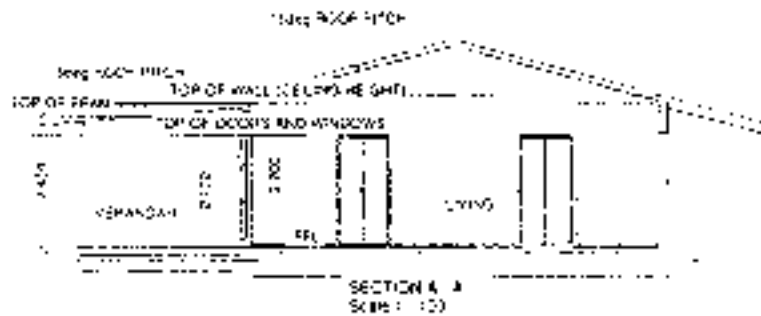
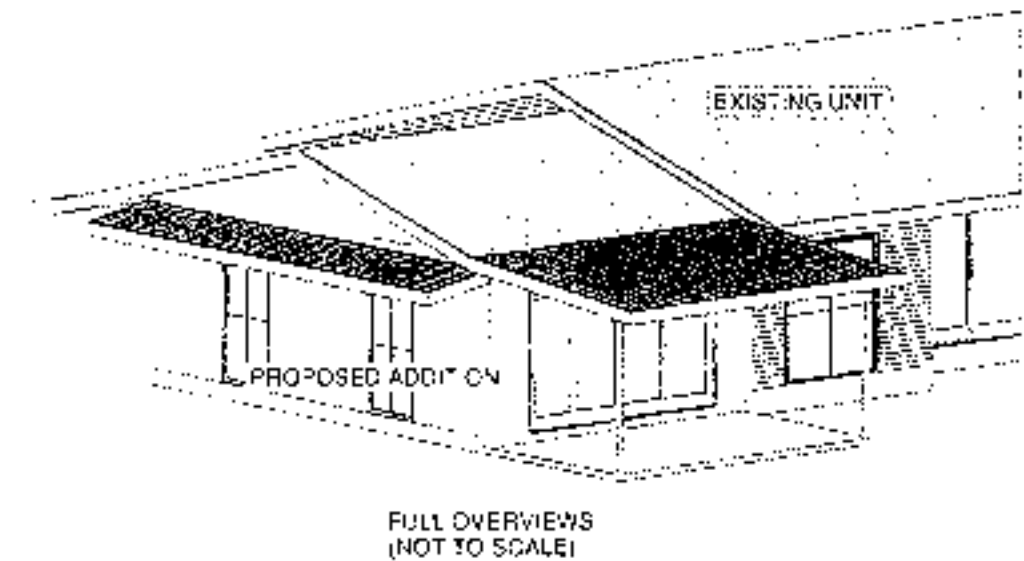
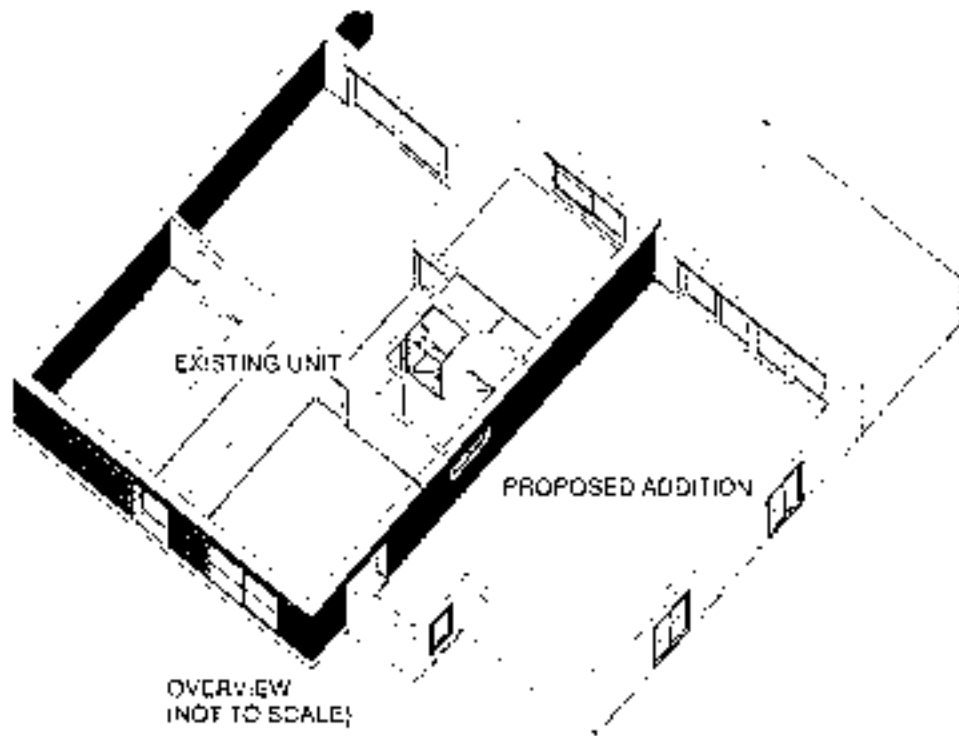


PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Stephanie Lermanin



DARWIN 2009



3/10/09
3/24/09
Blaker



DIVERSE DRAFTING
PHONE 041220025
FAX 041241006

ENGINEER: WALLER DGE & GILBERT MPP
CERTIFIER: DESIGN CONCEPTS

SCALE: NOT TO SCALE
JOB No: 412 MACKENZIE

DRAWN: G. NOWLAND
SHEET: 1
DATE: MAY 2009

PROPOSED EXTENSIONS UNIT 4/43
(LOT 5142) 329 WOOD CRESCENT LEANER
FOR JUNGALY MACKENZIE & STEF HAMANN

15 September 2009

Mr Doug Leah
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 8072 (G) O'Ferrals Road Bayview Town of Darwin
Proposed Development Single Dwelling With A Reduced Front Setback**

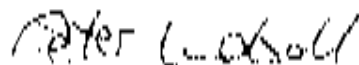
Thank you for the Development Application referred to this office 8 September 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

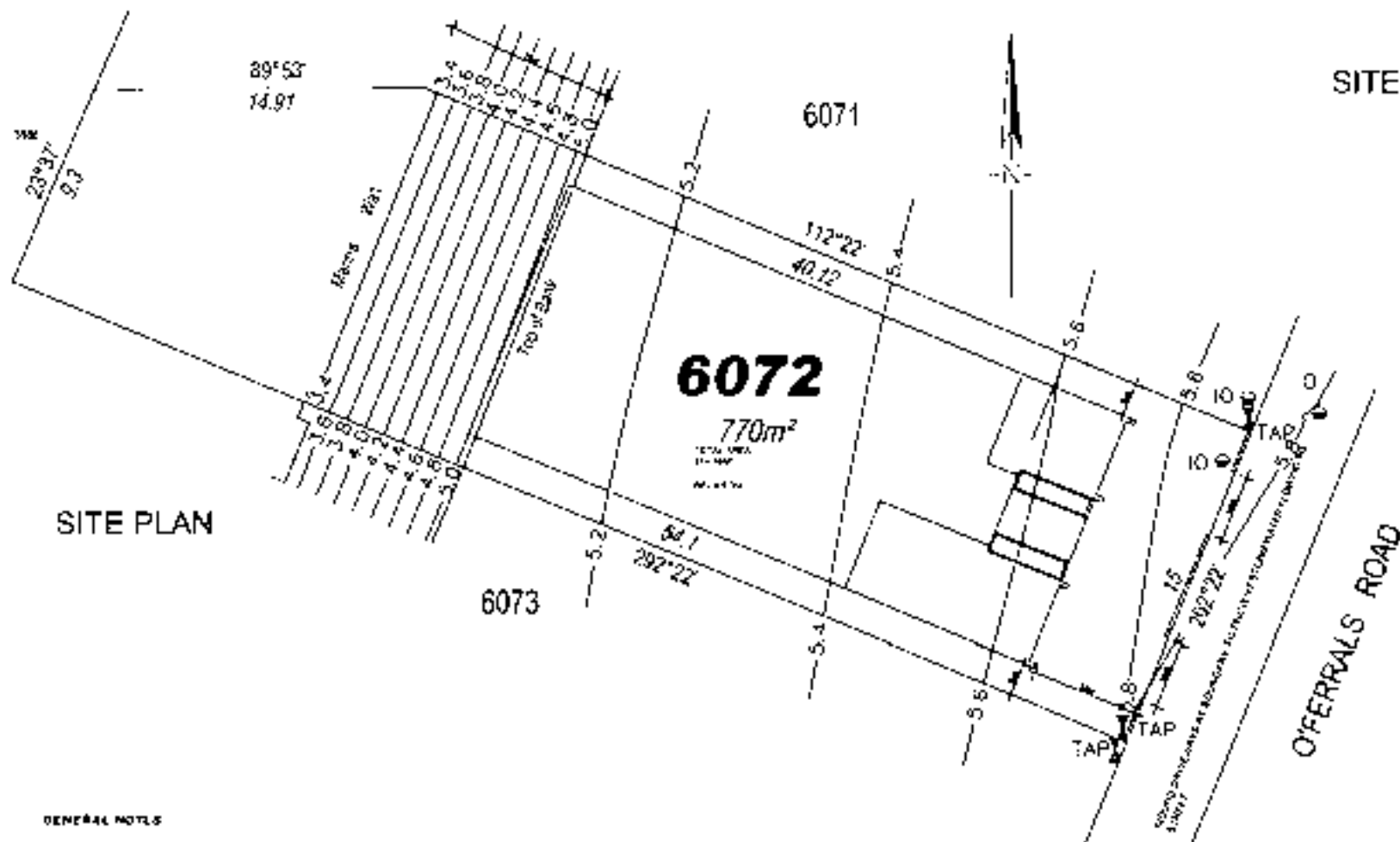
If you require any further discussion in relation to this application please feel free to contact me on 8930 0412.

Yours faithfully



PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Sally Smith



SITE PLAN

LEGEND

AREAS
GROUND FLOOR: 246.1m² (INCLUDING GARAGES)
FIRST FLOOR: 338.3m² (INCLUDING BALCONY)
MEMORANDUM: 55.6m²

MATERIALS

WALLS EXTERIOR
CONCRETE BLOCK WORK SMOOTH RENDER
AND PAINTED COLOUR DIALUX GREY PEBBLE

ROOF
GALV STEEL ROOF PURLINS WITH
LIGHT FRAMED SHEETING
COLOUR COLOURBOND DULL GREY

WINDOWS
POWDERCOAT ALUMINIUM LOUVRES,
SLIDING WINDOWS AND DOORS
COLOUR COLOURBOND DULL GREY

GENERAL NOTES

GENERAL

- G1 THESE DRAWINGS ARE FOR THE PURPOSE OF OBTAINING BUILDING APPROVAL ONLY. ALL WORK AND MATERIALS TO CONFORM TO CURRENT AUSTRALIAN STANDARDS. THE BUILDING CODES OF AUSTRALIA THE N.T. DEEMED TO COMPLY STANDARDS AND ALL RELEVANT NATIONAL TECHNICAL SPECIFICATIONS.
- G2 CHECK AND CONFIRM ALL DIMENSIONS - LEVELS AND FALLS ON SITE PRIOR TO COMMENCEMENT OF WORK.
- G3 CHECK AND CONFIRM UNDERGROUND SERVICES LOCATIONS PRIOR TO EXCAVATION.
- G4 ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE STATED.
- G5 ALL STRUCTURAL WORK TO BE UNDERTAKEN IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DESIGN AND SPECIFICATION. DESIGN WIND OR OTHER CATEGORY 2.
- G6 COMPLY WITH A.S. 1170.

FOUNDATIONS

- F1 COMPACT FOUNDATIONS UNDER NEW SLABS AND FOOTINGS TO 150 MM DIA. AS PER A.S. 1288.
- F2 FOUNDATIONS UNDER ALL PILES AND FOOTINGS TO BE TREATED AGAINST TERMITIC INFESTATIONS AS PER A.S. 3600.

CONCRETE

- C1 ALL CONCRETE SHALL BE IN ACCORDANCE WITH A.S. 3600.
- C2 ALL CONCRETE SHALL BE GRADE M25 WITH 100mm SLUMP, 20% AGGREGATE.
- C3 DESIGN AND CONSTRUCTION FORMWORK IN ACCORDANCE WITH A.S. 3610.

BLOCKWORK

- B1 WALLS TO BE CONSTRUCTED USING CONCRETE MASONRY BLOCKS AS INDICATED ON THE DRAWINGS AND CONFORMING TO A.S. 1170.
- B2 MORTAR SHALL BE 1:1:6 CEMENT:LIME:SAND. NO ADDITIVES TO BE USED.

WET AREAS

- W1 WATER-PROOF WET AREAS IN ACCORDANCE WITH A.S. 3740 AND BCA 3.8.1.
- W2 PROVIDE 150mm RAILS TO ALL W.C. AND BATHROOM DOORS.

STEELWORK

- S1 STRUCTURAL STEELWORK TO BE IN ACCORDANCE WITH A.S. 4100, A.S. 1554 AND CORROSION CONTROL TO A.S. 1525.012.
- S2 DIMENSIONS UNLESS OTHERWISE STATED ALL WELDS TO BE FULL PENETRATION BUT NOT FULL CONTACT ATLAS.
- S3 ALL BOLTS TO BE GRADE 4.6 GALVANNEED TO A.S. 1214.
- S4 ALL BOLTS TO BE GRADE 4.6 GALVANNEED TO A.S. 1214.
- S5 YIELD STRESS OF STEEL MEMBERS - RNS 350MPa.
- S6 FINISH TO ALL EXPOSED SURFACES TO BE AS PER A.S. 1554.

GLAZING

- G1 WINDOWS TO COMPLY WITH A.S. 1288, A.S. 1289 AND STD. SA 110.1.1.7. ULTIMATE WIND PRESSURE = 1.2kPa < 50m FROM CORNER, 0.2kPa GENERALLY. WATER TEST PRESSURE = 200Pa.
- G2 ALL GLAZED WINDOWS AND DOORS TO BE CERTIFIED BY THE MANUFACTURER FOR EXPOSED DESIGN CATEGORY 2.

TIMBER

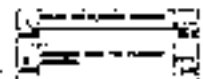
- T1 ALL TIMBER AND TIMBER WORK TO COMPLY WITH A.S. 1708.

HYDRAULIC

- H1 ALL PIPING WORK SHALL BE CARRIED OUT AND CERTIFIED BY AN N.T. LICENSED PLUMBER ACCORDING TO AS PER THE DRAWINGS TO BE PROVIDED BY CERTIFIED PLUMBER ON COMPLETION OF WORK.
- H2 ALL STORMWATER PIPES TO BE CONCEALED BENEATH GROUND.

ELECTRICAL

- E1 ALL ELECTRICAL WORK SHALL BE DESIGNED, CARRIED OUT AND CERTIFIED BY AN N.T. LICENSED ELECTRICIAN.
- E2 SWITCH PLAYS TO BE INSTALLED AS PER AS PER HANDHELD TO MAINS POWER WITH BATTERY BACKUP.
- E3 ALL MECHANICAL VENTILATION TO BE INSTALLED AS PER 1606.1.



As Issued Through	Customer Approval
Project No.	Client No.
Drawn By	Checked By
Scale	Date

Prepared By: [Name]
Checked By: [Name]
Approved By: [Name]

Scale	1:100
Date	1/1/2024
Drawn By	[Name]
Checked By	[Name]
Approved By	[Name]

NOT TO SCALE
ALL DIMENSIONS TO FACE UNLESS OTHERWISE STATED
REFER TO DRAWING FOR DIMENSIONS
REFER TO DRAWING FOR DIMENSIONS
REFER TO DRAWING FOR DIMENSIONS
REFER TO DRAWING FOR DIMENSIONS

TIMBER SHEETING FIXED AS PER NT DTCM 101114
 COLOUR CO. FABRICKS GIALI REEF



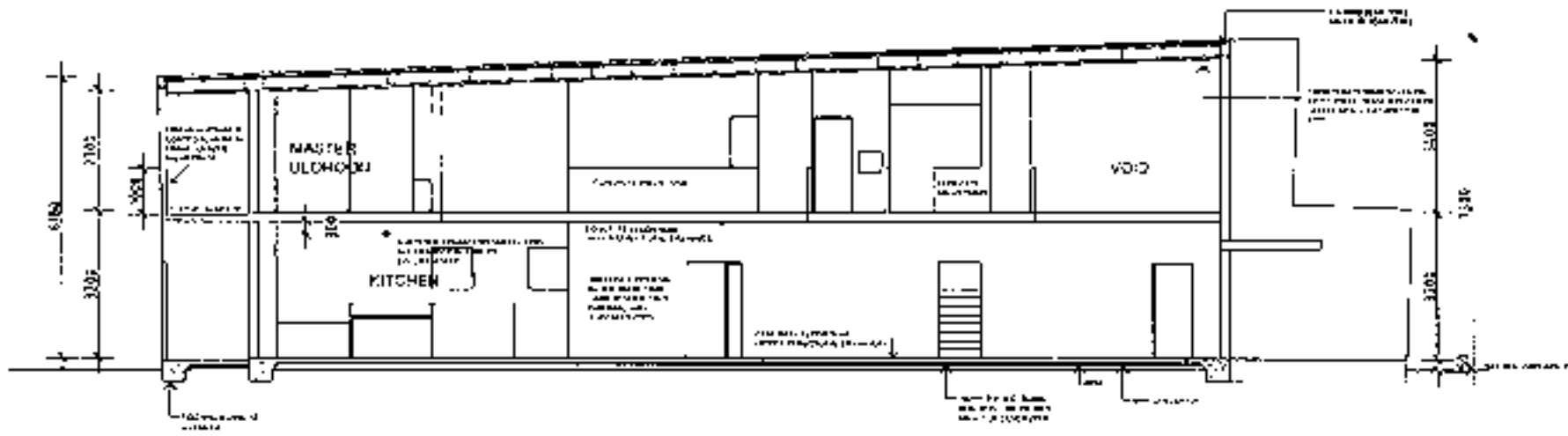
ELEVATION 3

GAUL STEEL ROOF PURLINS WITH 150x40x10 TRIMMER
 BRACKET FIXED AS PER NT DTCM 101114
 COLOUR CO. FABRICKS GIALI REEF



PANELIST ROLLER DOORS FIXED AS PER NT DTCM 101114

ELEVATION 4



SECTION A - A

Architect	Charis Architects
Project Name	...
Client	...
Date	...

Scale	1:100
Sheet No.	...
Date	...

Please quote: 1043632 RB:sv

18 September 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug,

Lot 9633 (8) Sovereign Circuit Coconut Grove Town Of Nightcliff Proposed Development Addition Of An Undercover Area (Laundry) To An Existing Multiple Dwelling (Unit 2)

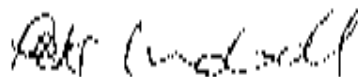
Thank you for the Development Application referred to this office 3 September 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0412.

Yours faithfully

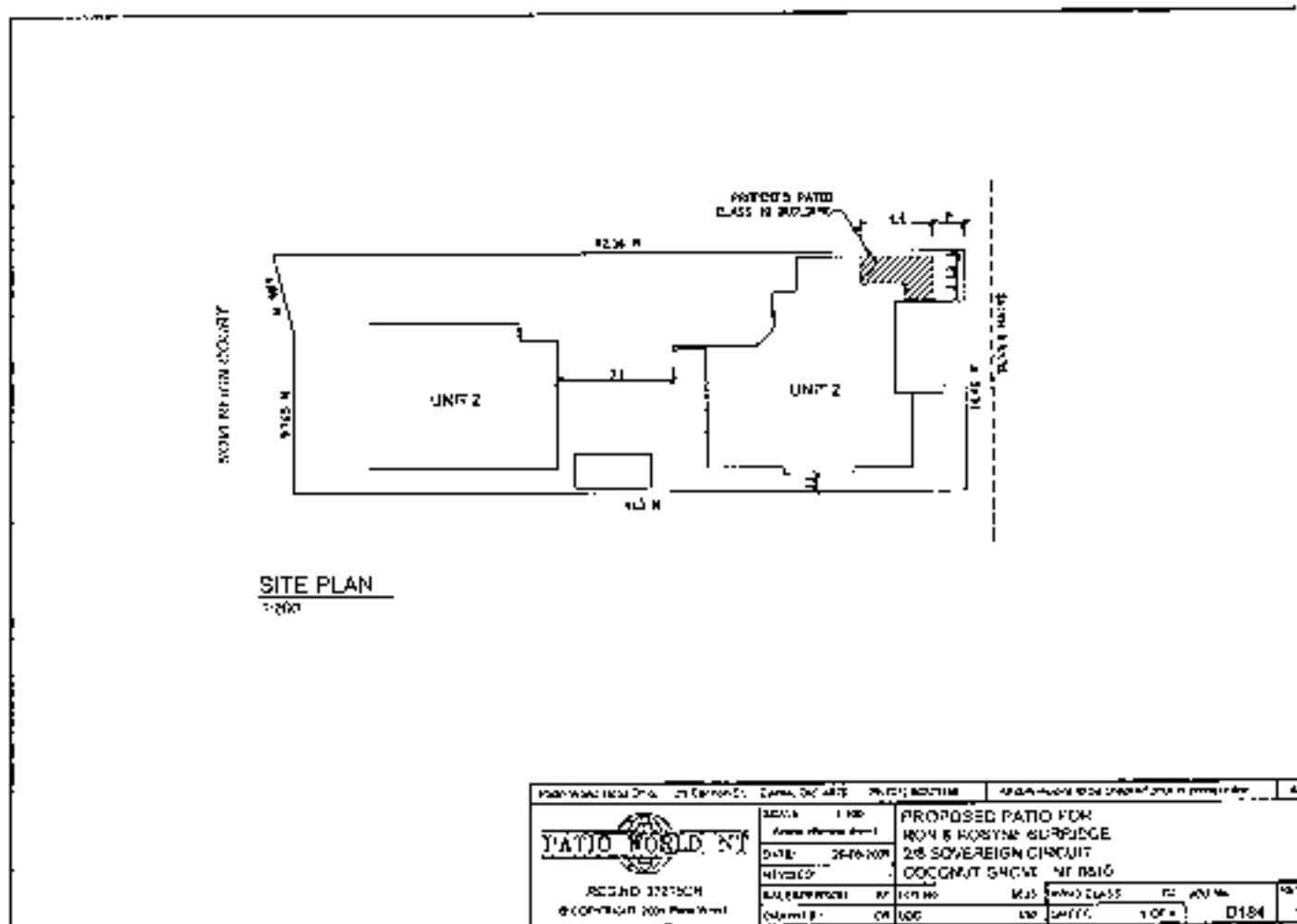


PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Patie Woid NT



DARWIN NT



PROPOSED PATIO FOR UNIT 2	DATE: 24-06-2007	PROJECT: SOVEREIGN	APPROVAL: 100%	40
	REG NO: 372750H © COPYRIGHT 2007 PAVO WORLD	DATE: 24-06-2007 REVISION: 01 DRAWN BY: CA	PROPOSED PATIO FOR NORTH PROPERTY SURFIDGE 2/8 SOVEREIGN CIRCUIT OCCUPANT 540VE NT BS10	
		SCALE: 1:100 AREA: 11.10 M ²	CLASS: B NO. OF UNITS: 1 NO. OF FLOORS: 1	DRAWN BY: CA CHECKED BY: D184

15 September 2009

Mr Doug Losh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 829 (36) Nightcliff Road Rapid Creek Town Of Nightcliff
Proposed Development Carport Addition To An Existing Single Dwelling With
A Reduced Secondary Street Setback**

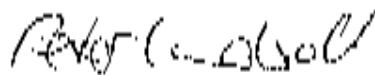
I thank you for the Development Application referred to this office 3 September 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

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In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0412.

Yours faithfully



PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Michael Milroy

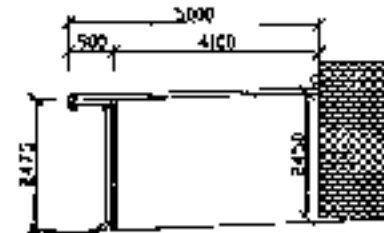


DARWIN 335



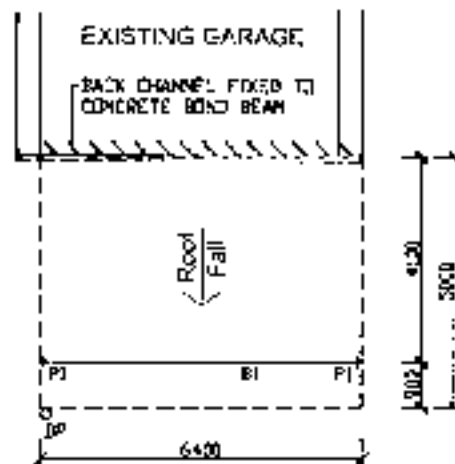
FRONT ELEVATION

1:100



SIDE ELEVATION

1:100



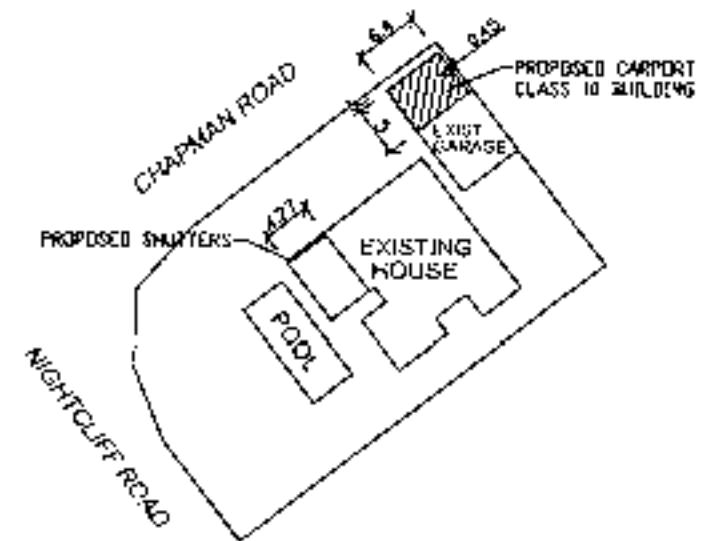
ROOF PLAN

1:100

APOLLO ROOF - 32 SQM. COVER
15 SHEETS @ 5000 MM

B1 170x75 APOLLO BEAM
REFER APOLLO HANDBOOK

P1 65x65x25 AL. POST
POST LOAD 11.56KN
CONCRETE FOOTING
@600x800 MM



SITE PLAN

1:500

Plan No: 27215CR	Scale: 1:100	PROPOSED CARPORT AND SHUTTERS FOR VICTORIA OLSSON & CHRYS NORRIS		RFV
DATE: 19-05-2009	DATE: 19-05-2009	36 NIGHTCLIFF ROAD		
REG. NO. 27215CR	SCALE: 1:100	RAPID CREEK NT 0810		
© COPYRIGHT 2009 Patco World	DATE: 19-05-2009	WIND CLASS: C2	JOB No. D179	
	REVISION:	SHEET 1 OF 1		
	DRAWN BY: CR/LUC			

Please quote: 1638644 PL:sv

10 September 2009

Mr Doug Lash
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 3709 (12) Butters Street Moll, Town of Nightcliff
Proposed Development Variation to existing under cover parking and side set
backs due to location of existing buildings on site. NOT EXHIBITED**

Thank you for the Development Application referred to this office 27 August 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

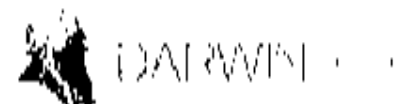
In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully

PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Craig & Karen Burke



Please quote: 1638646 PL:sv

10 September 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 4510 (2) Rosewood Crescent Leanyer Town of Sanderson
Proposed Development Store Room 10m2 with Variation to Side Setback NOT
EXHIBITED**

I thank you for the Development Application referred to this office 27 August 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

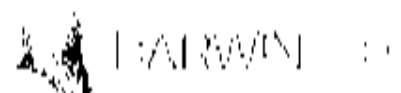
In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully

PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Nike Tschirner



Please quote: 1038841 RB:sv

11 September 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 5341 (1) Buffalo Court Darwin City
Proposed Development Change of Use from Office to Medical Clinic**

Thank you for the Development Application referred to this office 27 August 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

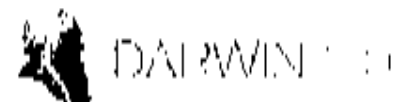
In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully

PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Bill Gubbard Associates



Please quote: 1638839 RB:sw

11 September 2009

Mr Doug Lash
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 4806 (133) Bagot Road Ludmilla
Proposed Development – Shade Structure Over Existing Basketball Court
Exceeding 8.5m Height Limitation**

Thank you for the Development Application referred to this office 27 August 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

There do not appear to be any Council related issues in regard to this application.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully

PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: The Shade and Canvas Company



Please quote: 1634892 PL:sv

4 September 2009

Mr Doug Losh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 6217 (6) Eaton Place Karama
PROPOSED DEVELOPMENT Verandah Addition to an Existing Single Dwelling
with a Reduced Front Setback**

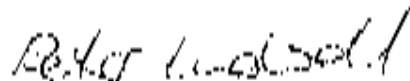
Thank you for the Development Application referred to this office 21 August 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

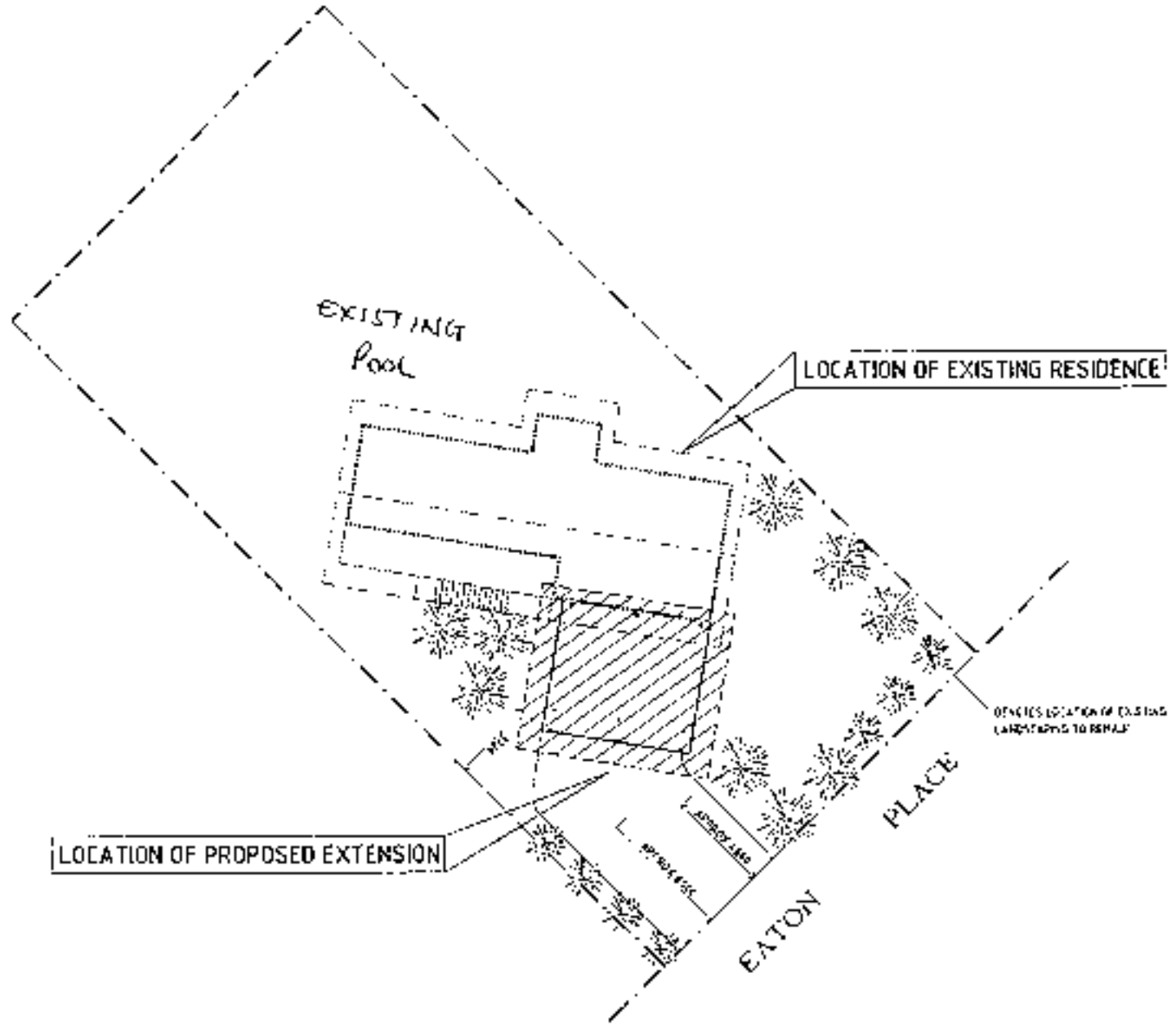
If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



**PETER LINDWALL
STRATEGIC TOWN PLANNER**

cc: David Whitehead



SITE PLAN

AMENDMENT

PROPOSED EXTENSIONS
 107 6217 EATON PLACE KARAMA
 FOR BRETT AND JAYNE BALDING

DAVID DESIGN & DRAFTING
 STRUCTURAL ARCHITECTURAL CIVIL
 PH: 0412 949 756 Fax: 09 311 111

DATE	MAY 03
DWG. NO.	1028-751
SCALE	1:100
APP'D	

Please quote: 1634891 PL:av

4 September 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

READVERTISED

**Lot 2897 (12) Christie Street Fannie Bay
PROPOSED DEVELOPMENT Additions to Existing Single Dwelling Including
Additions/Alterations to the Second Storey and a Carport Addition with
reduced front and side setbacks**

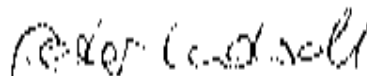
Thank you for the Development Application referred to this office 9 July 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0520.

Yours faithfully



PETER LINDWALL
STRATEGIC TOWN PLANNER

ool'project Building Certifiers



DARWIN 2009

Please quote: 1632960 PC:sv

1 September 2009

Mr Doug Losh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

NOT EXHIBITED

**Lot 8727 (5) Durand Court Coconut Grove
Proposed Development Construction Of An External Awning For Car Parking
And Staff Under Cover Work Area With Reduced Side Setbacks**

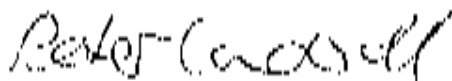
Thank you for the Development Application referred to this office 18 August 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



**PETER LINDWALL
STRATEGIC TOWN PLANNER**

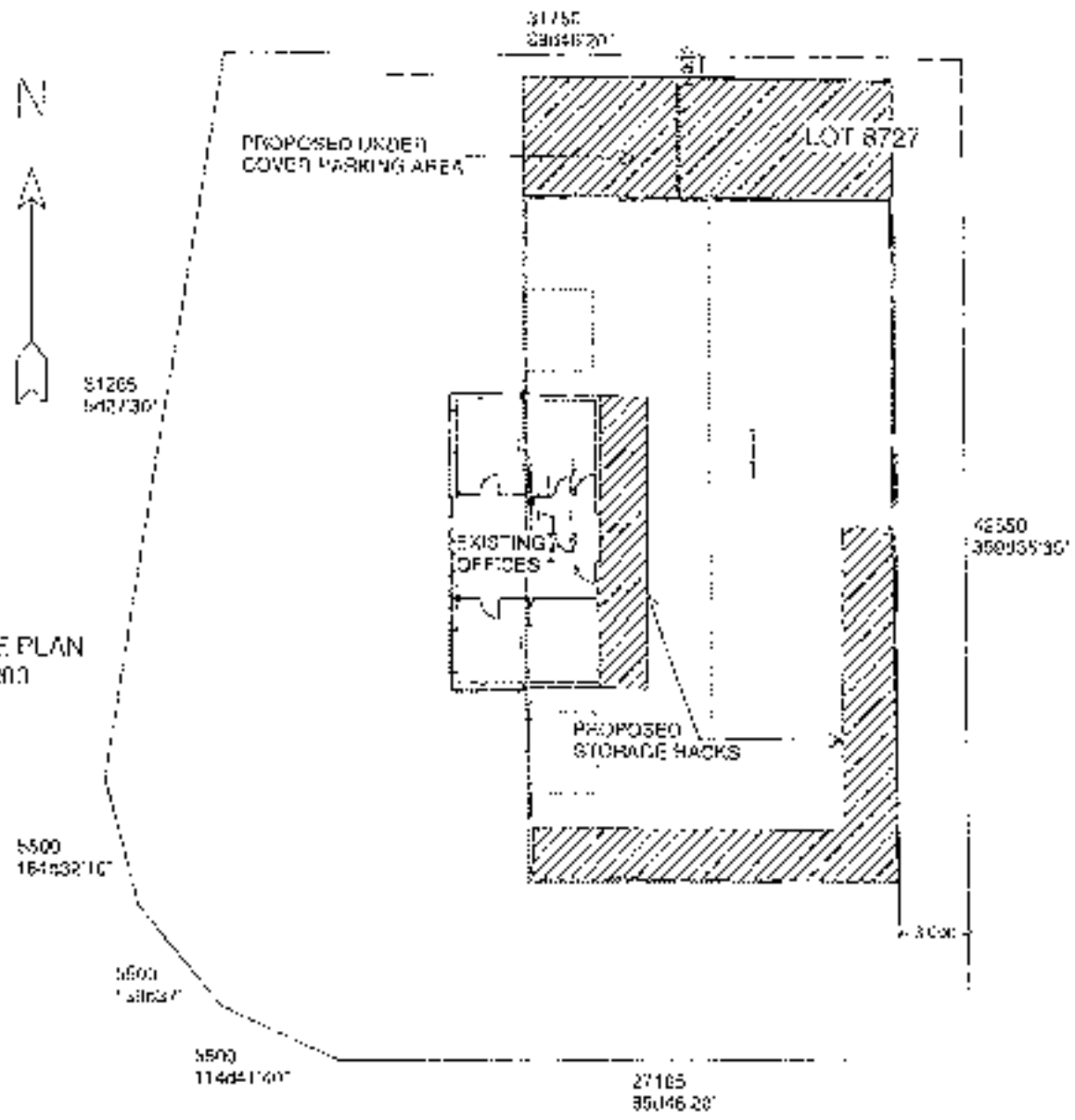
cc: Peter Gordon



DARWIN 2009



SITE PLAN
1 : 200



DIVERSE DRAWING
 10001 100th Street
 Van Nuys, CA 91411

ENG. MILLER: WALTERSON & GIBSON
 CLIENT: PETER GORDON
 6120th Street, Van Nuys, CA 91411

SCALE: 1 : 200
 JOB No: 434 GORDON

DRAWN: J. NOWLAND
 SHEET: 5
 DATE: JUNE 2008

PROPOSED COVERED AREA & PARKING SYSTEM AT LOT 8727, 5110 LIJUAN COURT, COCKLETT GROVE FOR PETER GORDON

Please quote: 1630142 PL:sv

28 August 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 5872 (24) Koolinda Crescent Karama
PROPOSED DEVELOPMENT Shade Structure Addition to an Existing Single
Dwelling with a Reduced Front Setback**

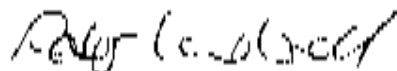
Thank you for the Development Application referred to this office 13 August 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

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Yours faithfully

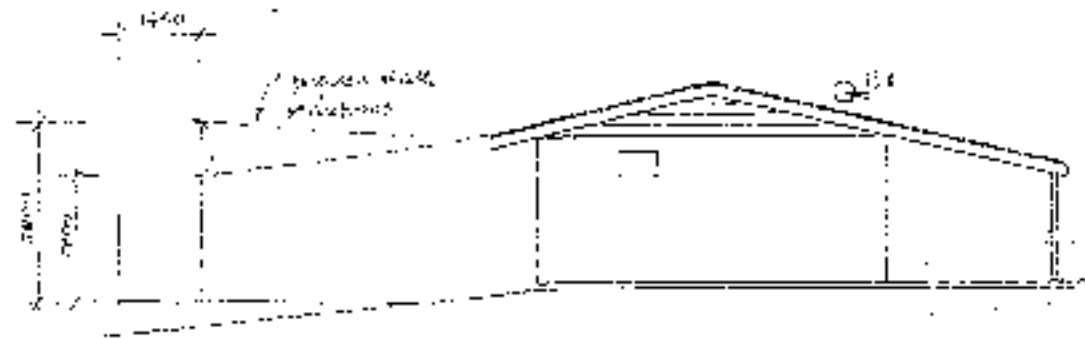


**PETER LINDWALL
STRATEGIC TOWN PLANNER**

cc: Christopher Batenburg

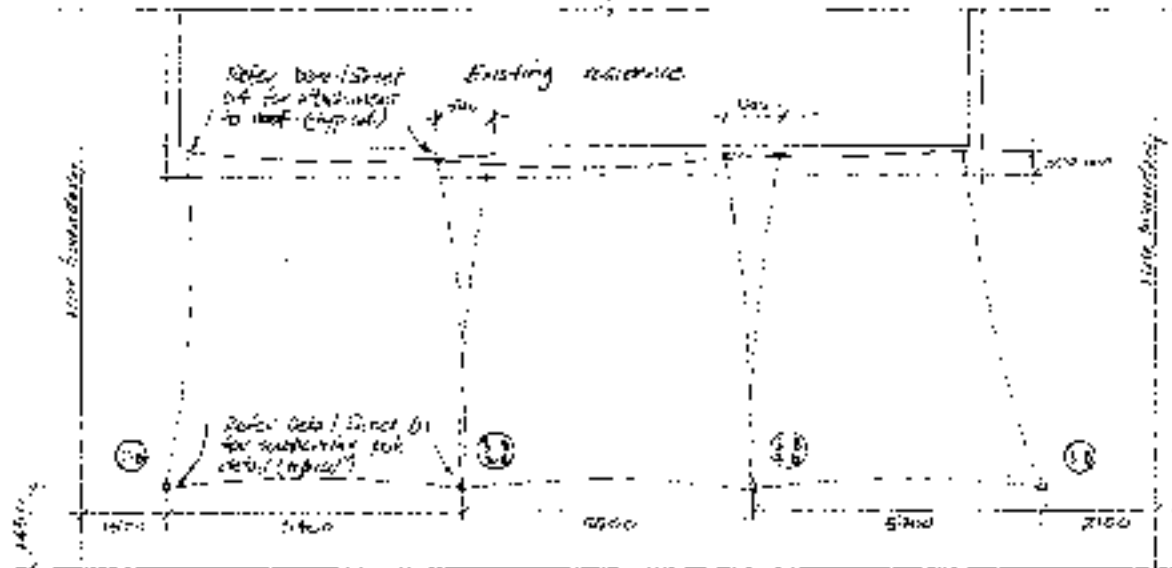


DARWIN2000

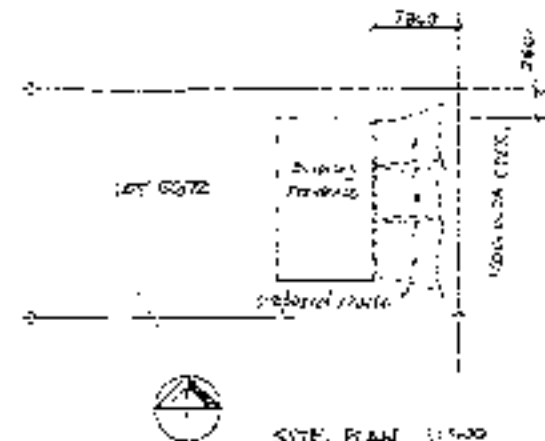


NORTH ELEVATION 1:100

⊙ 24M maximum height of shade structures to supporting posts.



DETAIL PLAN 1:100



SITE PLAN 1:1000

KOOLINDA CRESCENT

NT SHADE & CANVAS



Shed 1/59 Reichenst Rd,
Winnah NT 0820
Tel: 08 8252 50

08 8252 50

PROPOSED SHADE STRUCTURES FOR SHANNON & CHENGA ELLISON
OF LOT 5672, 24 KOOLINDA CRESCENT, KAIRAMA

352

DATE 28 July 2005

SCALE: As shown

DESIGN [Signature]

THE [Signature]

Please quote 1653725 PL:sv

22 September 2009

Mr Doug Losh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 1532 (39) Cavanagh Street Darwin City Town Of Darwin
Proposed Development -- Subdivision To Create 4 Building Lots And Common
Property**

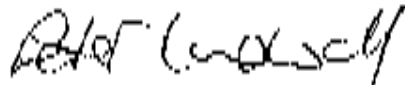
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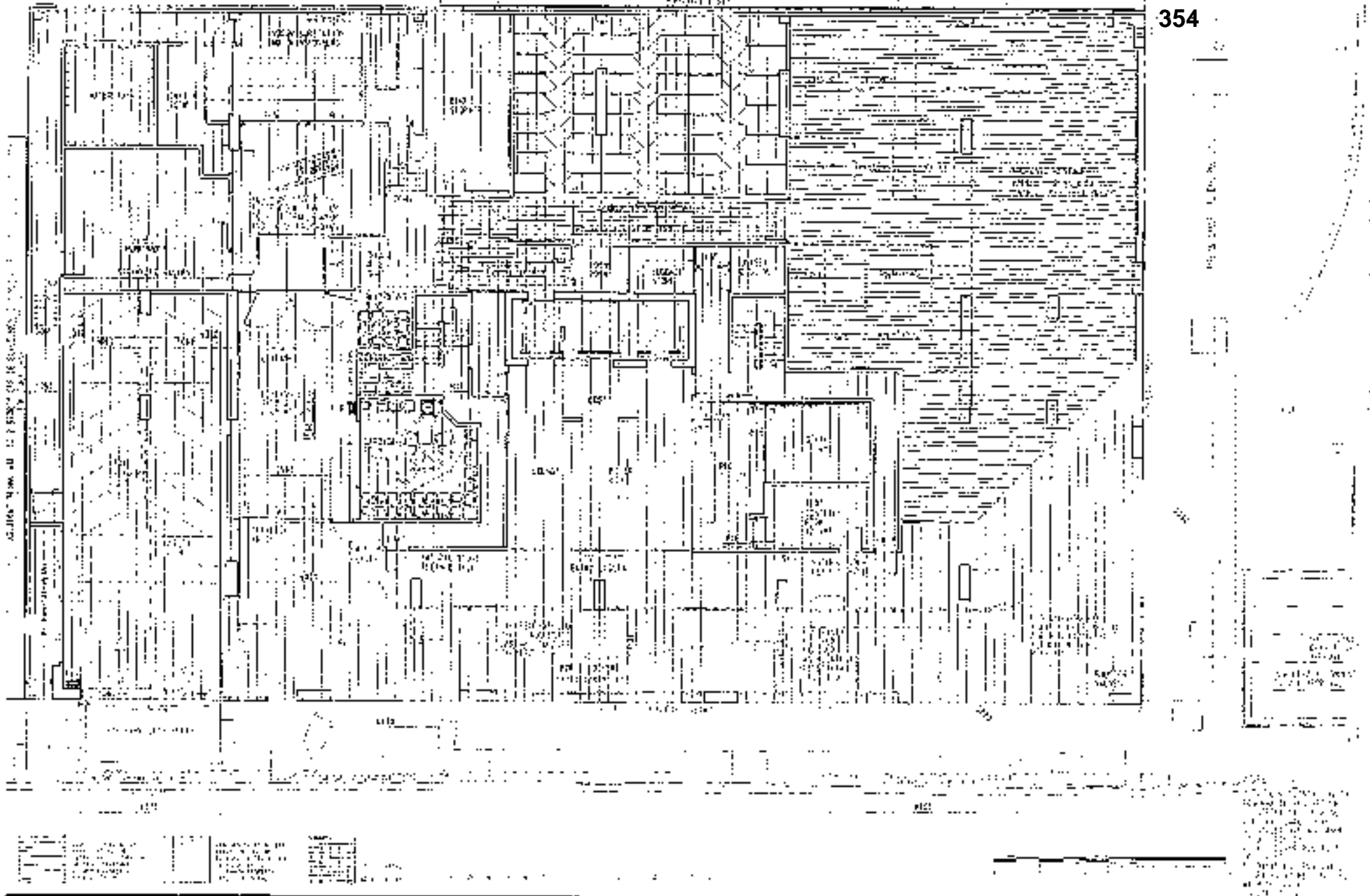
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Yours faithfully



**PETER LINDWALL
STRATEGIC TOWN PLANNER**

cc: Ball Cabinet Associates



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	10/10/11
2	REVISION	10/10/11
3	REVISION	10/10/11
4	REVISION	10/10/11
5	REVISION	10/10/11
6	REVISION	10/10/11
7	REVISION	10/10/11
8	REVISION	10/10/11
9	REVISION	10/10/11
10	REVISION	10/10/11



QUEST TOWER PROPOSAL
 BONE 'A' - LEVEL 1 PLAN
 10/10/11

PRELIMINARY
 QUEST TOWER PROPOSAL
 MIXED USE TOWER PROPOSAL
 LOT 1532 CAVENAGH + LUMURDS
 GARDINER

LEVEL 1 PLAN
 354
 BUILDING LAYOUT

SK3

Please quote 1653720 Please

2 October 2009

Mr Doug Losh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 4498 (66) Namarluk Drive Ludmilla Town of Darwin
Proposed Development – Verandah / Balcony Addition To An Existing Single
Dwelling With A Reduced Front Setback**

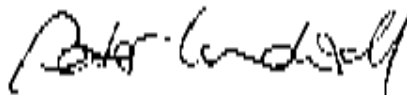
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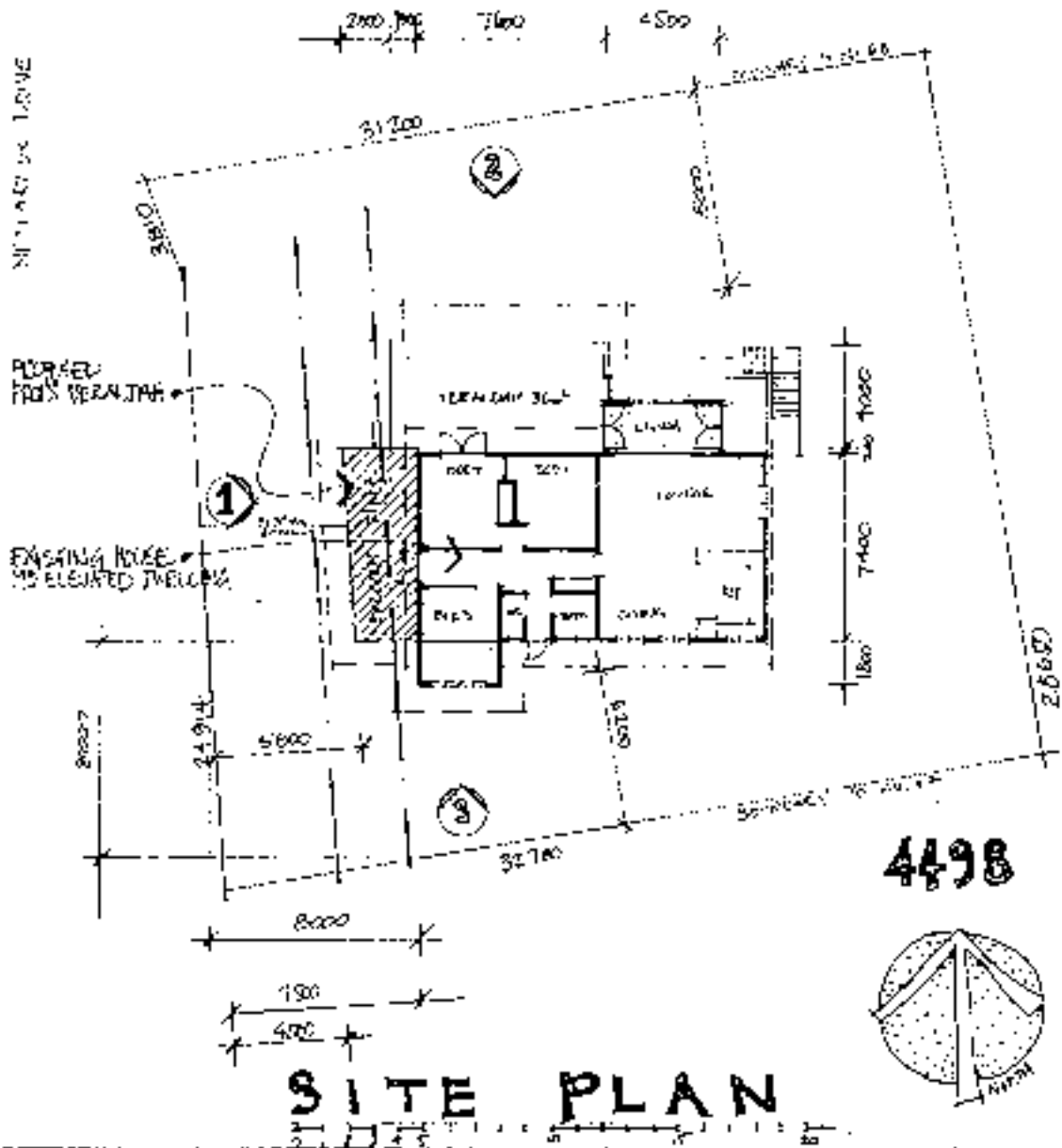


PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Leo Oliver



DARWIN CITY COUNCIL



SITE PLAN



ELEVATION 3 SOUTH

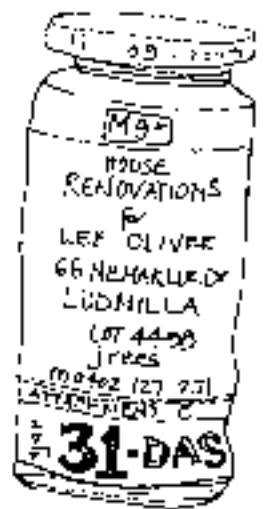


ELEVATION 2 NORTH



ELEVATION 1 WEST ALLEY FRONT

- LEGEND
- [Symbol] NEW EXTERNAL WALL
 - [Symbol] NEW ROOF
 - [Symbol] NEW BALCONY/RAIL



Please quote 1653724 PL:sv

2 October 2009

Mr Doug Losh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 3293 (15) Links Road Marrara Hundred Of Bagot
Proposed Development Verandah Addition To An Existing Multiple Dwelling
(Unit 11)**

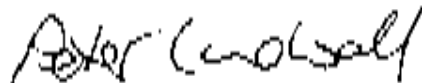
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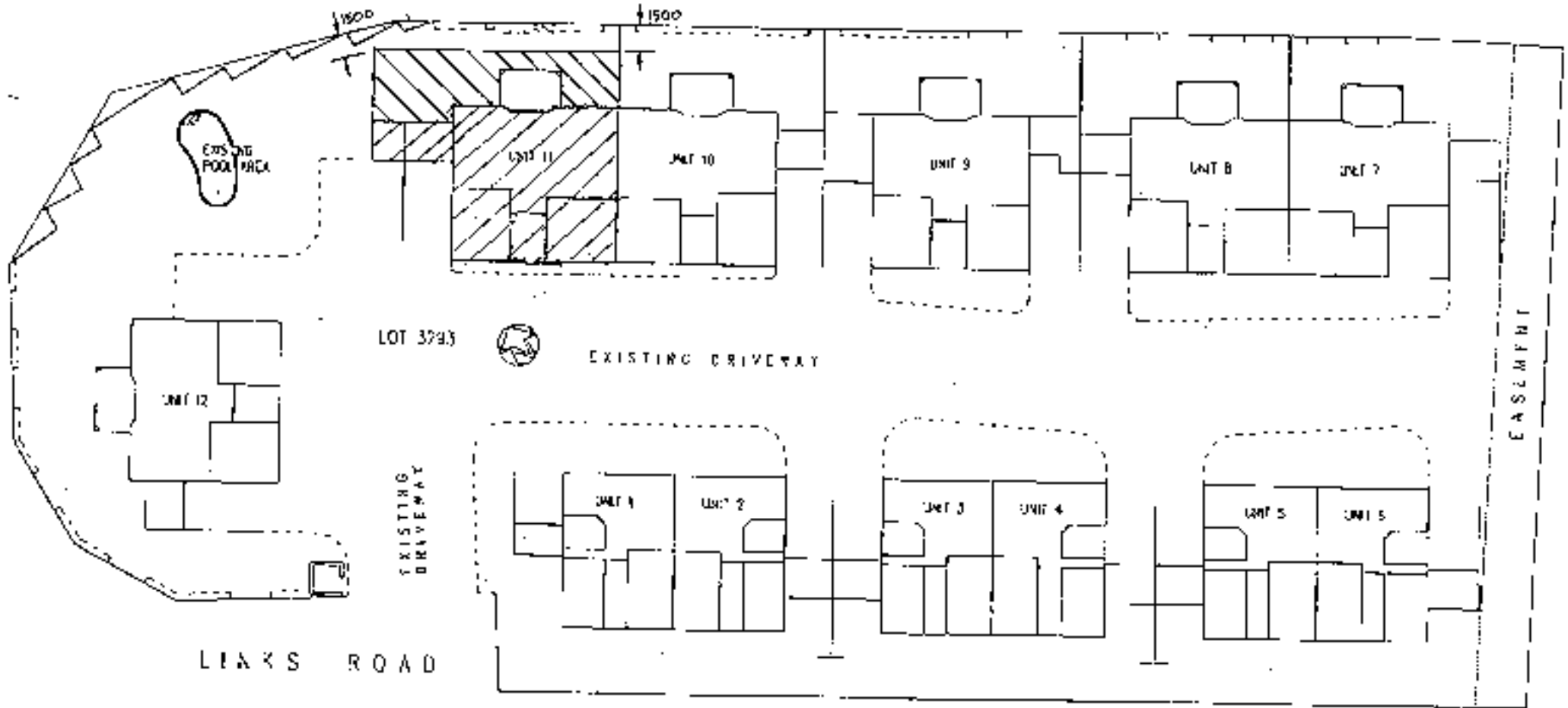
Yours faithfully



**PETER LINDWALL
STRATEGIC TOWN PLANNER**

cc: NAC Pty Ltd

McMILLANS ROAD



SITE PLAN
SCALE 1:250

15.400x3.600 VERANDAH UNIT 11 LOT 3293 LINKS ROAD MARRARA FOR KEN LEHMANN



GWYNES CHARPENTIER MUDDAWAY JST LTD
Consulting Engineers
11-11 Leaning Tower Drive, Marrara
C/O Bay Street Development Co Pty Ltd
10 Bay Street, Marrara



NATIONAL LAW SOCIETY (NSLS) 77-77 Turner Street, Canberra Centre, P.O. Box 7, Nishchikent 0214 Tel: 0293 1400 Fax: 0293 1673

20.8.09

2 October 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 7610 (19) Kitchener Drive Darwin City Town Of Darwin
Proposed Development – Changes To The Development Approved By
DP05/0547 To Enclose Part Of The Private Open Space Balcony Areas At Level
6 Of Building**

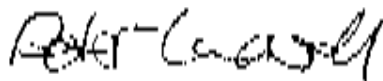
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Yours faithfully



**PETER LINDWALL,
STRATEGIC TOWN PLANNER**

cc: Toraja Darwin No 1 Pty Ltd

OPEN SECTION

PAGE

TP10/12

Town Planning Committee Meeting – Wednesday, 7 October, 2009

12 GENERAL BUSINESS

