

Please quote: 1539692 CT:cpd

27 March 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Portion 2898 & Section 3115 (92 & 102) Reichardt Road, Winnellie – Hundred of Bagot
Changes to the Development Approved by DP05/0015 to Reduce the Number of Lots from 72 to 68**

Thank you for the Development Application referred to this office on 12th March 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Engineering design and specifications for the proposed and affected roads, including streetlighting, stormwater drainage, vehicular access, pedestrian/cycle corridors, streetscaping and landscaping of nature strips shall be submitted for approval by the General Manager of Infrastructure, Darwin City Council and all approved works constructed to Council's requirements at the applicant's expense.
- Any easements or reserves required for the purposes stormwater drainage, roads, access or for any other purpose shall be made available free of cost to the Darwin City Council or neighbouring property owners.



DARWIN200

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please contact me on 8930 0528.

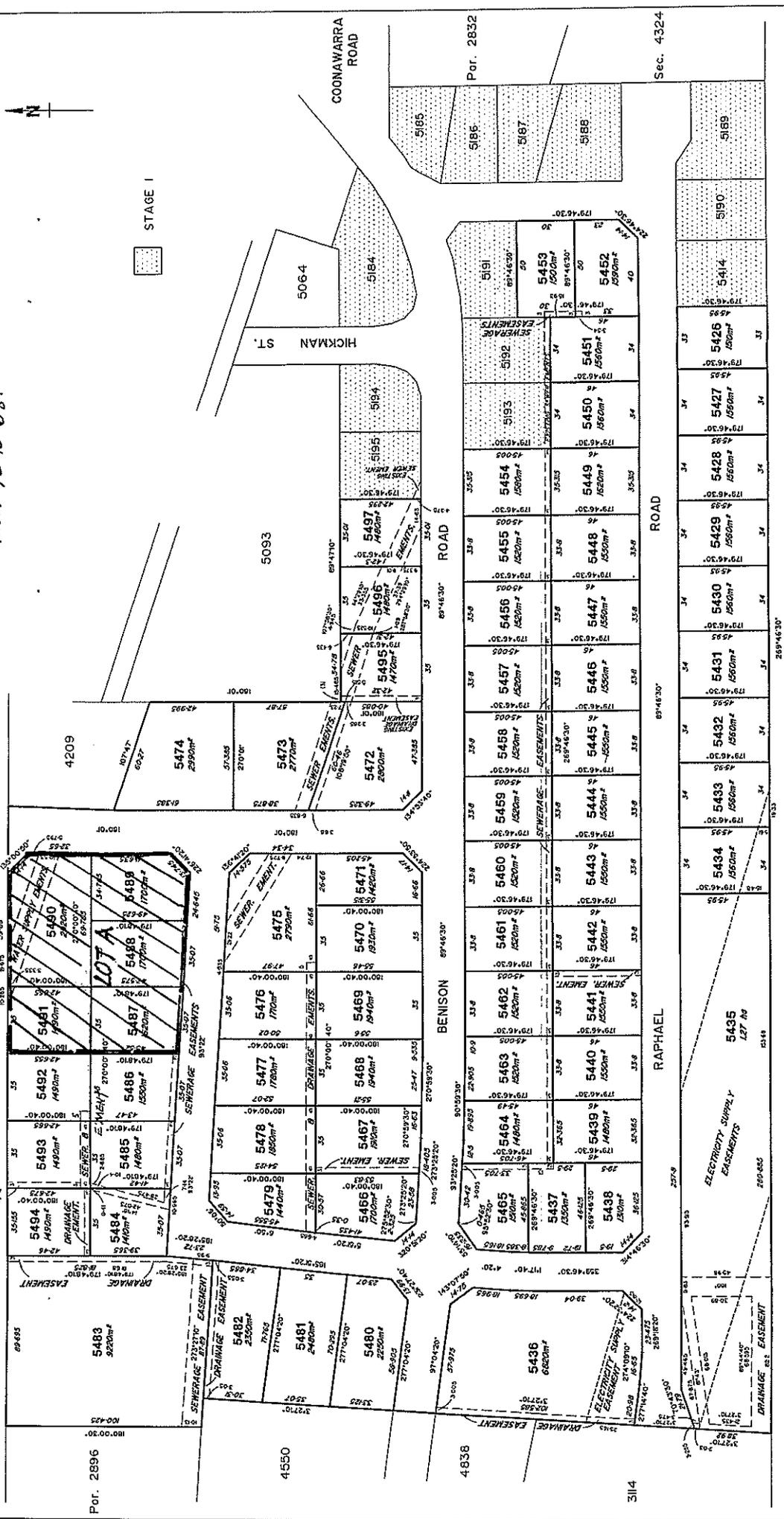
Yours faithfully

A handwritten signature in black ink that reads "Peter Lindwall". The signature is written in a cursive style with a large initial 'P'.

PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Morandini Investments Pty Ltd

* CHANGES TO THE DEVELOPMENT APPROVED BY DEVELOPMENT PERMIT DP05/0015 TO REDUCE THE NUMBER OF LOTS FROM 72 TO 68.



Por. 1263 TIGER BRENNAN DRIVE

REG. NO. A2009/110

NOTES		ASSOCIATES		Client: MORANDINI EARTHWORKS	
All Dimensions are calculated and are subject to survey.		MATHAWA & ASSOC. PTY LTD 10 Mt Stuart, Coonawarra, SA 5203 P.O. Box 100, Mt Stuart, SA 5203 Ph: 08 9533 3333 Fax: 08 9533 3334		Draws: JMA Checked: JMA Approved: JMA Scale: 1:1000 CAD File: A:\A2009\A2009.dwg	
The Electricity Supply, Water, Sewer and Sewerage Easements are in favour of the Power and Water Authority.		S U R V E Y O R S		Rev. '00 Rev. '00 Rev. '00 Sheet: 01 Dwg. No. 00151/02	
The Drainage Easements are in favour of the Darwin City Council.		REG. NO. A2009/110		SECTIONS 5426 TO 5437 SUBDIVISION OF SECTION 215 & PORTIONS 272, 287 & 288 INTO 72 LOTS	

Please quote: 1544295 CT:cpd

3 April 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lots 1972 - 1977 (46 & 44) Stuart Highway, (2 & 4) Henry Street, (1 & 3) James Street, Stuart Park – Town of Darwin
New Showroom Sales Building and Associated Carparking**

Thank you for the Development Application referred to this office on 19th March 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**

Council comments in relation to the Planning Act and the Northern Territory Planning Scheme

- a). **Council requests that the Authority requires a monetary contribution to be paid to Council pursuant to clause 6.5.2 of the Northern Territory Planning Scheme and s.70(5) of the Planning Act in lieu of the on-site car parking shortfall as a result of this development.** The Northern Territory Planning Scheme requires a total of 105 car parking spaces for the showroom sales development and only 104 are provided on site. The applicant has confirmed the car parking shortfall in the development application submission. The rate of the monetary contribution is set-out within Council's Carparking Contribution Plan.



DARWIN200

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- b). **Council requests the Authority requires a schematic plan demonstrating how stormwater will be collected on the site and discharged to the underground stormwater drainage system.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged to the local drainage network. Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into the stormwater drainage system. It is also necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties. The plan should include details of site levels and stormwater drain connection point/s within the vicinity of the site.

- c). **Council requests the Authority includes the following condition on any development permit issued which references footpath and landscaping works within Council's road reserve:**

"Notwithstanding the approved plans, the proposed footpath and landscaping works are subject to Council's approval and shall meet all Council's requirements to the satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council."

The development application includes new concrete footpaths, irrigated grass and shade trees within Council's James Street, Henry Street and Coronation Drive road reserves.

- d). **Council requests the Authority includes the following note on any development permit issued which demonstrates signs:**

"Notwithstanding the approved plans, in accordance with Part 8 – Signs, Hoardings And Advertising of the Darwin City Council's by-laws, all signage is subject to Council approval and shall meet all Council requirements to the satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council."

The submitted plans demonstrate that a 12 metre high, 4.5 metre wide signage obelisk will be constructed on the site at the corner of Stuart Highway and James Street.

- d). **The crossovers and driveways appear to meet Council's requirements.**
- e). **The proposed waste bin stores located within the staff car park appear to meet Council's requirements.** It appears that the 2 waste bin enclosures have each been designed to house a 3m³ commercial bin. Council requires the commercial bins to be fully screened from the surrounding residential areas.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager of Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.
- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.
- Kerb crossovers and driveways to the site shall be provided and disused crossovers removed, public footpath and cycleways shall be provided, stormwater shall be collected and discharged into Council's drainage network, and reinstatement works carried out, all to the requirements and satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.
- Sight lines shall be provided at crossovers to public streets to the satisfaction of the General Manager of Infrastructure, Darwin City Council. No wall, fence or tree exceeding 0.6 metres in height shall be constructed or planted in front of the sight line.
- Any gate over an access to a public road shall be placed on the subject site at least 4.5m from the face of the kerb line of the adjoining public road.
- Car parking spaces and internal driveways shall meet the requirements of the relevant Australian Standard and be linemarked and sealed with an impervious material.
- The total number of required disabled car parking bays shall be met on site.
- Pursuant to clause 6.5.2 of the Northern Territory Planning Scheme and s.70(5) of the Planning Act a monetary contribution shall be paid to Darwin City Council for any determined parking shortfall.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager of Infrastructure, Darwin City Council.
- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please contact me on 8930 0658.

Yours faithfully

A handwritten signature in black ink that reads "Peter Lindwall". The signature is written in a cursive style with a large initial "P" and "L".

PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Gaymark Investments

Please quote: 1544313 CT:cpd

3 April 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 2519 (1) Voyager Street, Stuart Park – Town of Darwin
4 x 3 Bedroom Multiple Dwellings in 3 x 2 Storey Buildings**

Thank you for the Development Application referred to this office on 19th March 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). The applicant's site plan demonstrates a 3-metre wide drainage easement running along the rear boundary of the site. Council has no records of any drainage easement in this location. The developer needs to establish the existence of the easement by way of a title search. The title search would also reveal in whose favour the easement has been made.
- b). **Council requests the Authority requires a stormwater drainage plan that provides the technical information required by Council to assess stormwater drainage proposals for the development.** The plan should demonstrate how stormwater will be collected on the site and connected to Council's drainage system. The plan should include details of site levels and Council's stormwater drain



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connection point/s within the vicinity of the site. Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into Council's stormwater drainage system. It is also necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties. **The applicant's site drainage plan fails to provide the information required by Council at the development application stage.**

As there is no drain at the front of the site in Voyager Street there are two possible solutions to the drainage of the site:

- One is to run a drain a short distance to the corner to the existing underground drain. In this case the lot sits within the CP2003/01B-Stuart Park Developer Contribution Plan;
- The other is to make a connection to the kerb or overland flow off the site and pay a drainage contribution of approximately \$8,600 as this would be less than the construction of a drain to the corner.

ii). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **The proposed 6-metre wide crossover and driveway from Voyager Street appears to meet Council's requirements.**
- b). Council notes from the applicant's Site Plan that the waste bin enclosure and letterbox structure are proposed on the front boundary of the site, adjacent to the vehicle driveway. Council requires that a condition is placed upon any development permit to require that vehicle sight lines shall be provided at crossovers to public streets to the satisfaction of the General Manager of Infrastructure, Darwin City Council. No wall, fence or tree exceeding 0.6 metres in height shall be constructed or planted in front of the sight line. The wording of the condition is included in the list of general conditions below.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager of Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.

- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.
- Kerb crossovers and driveways to the site shall be provided and disused crossovers removed, public footpath and cycleways shall be provided, stormwater shall be collected and discharged into Council's drainage network, and reinstatement works carried out, all to the requirements and satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.
- Sight lines shall be provided at crossovers to public streets to the satisfaction of the General Manager of Infrastructure, Darwin City Council. No wall, fence or tree exceeding 0.6 metres in height shall be constructed or planted in front of the sight line.
- Any gate over an access to a public road shall be placed on the subject site at least 4.5m from the face of the kerb line of the adjoining public road.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of The Director of Technical Services, Darwin City Council.
- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please contact me on 8930 0658.

Yours faithfully



PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Raw Designs

	unit 1/2	unit 3/4
gross	135	128.3
living	77.4	109.4
verandah	17.9	18.8
balcony		18.8
garage	40.8	36.4
roofed	20	175

areas

GENERAL NOTES

ALL STORMWATER FROM DOWNPIPES TO BE COLLECTED IN STORMWATER SYSTEM AND DISCHARGED TO DCC APPROVAL. DO NOT ALLOW STORMWATER TO DISCHARGE INTO NEIGHBOURING PROPERTIES.

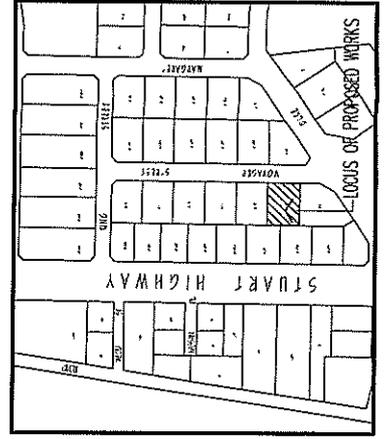
STANDARD DOMESTIC ROOF TOP ANTENNA TO BE PROVIDED.

BOUNDARY WALL HEIGHTS TO BE MEASURED ABOVE NATURAL GROUND LEVEL. WALLS TO BE PAINTED RENDERED BLOCKWORK TO MATCH HOUSE CONSTRUCTION. BOUNDARY WALL HEIGHTS TO INCLUDE 1.0M MAX RETAINING WALL.

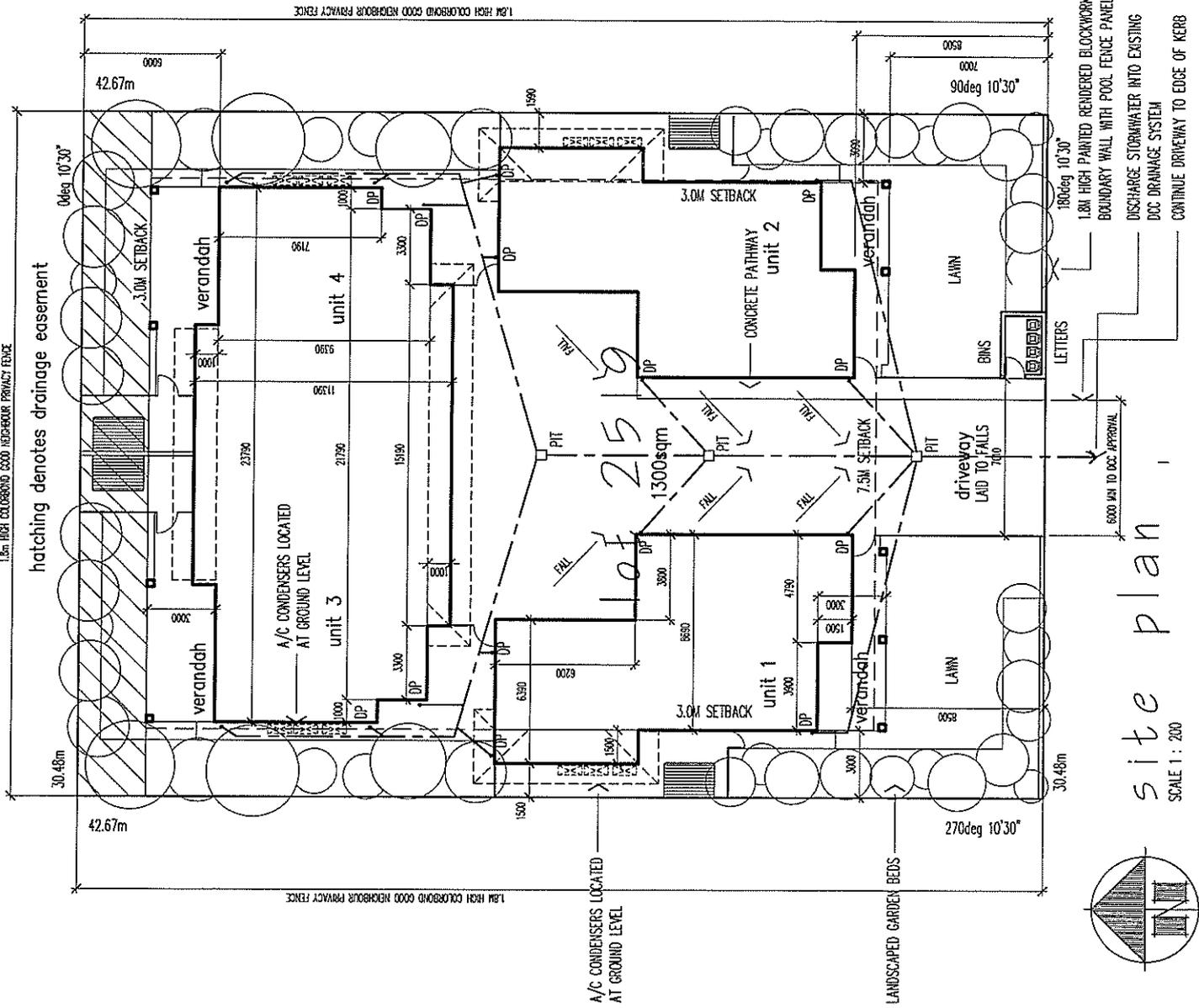
LANDSCAPE SCHEDULE

- T1 ROYSTONIA
- T2 NERUM OLEANDER
- T3 HIBISCUS MUTABILIS
- T4 CLUMPING PALMS
- T5 IXORA CHINENSIS

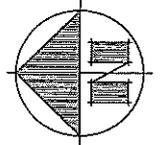
EXACT LOCATION OF PLANTING TO BE AGREED WITH SPECIALIST SUB CONSULTANT APPROPRIATE LANDSCAPING IN MULCHED GARDEN BEDS TO PROVIDE SHADE AND SCREENING OF OPEN PRIVATE SPACES AND BETWEEN DWELLINGS. TREES TO FRONT OF DWELLING TO BE SUITABLE OF ACHIEVING 5M HEIGHT WITHIN 2 YEARS. REFER TO DESIGN GUIDELINES FOR SUGGESTED SPECIES. FINAL APPROVAL TO BE TO THE SATISFACTION OF DOWER REPRESENTATIVE.



locality plan



site plan
SCALE 1: 200



21 rochford road, darwin, nt 0801
 08 8946 0771 • mob 08 8927 0721 • email rai_ashley@cityofdarwin.gov.au
 LOT 2519 VOYAGER STREET
 STUART PARK
 CITY HOMES PTY LTD

Date: 14/05/2014
 Scale: A5:500MM
 0916-SKI
 Area: 1000sqm
 builder to verify all dimensions on site prior to construction

Please quote: 1544316 CT:cpd

3 April 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 3885 (3) Quarry Crescent, Stuart Park – Town of Darwin
Alterations and Additions to Existing 4 x 2 Bedroom Multiple Dwellings in a 2
Storey Building**

Thank you for the Development Application referred to this office on 19th March 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**
 - a). **Council requests that the Authority requires an amended Site Plan demonstrating a waste bin enclosure designed and located in accordance with Council's Waste Bin Policy.** There is no waste bin enclosure shown on the submitted plans. A copy of Council's Waste Bin Policy can be sighted on Council's website at www.darwin.nt.gov.au.
 - 1). Unless private collection arrangements have been approved by Council, this property will be serviced by Council's manual waste bin collection service. The waste contractor enters the property on foot and wheels the bins to the garbage truck and



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then returns the bins to the enclosure. Council will provide a 1 x 240 litre garbage bin (to be serviced twice weekly) and a 1 x 240 litre recycling bin (to be serviced weekly) for the development.

- b). **Council requires that a condition is placed upon any development permit issued to require that driver sight lines shall be provided at crossovers to public streets to the satisfaction of the General Manager of Infrastructure, Darwin City Council.** No wall, fence or tree exceeding 0.6 metres in height should obscure the sight line for drivers entering and exiting the property. Council notes from the development application plans that there is 'mature vegetation screening' adjacent to the vehicle driveway at its boundary with the Quarry Crescent road verge.

- i). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **The development application plans do not demonstrate any proposed changes to the existing vehicle access arrangements or stormwater drainage systems on the site.**

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager of Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.
- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.
- Kerb crossovers and driveways to the site shall be provided and disused crossovers removed, public footpath and cycleways shall be provided, stormwater shall be collected and discharged into Council's drainage network, and reinstatement works carried out, all to the requirements and satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.
- Sight lines shall be provided at crossovers to public streets to the satisfaction of the General Manager of Infrastructure, Darwin City Council. . No wall, fence or tree exceeding 0.6 metres in height should obscure the sight line.

- Any gate over an access to a public road shall be placed on the subject site at least 4.5m from the face of the kerb line of the adjoining public road.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager of Infrastructure, Darwin City Council.
- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please contact me on 8930 0658.

Yours faithfully



PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Bayside Design and Drafting

**PROPOSED ADDITIONS TO
EXISTING CLASS 2
ACCOMMODATION**

LOT 3885

Nº 3 QUARRY CRESCENT, STUART PARK
TOWN OF DARWIN

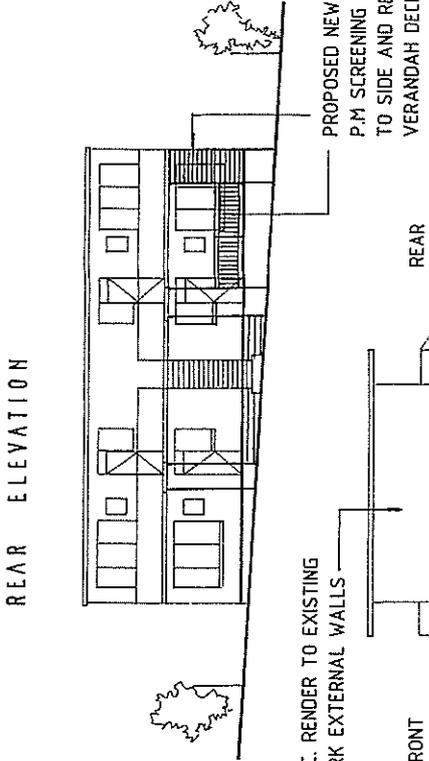
1:200

TOTAL AREA - 1050 m2
EACH UNIT - 57.40 m2
ZONE - MD

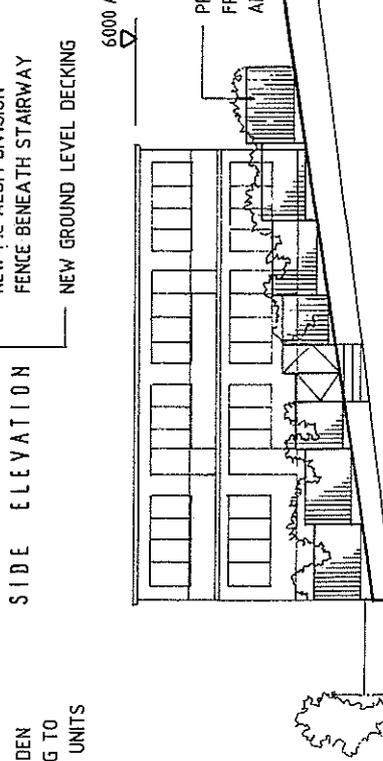
901-09

SHT 1 OF 1

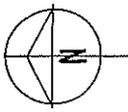
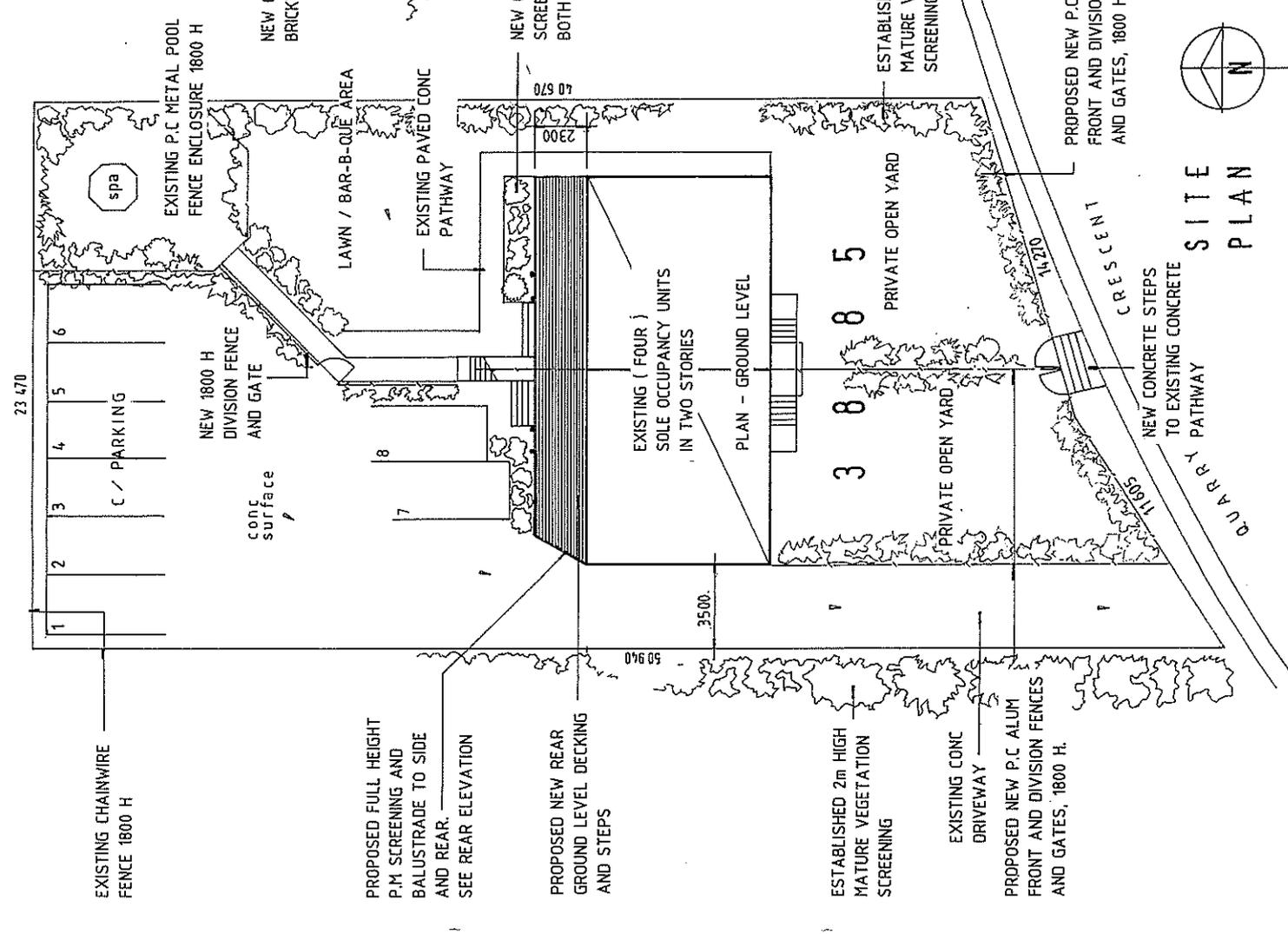
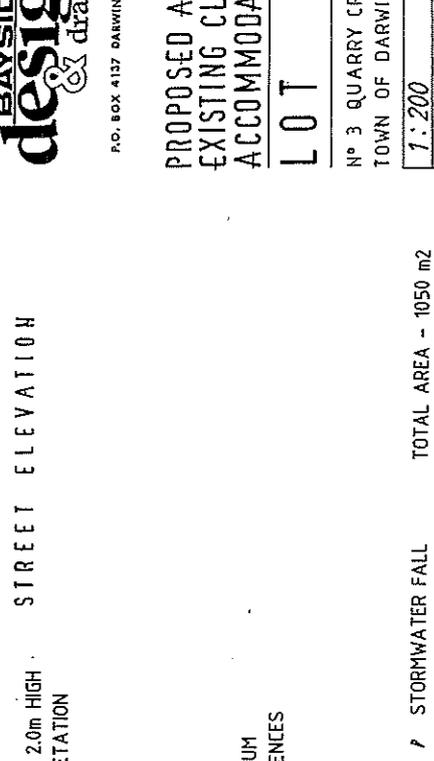
REAR ELEVATION



SIDE ELEVATION



STREET ELEVATION



SITE PLAN

Please quote: 1544319 CT:cpd

3 April 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 1961 (25) Duke Street, Stuart Park – Town of Darwin
16 x 2 Bedroom Multiple Dwellings in a 4 Storey Building Plus 1 Level of
Basement Carparking**

Thank you for the Development Application referred to this office on 19th March 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **Council requests the Authority requires a schematic plan demonstrating how stormwater will be collected on the site and discharged underground to Council's stormwater drainage system.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged underground to Council's drainage network.
 - 1). Due to the slope of the land towards the north-eastern boundary of the site, the major drainage discharge can only outfall towards Gothenburg Crescent across Lots 4695 and 4696. An agreement with the owners of these allotments will need to be



DARWIN200

obtained for water to be discharged across their land. Proof of an agreement with the owners of Lots 4695 and 4696 is required to allow drainage across their land to Gothenburg Crescent.

- 2). Minor stormwater drainage for the paved and landscaped area to the front of the site can be collected and discharged underground to a drainage pit in Duke Street.
 - 3). The stormwater drainage plans should include details of site levels and Council's stormwater drain connection point/s.
- b). **Council requests the Authority requires amended plans demonstrating a waste bin storage enclosure designed in accordance with Council's requirements.** A waste bin storage enclosure is shown adjacent to the front boundary of the site, but it is not large enough to store 7 x 240 litre garbage and recycling bins, as required by Council. The waste bin enclosure is approximately 4 metres long and 1.6 metres deep and would store 5 x 240 litre bins only. Council's Waste Bin Policy requires the developer to provide an enclosure to store 7 x 240 litre bins (4 for general garbage and 3 for recycling). A 240 litre bin has a depth of approximately 80cm and a width of approximately 60 cm. There should be a 1 metre corridor available within the bin storage area for the waste service contractor and residents to access the bins.
- c). **Council requests the Authority requires amended plans demonstrating driver sightlines at the crossover from the car park exit to the Duke Street verge that meet Council's requirements.** No wall, fence or tree exceeding 0.6 metres in height should be constructed or planted in front of the driver sightline to protect the safety of pedestrians using Duke Street.
- d). **Council raises no objection, in principle, to the proposed 2 x 3.5 metre crossovers and driveways.**
- 1). Council has noted that the driveway gradient shown differs on the site / basement floor plan and the section A-A plan. The gradient shown on the site / basement floor plan is 1:55 maximum and on the section A-A plan is 1:8. The car park driveway ramps should not have a gradient in excess of 1:8, in accordance with AS 2890.1.2004.
- e). **Council requests the Authority includes the following condition on any development permit issued which references footpath and landscaping works within Council's road reserve:**

"Notwithstanding the approved plans, the proposed footpath and landscaping works are subject to Council's approval and shall meet all Council's requirements to the satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council."

The submitted plans include a 0.8 metre wide footpath, lawn areas and trees within Council's Duke Street road reserve.

f) **Council requests the Authority include a condition to require the applicant to pay a roadworks contribution to Darwin City Council.**

This contribution is required under Contribution Plan CP2003/01A - Stuart Park. A copy of this plan is on the Council website at www.darwin.nt.gov.au and this will provide the applicant with information on the contribution process and cost calculation.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager of Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.
- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.
- Kerb crossovers and driveways to the site shall be provided and disused crossovers removed, public footpath and cycleways shall be provided, stormwater shall be collected and discharged into Council's drainage network, and reinstatement works carried out, all to the requirements and satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.
- Sight lines shall be provided at crossovers to public streets to the satisfaction of the General Manager of Infrastructure, Darwin City Council. No wall, fence or tree exceeding 0.6 metres in height shall be constructed or planted in front of the sight line.
- Any gate over an access to a public road shall be placed on the subject site at least 4.5m from the face of the kerb line of the adjoining public road.
- Car parking spaces and internal driveways shall meet the requirements of the relevant Australian Standard and be linemarked and sealed with an impervious material.
- The total number of required disabled car parking bays shall be met on site.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager of Infrastructure, Darwin City Council.

- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

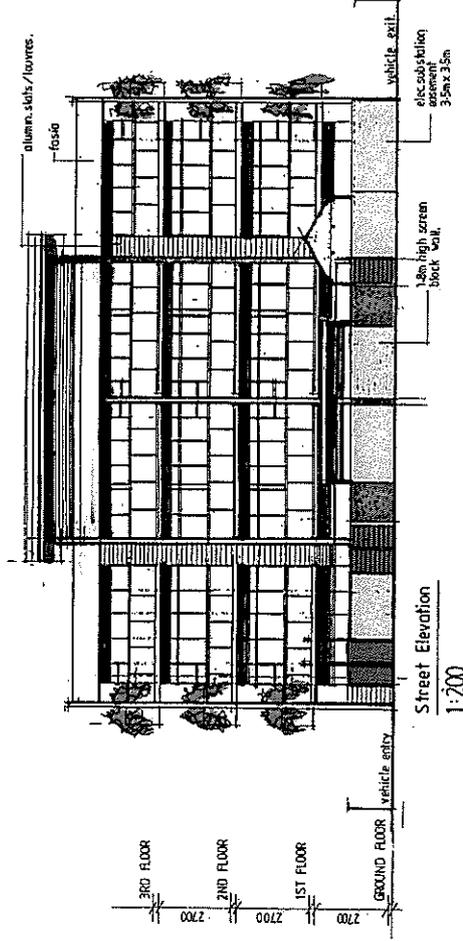
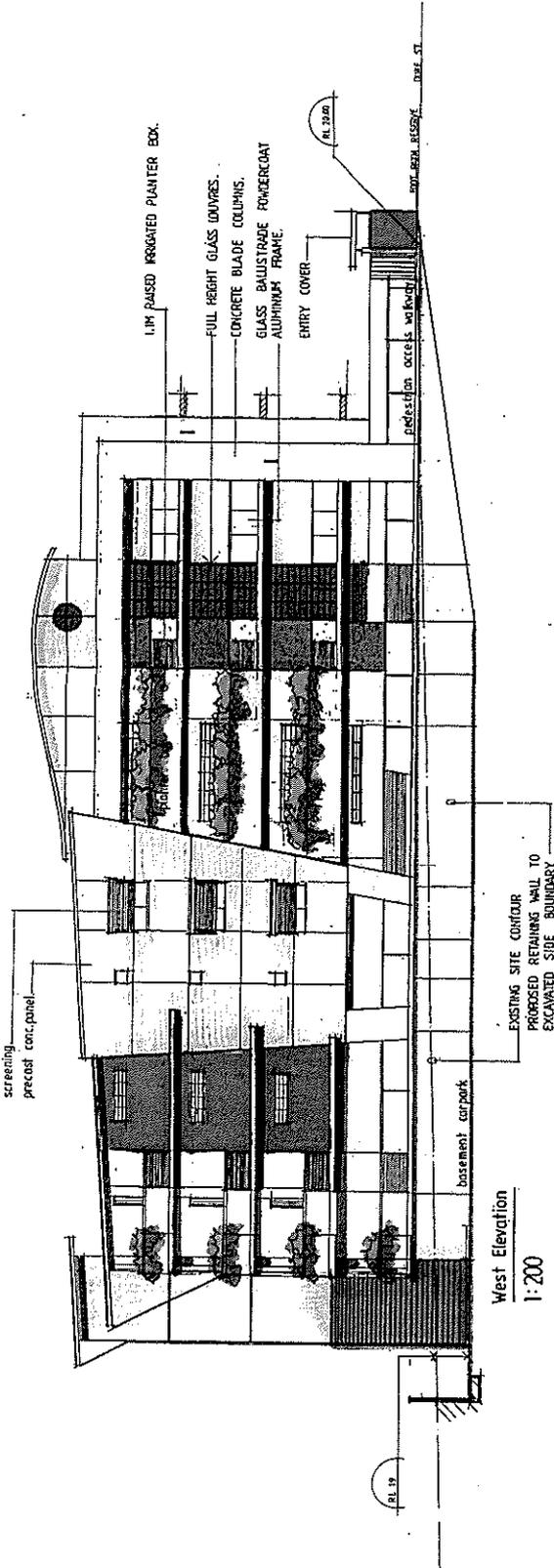
If you require any further discussion in relation to this application please contact me on 8930 0658.

Yours faithfully

A handwritten signature in black ink, appearing to read "Peter Lindwall". The signature is written in a cursive, slightly slanted style.

PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Keogh Investments NT Pty Ltd



Savas P Savvas
ARCHITECT

5.2.2009

Proposed Two Bedroom
Residential Unit Development

Lot 1961, Duke Street,
Stuart Park, Town of Darwin.

Job No : PAG 0901



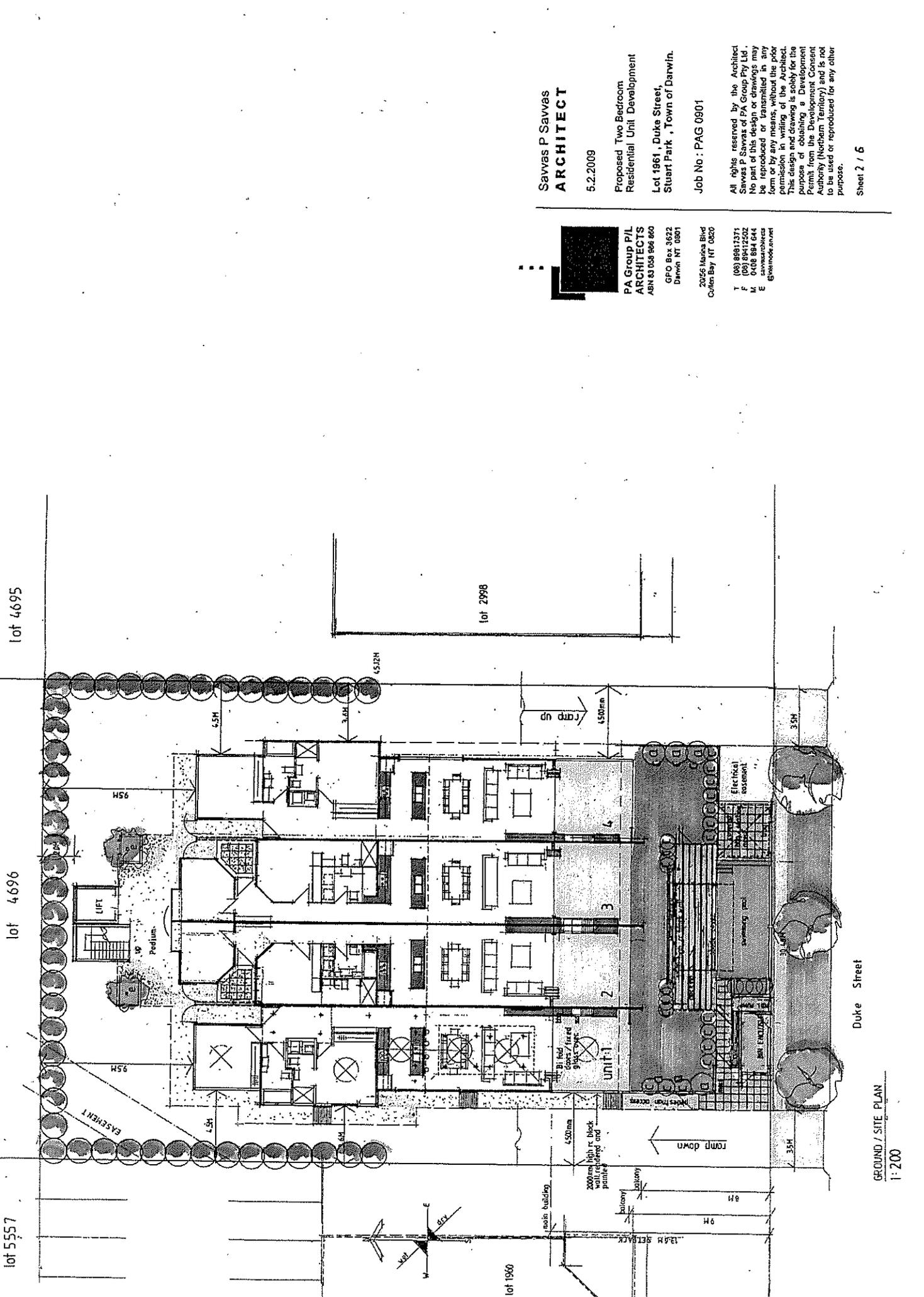
**PA Group P/L
ARCHITECTS**
ABN 63 058 986 860

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Darwin NT 0801

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Cullen Bay NT 0820

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M 0408 694 644
E savas@paarchitects.com.au
@paarchitects

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Savas P Savvas
ARCHITECT

5.2.2009

Proposed Two Bedroom
 Residential Unit Development

Lot 1961, Duke Street,
 Stuart Park, Town of Darwin.

Job No : PAG 0901

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Sheet 2 / 6

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 Cullen Bay NT 0820

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 F (08) 89412502
 M 0408 884 644
 E savas@architects
 @pa.com.au.net

GROUND / SITE PLAN
 1:200

Please quote: 1544322 CT:cpd

3 April 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 2757 (5) Parap Place, Parap – Town of Darwin
Offices and Showroom in a 2 Storey Building**

Thank you for the Development Application referred to this office on 19th March 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **While Council supports in principle the granting of a Development Permit for this type of use, Council cannot support this application until the following issues are adequately addressed:**

Council comments in relation to the Planning Act and the Northern Territory Planning Scheme:-

- a). **The failure to provide any on-site car parking:**

- 1). **Council requests that the Authority requires a monetary contribution to be paid to Council in accordance with its Car Parking Contribution Plan in lieu of the total 15 space car parking shortfall. Council requests that the following condition is placed upon any development permit issued for the proposed development:**

“Pursuant to clause 6.5.2 of the Northern Territory Planning Scheme and s.70 (5) of the Planning Act a monetary contribution shall be paid to Darwin City Council for the 15 space car parking shortfall”



DARWIN2009

- 2). The development proposal generates a car parking requirement of 15 spaces (based upon the applicant's assessment on pages 2 & 3 of the development application submission) and no spaces are provided. Council agrees with the applicant's car parking calculations assuming that the 'stock' area shown on the plans is correctly defined as showroom sales rather than retail floor-space. A definition of retail floor-space would generate a requirement for 3 more car parking spaces, taking the total to 18.
- 3). The applicant (page 3 of submission) has acknowledged the requirement to pay a developer contribution for the car parking shortfall. Council will not support waivers to the car parking requirements for new developments, due the high demand for car parking within Parap Village.

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

b). **The removal of the following structures from Council land:**

- 1). **The 'feature high level fin' that is attached to the Parap Place building façade and extends from first floor level to above roof level.** The fin is approximately 5 metres high and the top of the fin is 9.5 metres above the footpath level of Parap Place. The fin is triangular in shape and at its widest point extends approximately 2.4 metres over the Parap Place road reserve. The fin is included on the First Floor Plan, the Roof Plan and the Elevation Plans.
- 2). **The roof of the building and the attached wrap around 'aluminium fascias' on both the Parap Place and Urquhart Street frontages of the building.** The development application plans indicate that the aluminium fascias are 2.2 metres in height and will project over Council's road reserve by approximately 1 metre across both the Parap Place and Urquhart Street road reserves. The roof and the fascias are included on the First Floor Plan, the Roof Plan, the Elevation Plans and the Section Plans. The top of the fascia on Urquhart Street is at a height of 9.05 metres above the Urquhart Street footpath.
- 3). **The first floor 'horizontal sun breakers' projecting approximately 1.5 metres across the Parap Place road reserve and the Urquhart Street road reserve.** The sun breakers are shown on the Ground Floor Plan, First Floor Plan, Roof Plan, the Elevation Plans and the Section Plans.
- 4). **The double doors to the gas room on the Urquhart Street frontage of the building that open outwards onto the Urquhart Street road reserve.**

- 5). **Council generally supports the provision of footpath awnings in commercial areas that provide shade and rain protection for pedestrians, subject to the following note being included on any development permit issued for the development:**

“Notwithstanding the approved plans, any proposed awning is subject to Council’s approval and shall meet all Council’s requirements to the satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.”

The development application plans also demonstrate an approximate 2.5 metre wide awning over the Parap Place footpath and an approximate 1.5 metre wide horizontal sun breaker across the Urquhart Street footpath.

c). **The requirement for a stormwater drainage plan:**

- 1). Council requests the Authority requires a schematic plan demonstrating how stormwater will be collected on the site and discharged underground to Council’s stormwater drainage system. The applicant’s plans fail to demonstrate how on-site stormwater will be collected and discharged underground to Council’s drainage network.

- i. The plan shall include details of finished site levels and Council’s stormwater drain connection point/s within the vicinity of the site.
- ii. Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into Council’s stormwater drainage system. It is also necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties.

ii). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments in relation to the Northern Territory Planning Scheme:-

- a). The height of the proposed development exceeds the maximum building height of 8.5 metres, as set out under Clause 6.1 of the Planning Scheme. The height of the Urquhart Street façade of the building is approximately 9 metres, and the height of the ‘feature high level fin’ on the Parap Place façade is approximately 9.5 metres. The roof plant deck enclosure is also at a height greater than 8.5 metres.

- b). The plot ratio of the proposed building is over 2 times greater than that permitted under Clause 6.4 of the Planning Scheme. Clause 6.4 states that developments of sites within zone C (Commercial) should not exceed a plot ratio of 1. The plot ratio of the proposed building is 2.04 (as set out by the applicant on page 1 of the planning submission and the Site Plan).

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager of Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.
- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.
- Kerb crossovers and driveways to the site shall be provided and disused crossovers removed, public footpath and cycleways shall be provided, stormwater shall be collected and discharged into Council's drainage network, and reinstatement works carried out, all to the requirements and satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.
- Sight lines shall be provided at crossovers to public streets to the satisfaction of the General Manager of Infrastructure, Darwin City Council. No wall, fence or tree exceeding 0.6 metres in height shall be constructed or planted in front of the sight line.
- Pursuant to clause 6.5.2 of the Northern Territory Planning Scheme and s.70 (5) of the Planning Act a monetary contribution shall be paid to Darwin City Council for any determined parking shortfall.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager of Infrastructure, Darwin City Council.
- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please contact me on 8930 0658.

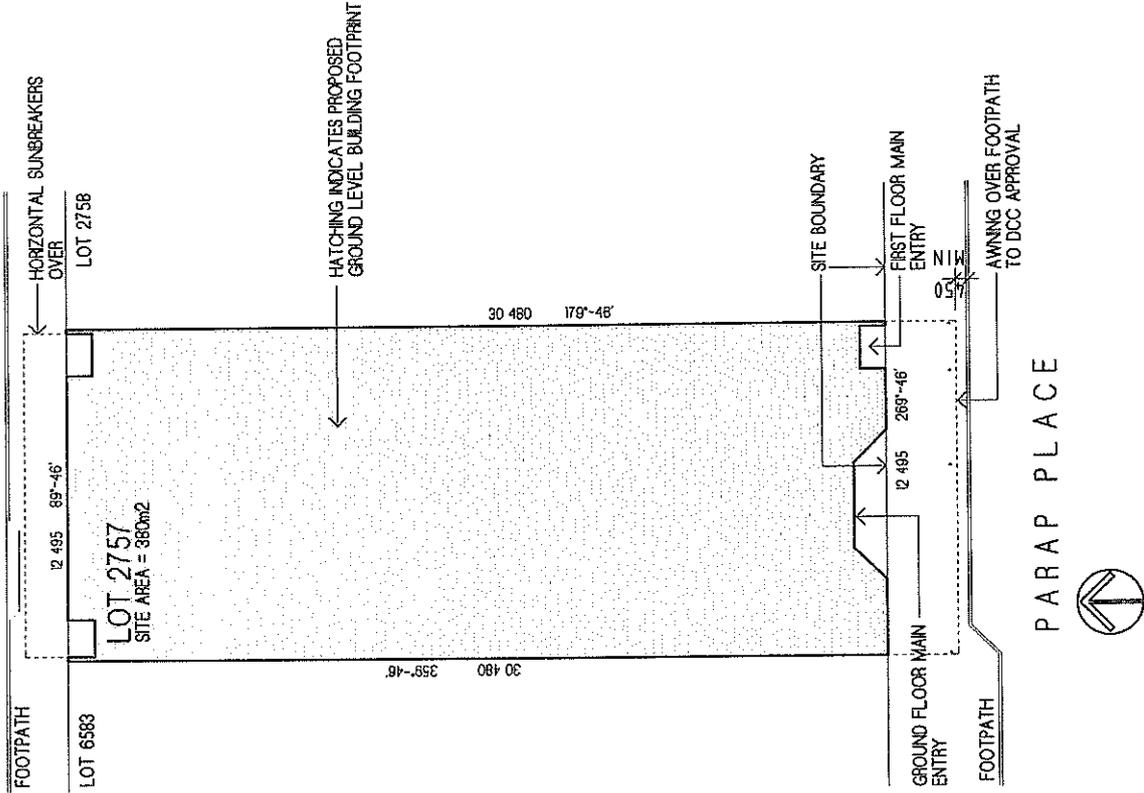
Yours faithfully

A handwritten signature in black ink, appearing to read "Peter Lindwall".

PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Donrog Pty Ltd

URQUHART STREET



SCHEDULE OF AREAS

COMPONENT SCHEDULE	AREA (m ²)
GROUND FLOOR LEVEL	38.00m ²
LOADING/UNLOADING/BIN AREA	91.40m ²
STOCK AREA	165.4m ²
OFFICE	14.4m ²
WC'S & TEA AREAS	19.00m ²
STAIRS	22.80m ²
FIRST FLOOR LEVEL	1617.0m ²
OPEN PLAN OFFICE SPACE	22.0m ²
MEETING ROOM	15.70m ²
SERVICE AREA	4.30m ²
RECEPTION	99.30m ²
STORAGE & ARCHIVES	21.30m ²
WC'S, TEA & CLEANER AREAS	20.50m ²
STAIRS	22.00m ²
ROOF LEVEL	22.00m ²
PLANT DECK	22.00m ²
NET FLOOR AREA (EXCLUDES STAIRS, CLEANER, ABLUTIONS, TEA AREA, RECEPTION/WAITING AREA, LOADING/UNLOADING AREA, GAS AREA, PLANT AREA)	2566.80m ²
GROUND FLOOR LEVEL STORAGE/STOCK AREA	14.40m ²
OFFICE	1617.0m ²
FIRST FLOOR LEVEL OPEN PLAN OFFICE SPACE	22.00m ²
MEETING ROOM	15.70m ²
SERVICE AREA	99.30m ²
STORAGE/ARCHIVES	21.30m ²
WC'S, TEA & CLEANER AREAS	20.50m ²
STAIRS	22.00m ²
TOTAL NET FLOOR AREA (GROUND & FIRST FLOOR)	5689.90m ²
TOTAL FLOOR AREA	372.00m ²
GROUND FLOOR LEVEL	380.00m ²
FIRST FLOOR LEVEL	24.00m ²
ROOF LEVEL	22.00m ²
TOTAL FLOOR AREA	776.00m ²
PLLOT RATIO	2.04
TOTAL FLOOR AREA / SITE AREA	2.04
SITE COVER	100
%	100

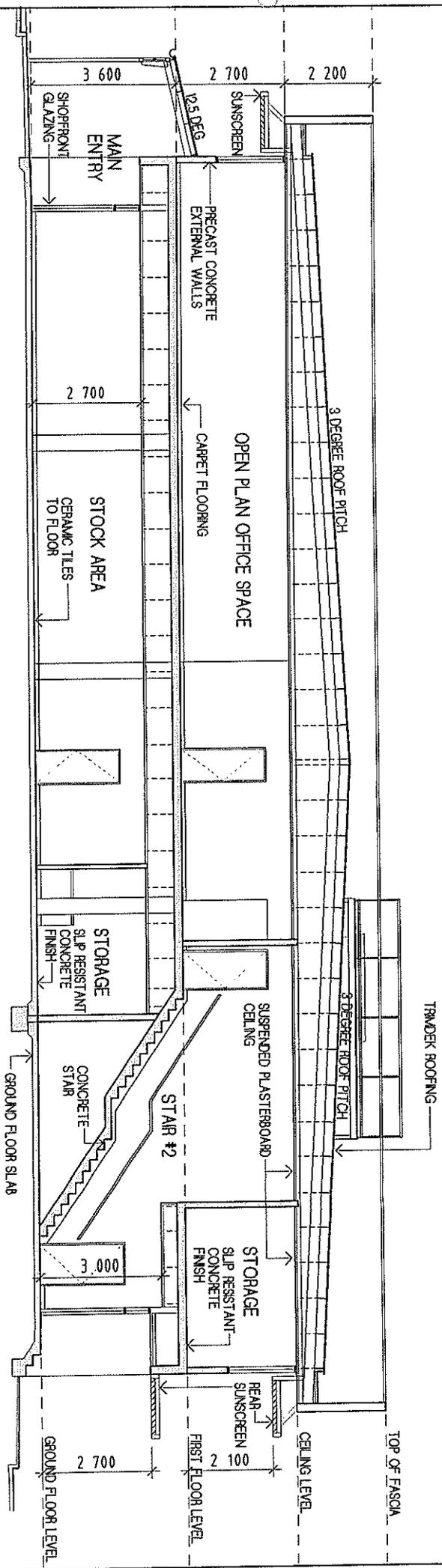
DATE	FEB 20	SCALE	1:200 (A3)
DESIGNED BY	PHI	CHECKED BY	AOI
ALL DIMENSIONS IN METERS UNLESS OTHERWISE STATED			

PROPOSED NEW BUILDING
LOT 2757 PARAP PLACE PARAP
FOR DONROG PTY LTD

DraftLINK
ARCHITECTS & ENGINEERS
14/200 M11, TORONTO, ONTARIO
PH: 416-291-8442
FAX: 416-291-8443
WWW.DRAFTLINK.COM

DATE: 15/03/2021
DRAWN BY: C. VANDERKAM
CHECKED BY: J. VANDERKAM

NO.	REVISION



SECTION A

NO.	AMENDMENT

DraftLINK
 LASSIS BUILDING WORK DESIGN
 17/22 DONOHUE PLACE, WOODSIDE
 NSW 1502
 PH: (02) 9218 2444
 FX: (02) 9218 2413
 WWW.DRAFTLINK.COM.AU

CONSULTANT BUILDING
 FOR THE
 PROPOSED NEW BUILDING
 LOT 2757 PARAP PLACE PARAP
 FOR DONROG PTY LTD

USE THESE DIMENSIONS IN REFERENCE TO SCALE
 DRAWING TITLE
 SECTION A

DATE	BY	CHKD	APP'D
FEB 09	FM	FM	FM
SCALE	1:100 (A3)		

Please quote: 1544398 CT:cpd

3 April 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 7310 (19) Kirkland Crescent, Larrakeyah – Town of Darwin
3 Storey Single Dwelling Exceeding the 8.5m Height Limitation**

Thank you for the Development Application referred to this office on 19th March 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **Council requests the Authority requires amended ground floor and first floor plans demonstrating a 3.0 metres crossover and driveway to the property from Kirkland Crescent.** The development application plans show a 6.0 metre wide cross over and driveway across the Council's road verge to the property and this is not supported by Council. Council will approve and subsequently maintain only one 3.0 metre crossover and driveway per lot in Zone SD (Single Dwelling Residential).
- b). **Council requests the Authority requires a schematic plan demonstrating how stormwater will be collected on the site and discharged underground to Council's stormwater drainage system.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged underground to Council's drainage network.



DARWIN200

- 1). The plan shall include details of site levels and Council's stormwater drain connection point/s in Kirkland Crescent. The plan shall also indicate how stormwater will be collected on the site and connected underground to Council's system.
- 2). Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into Council's drainage system. It is also necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties.

ii). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). Council notes that an electronic security gate is proposed for the vehicle driveway. This gate must be located a minimum distance of 4.5 metres from the face of the kerb line of Kirkland Crescent.
- b). Council notes from the development application plans that a wall and landscaping are proposed along the front boundary of the property. Council requires that a condition is placed upon any development permit issued to require that vehicle sight lines shall be provided at crossovers to public streets to the satisfaction of the General Manager of Infrastructure, Darwin City Council. No wall, fence or tree exceeding 0.6 metres in height shall be constructed or planted in front of the sight line.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager of Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.
- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.
- Kerb crossovers and driveways to the site shall be provided and disused crossovers removed, public footpath and cycleways shall be provided, stormwater shall be collected and discharged into Council's drainage network, and reinstatement works carried out, all to the requirements and satisfaction of General Manager of Infrastructure, Darwin City Council and at no cost to Council.

- Sight lines shall be provided at crossovers to public streets to the satisfaction of General Manager of Infrastructure, Darwin City Council. No wall, fence or tree exceeding 0.6 metres in height shall be constructed or planted in front of the sight line.
- Any gate over an access to a public road shall be placed on the subject site at least 4.5m from the face of the kerb line of the adjoining public road.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of The Director of Technical Services, Darwin City Council.
- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please contact me on 8930 0658.

Yours faithfully



PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Group 1 Consulting

Please quote: 1544407 CT:cpd

3 April 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 9240 (348) Bagot Road, Millner – Town of Nightcliff
Restaurant and Showroom Sales in a Single Storey Building**

Thank you for the Development Application referred to this office on 19th April 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **Council requests the Authority requires a schematic plan to demonstrate how stormwater will be collected on the site and discharged underground to the stormwater drainage system.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged underground to the drainage network. Council requires the plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into the stormwater drainage system.
 - 1). The plan shall include details of site levels and stormwater drain connection point/s within the vicinity of the site.
 - 2). It is necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties.



DARWIN200

- b). **Council requires commercial premises to have on-site dedicated waste bin and recycling storage enclosures, and separate facilities for food waste from restaurants.** Council notes that the '*Location, Site and Ground Floor Plan*' includes a waste bin storage area adjacent to the vehicle entrance from Fitzgerald Street. The technical specifications for the proposed waste bin and recycling storage enclosure will need to be assessed and approved by Council's Environment Manager. Council's Environment Manager will require additional information to demonstrate that the proposed enclosure is large enough to store the number of bins required for a commercial development of this size and also information to demonstrate that a commercial bin service vehicle can safely access the bin store to service the bins. The bin enclosure should also be appropriately screened. The applicant is invited to contact Council's Environment Manager on 8930 0530 to discuss waste management issues for the development.
- c). **Council requests the Authority requires amended plans demonstrating driver sightlines from the vehicle exit driveways to Fitzgerald Street and Bagot Road.** To ensure pedestrian safety on the foot path, sightlines are to be integrated into the on-site design of the development to ensure that drivers exiting the car parks can see pedestrians on the footpath. No wall, fence or tree exceeding 0.6 metres in height should be constructed or planted in front of the sight line. The applicant's site plan shows landscaping adjacent to the vehicle exits, but fails to provide details of the species to be planted.
- d). **Council requests the Authority includes the following note on any development permit issued which demonstrates signs:**

"Notwithstanding the approved plans, in accordance with Part 8 – Signs, Hoardings and Advertising of the Darwin City Council's by-laws, all signage is subject to Council approval and shall meet all Council requirements to the satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council."

The submitted plans indicate that signage will be displayed within the site boundary. The *Location Plan* indicates a structure at the corner of Fitzgerald Street and Bagot Road and the *Typical Section of Units Plan* demonstrates an approximate 9 metre high, 3 metre wide signage 'obelisk' style sign on the Bagot Road frontage of the site, adjacent to the vehicle exit.

- ii). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **The existing vehicle crossover and driveway to the site from Fitzgerald Street appears to meet Council's requirements.** The applicant's plan notes that this driveway is 8.0 metres wide. There is also a vehicle exit to Bagot Road. Bagot Road is maintained by the Northern Territory Government.

Council comments in relation to the Northern Territory Planning Scheme:-

- b). **Council requests that the Authority requires additional information from the applicant regarding the car parking assessment for the proposed development, to demonstrate that adequate car parking is to be provided on the site.** The development application submission fails to provide any detail of the car parking calculation method. Council has noted that applicant's submission states that the 2 restaurants have a gross floor area of 360m² and the alfresco dining area is 40m². The Ground Floor Plan however, shows a total gross floor area of 500m² for the restaurants. In addition, the applicant is counting the restaurant loading bay (bay 84) as a car parking space. It would not be appropriate for any vehicle to park in bay 84 whether for loading purposes or car parking as it would block access to the waste bin enclosure.
- c). **Council requests the Authority requires that a monetary contribution is paid to Council in accordance with its Car parking Contribution Plan in lieu of any on-site car parking shortfall as a result of this development.**

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

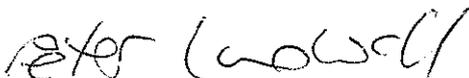
- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager of Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.
- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.

- Kerb crossovers and driveways to the site shall be provided and disused crossovers removed, public footpath and cycleways shall be provided, stormwater shall be collected and discharged into Council's drainage network, and reinstatement works carried out, all to the requirements and satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.
- Sight lines shall be provided at crossovers to public streets to the satisfaction of the General Manager of Infrastructure, Darwin City Council. No wall, fence or tree exceeding 0.6 metres in height shall be constructed or planted in front of the sight line.
- Any gate over an access to a public road shall be placed on the subject site at least 4.5m from the face of the kerb line of the adjoining public road.
- Car parking spaces and internal driveways shall meet the requirements of the relevant Australian Standard and be linemarked and sealed with an impervious material.
- The total number of required disabled car parking bays shall be met on site.
- Pursuant to clause 6.5.2 of the Northern Territory Planning Scheme and s.70 (5) of the Planning Act a monetary contribution shall be paid to Darwin City Council for any determined parking shortfall.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager of Infrastructure, Darwin City Council.
- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

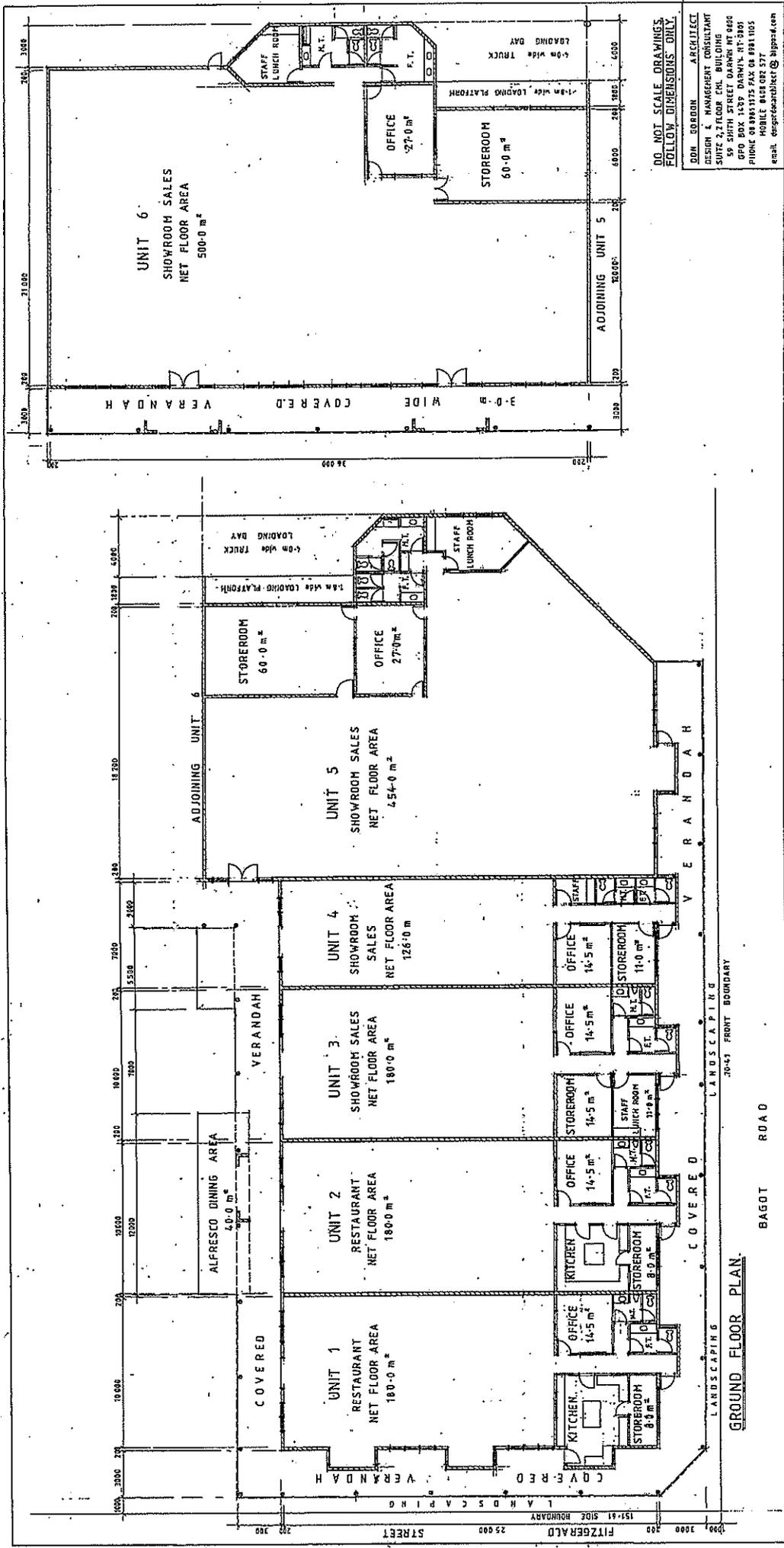
If you require any further discussion in relation to this application please contact me on 8930 0658.

Yours faithfully



PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Rockbeat Pty Ltd



GROUND FLOOR PLAN.

BAGOT ROAD

PROPOSED SHOWROOMS, RESTAURANTS, ALFRESCO DINING AREAS, STOREROOMS AND OFFICES AT LOT N° 9740 BAGOT ROAD MILLNER, TOWN OF NIGHTCLIFF.

DO NOT SCALE DRAWINGS.
FOLLOW DIMENSIONS ONLY.

DOM BORDON ARCHITECT
DESIGN & MANAGEMENT CONSULTANT
SUITE 2, FLOOR 2, BULLOCK BUILDING
100, RIVERVIEW AVENUE, RIVERVIEW
GEO. FAX 1239 DARYN, VIC 3089
PHONE 08 9885 1125 FAX 08 9881 1105
MOBILE 0458 082 577
email: dom@bardonarchitect.com.au

SCALE 1:100

PROJECT N° 140608

SHEET N° TP 02

Please quote: 1544414 CT:cpd

3 April 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Part Lot 9955 (3) Dangoerra Street, Lyons – Town of Nightcliff
(Proposed Lot 10309) 2 x 3 Bedroom Multiple Dwellings in 2 x 2 Storey
Buildings**

Thank you for the Development Application referred to this office on 19th March 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **Council requests the Authority requires a Stormwater Drainage Plan to demonstrate how stormwater will be collected on site, following the completion of the development, and discharged underground into Council's stormwater drainage system.** The applicant has stated in the planning submission that surface water will be dispersed down driveways over the front boundary. This does not meet Council's requirements.
 - 1). The stormwater plan should demonstrate how stormwater will be collected on the site and connected underground to Council's drainage system. The plan should include details of site levels and Council's stormwater drain connection point/s within the vicinity of the site.



DARWIN200

- 2). Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into Council's stormwater drainage system. It is also necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties.

ii). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **The 3 metre vehicle crossovers and driveways from Mirrakma Street and Dangoerra Street appear to meet Council's requirements.**

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

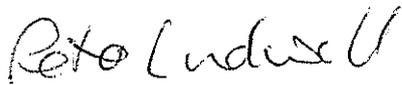
- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager of Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.
- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.
- Kerb crossovers and driveways to the site shall be provided and disused crossovers removed, public footpath and cycleways shall be provided, stormwater shall be collected and discharged into Council's drainage network, and reinstatement works carried out, all to the requirements and satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.
- Sight lines shall be provided at crossovers to public streets to the satisfaction of the General Manager of Infrastructure, Darwin City Council. No wall, fence or tree exceeding 0.6 metres in height shall be constructed or planted in front of the sight line.
- Any gate over an access to a public road shall be placed on the subject site at least 4.5m from the face of the kerb line of the adjoining public road.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of the General Manager of Infrastructure, Darwin City Council.

- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

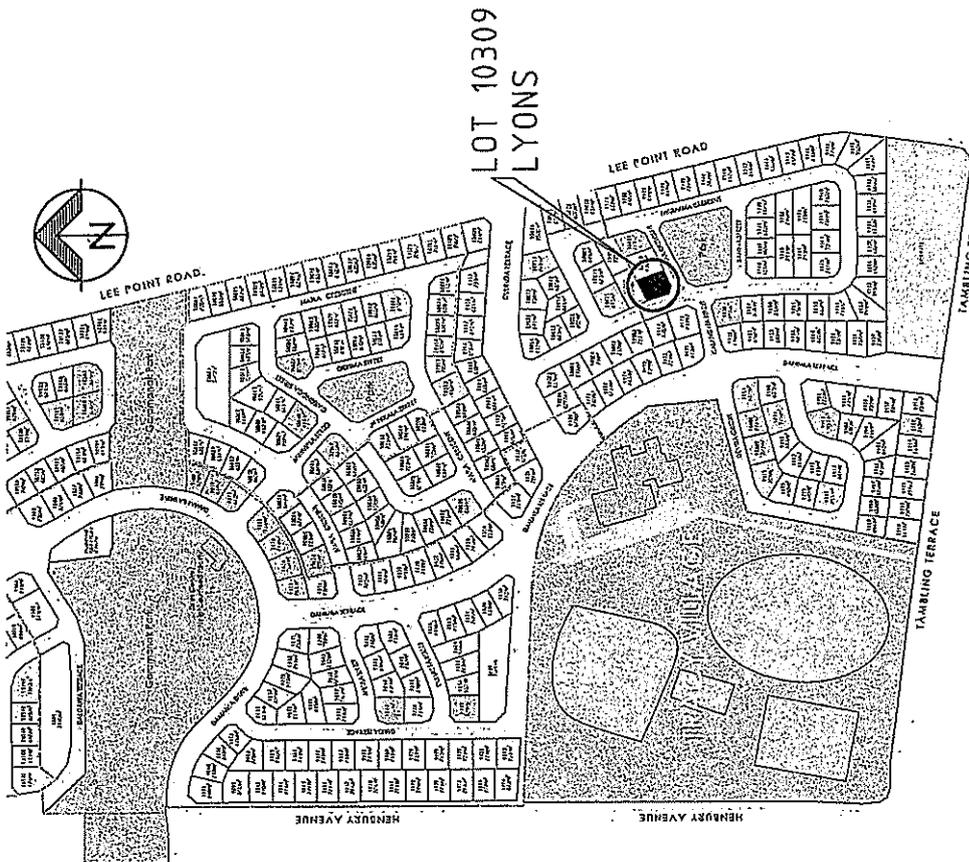
If you require any further discussion in relation to this application please contact me on 8930 0658.

Yours faithfully



PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Irene Reisis



LYONS LOCALITY PLAN

PRINTHAR PTY. LTD. TRADING AS TOP END DRAFTING ABN 96 056 692 598 mail@topenddrafting.com FAX 89 457 575 CASUARINA 4154 NT. <small>CHECK ALL PROVISIONS BEFORE CONSTRUCTION</small>		PROJECT LYONS I REISIS	DRAWN BY TED	DATE FEB 2009
PROPOSED DEVELOPMENT LOT 10309 DANGOERRA ST		JOB OR DRG NO. 16503-A0		

Please quote: 1544452 CT:cpd

3 April 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Section 5833 (7) Verrinder Road, Berrimah – Hundred of Bagot
Warehouse and Shop Exceeding the 8.5m Height Limitation**

Thank you for the Development Application referred to this office on 19th March 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

Section 5833 (7) Verrinder Road, Berrimah is zoned for GI (General Industry) under the Northern Territory Planning Scheme and it is located within the unincorporated area between the Darwin City Council and Palmerston City Council Municipal boundaries.

There has been a long term proposal to realign local government boundaries within this locality and to incorporate the industrial area adjacent to Tivendale Road within the Darwin City Council Municipal area. Should this boundary realignment occur, the local road network, stormwater drainage systems and waste bin management responsibilities are likely to be transferred to Darwin City Council. For this reason, the following issues are raised for consideration by the Authority:

- i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **Council requests the Authority requires a schematic plan demonstrating how stormwater will be collected on the site and discharged underground to the local drainage system. The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged underground to the local drainage network.**



- 1). The plan should include details of site levels and stormwater drain connection point/s within the vicinity of the site.
 - 2). It is necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties.
- b). **Council requests the Authority requires amended plans demonstrating waste bin storage in accordance with Council's Waste Bin Storage Policy.** Council requires industrial premises and commercial premises to have on-site dedicated waste bin and recycling storage enclosures, with separate facilities for food waste from take-away food shops. No waste bin storage facilities are indicated on the submitted plans. The applicant is invited to contact Council's Environment Manager on 8930 0530 to discuss an appropriate design and location for the waste bin enclosure/s.
- ii). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- b). **The crossover and driveway appear to meet Council's requirements.** The crossover and driveway to the warehouse measures as having a width of 7.0 metres, although the plan states that it is 8.0 metres wide. The plan should be amended accordingly.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

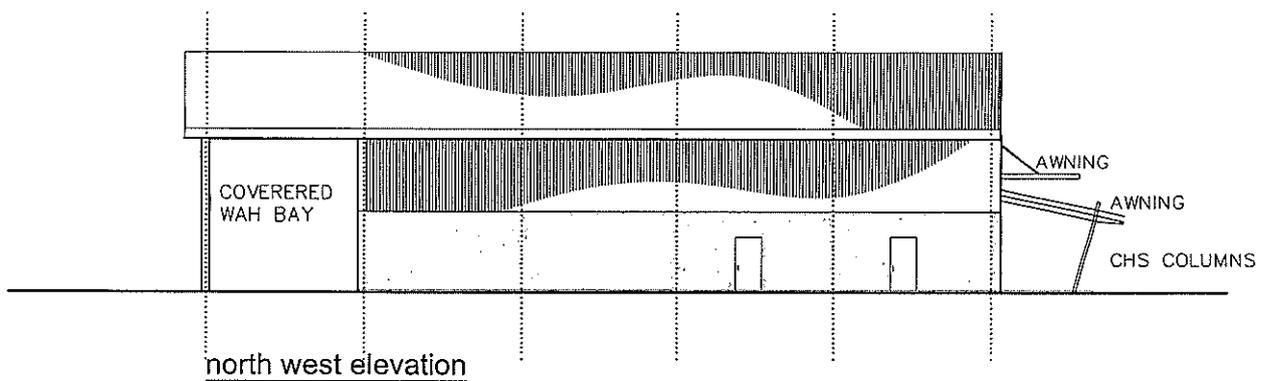
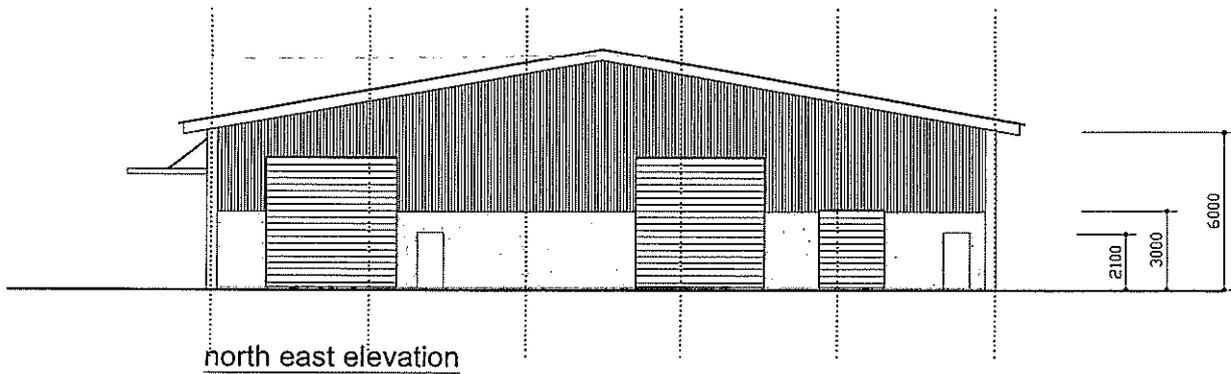
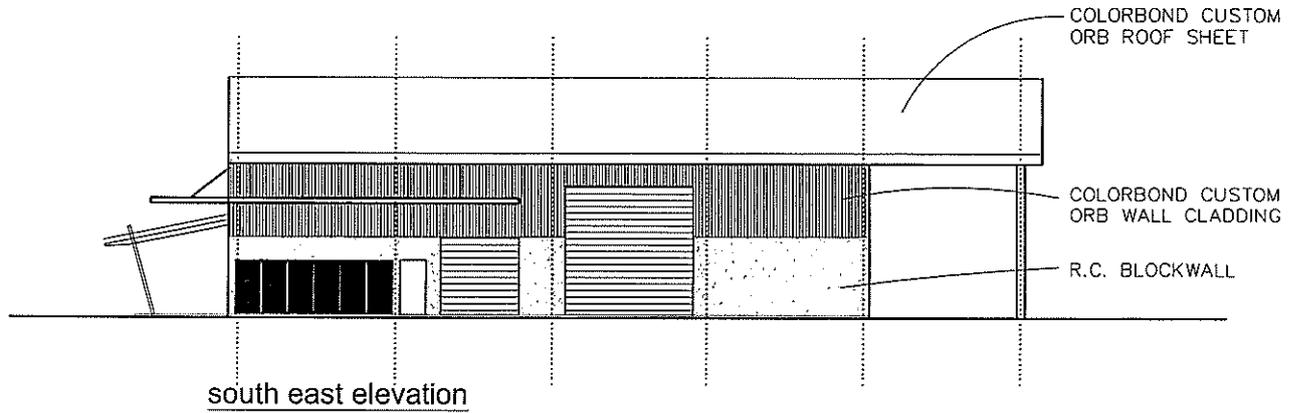
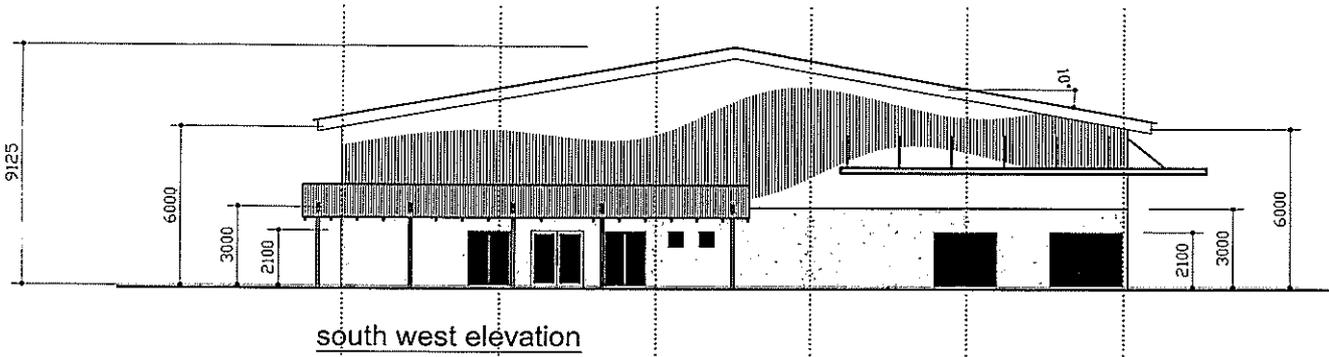
If you require any further discussion in relation to this application please feel free to contact me on 8930 0658.

Yours faithfully



PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: George Savvas



Please quote: 1544457 CT:cpd

3 April 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Section 4276 (165) Abala Road, Marrara – Hundred of Bagot
Additions and Renovations to an Existing Licensed Club**

Thank you for the Development Application referred to this office on 19th March 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager of Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.
- Stormwater shall be collected and discharged into Council's drainage network to the requirements and satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.
- Pursuant to clause 6.5.2 of the Northern Territory Planning Scheme and s.70(5) of the Planning Act a monetary contribution shall be paid to Darwin City Council for any determined parking shortfall.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of The Director of Technical Services, Darwin City Council.



DARWIN200

- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please contact me on 8930 0658.

Yours faithfully

A handwritten signature in black ink that reads "Peter Lindwall". The signature is written in a cursive, slightly slanted style.

PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Yellowcity Pty Ltd

Please quote: 1535150 CT:cpd

10 April 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Re-Advertised - Lot 10302 Lee Point Road, Lyons – Town of Nightcliff
50 Single Dwellings with Reduced Front Setbacks (Lyons Stage 10)**

Thank you for the Development Application referred to this office on 5th March 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **Council cannot support the granting of a Development Permit for the following reasons:**
 - a). The Northern Territory Planning Scheme sets out the minimum building (primary street) setback requirement of 7.5 metres for single dwellings. The applicant is proposing that the building (primary street) setback requirement for Lyons Stage 10 is significantly reduced from the required 7.5 metres to either 3.0 metres or 4.5 metres. In addition, the applicant is proposing that roof or eave overhangs can further encroach all setbacks by up to 1200mm (refer to clause 4.3, Page 9 of applicant's submission and to the note on the Stage 10 Blanket Building Setback Plans). This additional proposal could therefore, result in the minimum front setback being reduced to between 1.8 metres and 3.3 metres, with side and rear setbacks also reduced.



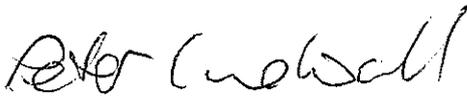
DARWIN200

- b). The proposed Planning Scheme Amendment (PSA) PA2007/0273 (Changes to Building Setback Rules) proposes to reduce the minimum street setback from 7.5 metres to 6.0 metres for single dwellings with a 4.5 metre minimum setback for verandahs, balconies and structures without external walls. The proposed PSA however, does not make any additional provision for reduced setbacks for single dwellings within new integrated residential developments, such as the Lyons estate.
- c). Should the reduced setback requirement be endorsed by the Authority, there will be an expectation for reduced front setbacks across the remaining stages of the Lyons development, and possibly for the future suburb of Muirhead.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

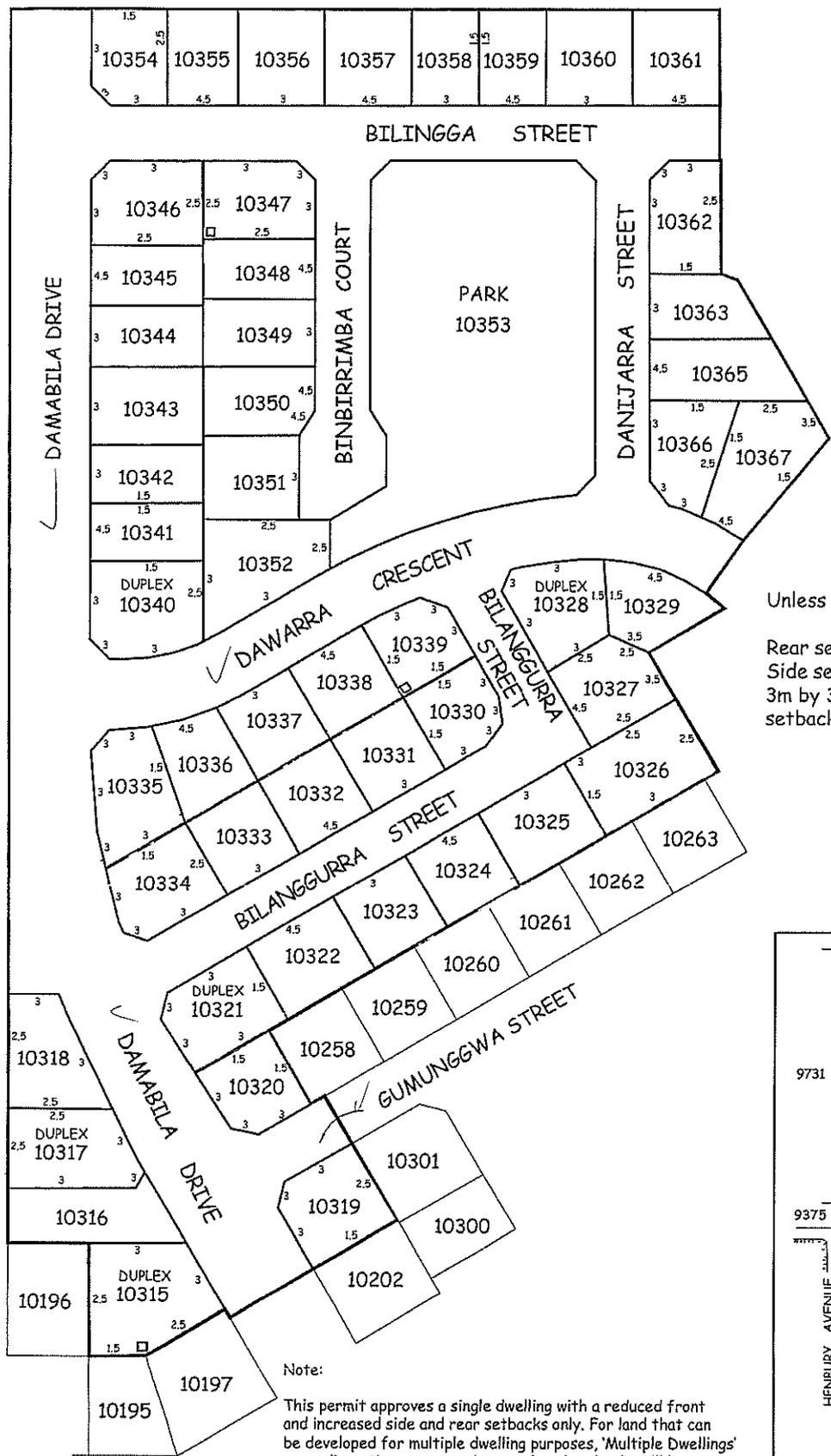
If you require any further discussion in relation to this application please contact me on 8930 0528.

Yours faithfully



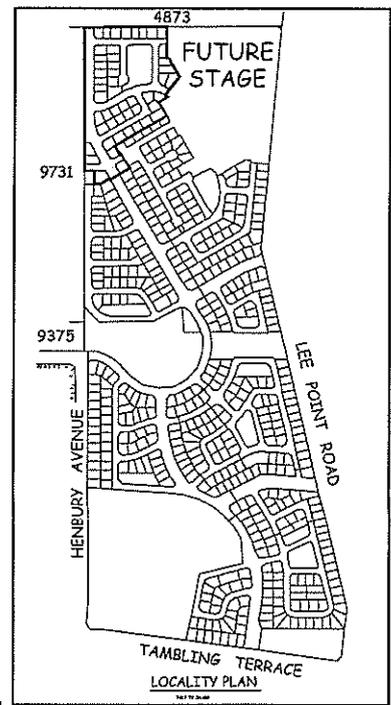
PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Elton Consulting



Unless otherwise stated:
 Rear setback - 3.5m
 Side setback - 2.5m
 3m by 3m area where 3m setbacks apply - □

Note:
 This permit approves a single dwelling with a reduced front and increased side and rear setbacks only. For land that can be developed for multiple dwelling purposes, 'Multiple Dwellings' are a discretionary use and any reduced setbacks will be considered in the context of clause 2.5 (Exercise of Discretion by the Consent Authority) which states that the Consent Authority may consent to the development of land that does not meet the standards set out in Parts 4 and 5 only if it is satisfied that special circumstances justify the giving of consent.



Note:

Building setback is measured from street lot boundaries to the wall of a residential building and the outer surface of any support column of a balcony, verandahs and structures without external walls. Eaves and roof overhangs are permitted to encroach into the street lot setback shown on this plan by no more than 1200mm.



Stage 10 Blanket Building Setbacks

Please quote: 1544299 CT:cpd

17 April 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Re-Advertised - Lot 7487 (33) O'Ferrals Road, Bayview – Town of Darwin
4 x 4 Bedroom Multiple Dwellings in 2 x 2 Storey Buildings**

Thank you for the Development Application referred to this office on 19th March 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

The following issues are raised for consideration by the Authority:

- i). **Council supports in principle the granting of a Development Permit provided the following issues are adequately addressed:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). **Council requests the Authority requires a schematic plan to demonstrate how stormwater will be collected on the site and discharged underground to Council's stormwater drainage system.** The applicant's plans fail to demonstrate how on-site stormwater will be collected and discharged to Council's drainage network.
 - 1). The stormwater plan should include details of site levels and Council's stormwater drain connection point/s within the vicinity of the site. The plan should also indicate how stormwater will be collected on the site and connected to Council's system.



DARWIN200

2). Council requires a stormwater drainage plan to confirm that it is technically feasible to collect stormwater on the site and dispose of it into Council's stormwater drainage system. It is also necessary to ensure that no stormwater will sheet-flow into the road reserve or onto adjoining properties.

b). **Council requests the Authority requires an amended plan to demonstrate how the waste bin contractor will enter the property to service the waste bins from the designated bin storage enclosures.** This development will be serviced by Council's manual waste bin collection service. The waste contractor enters the property on foot and wheels the bins to the garbage truck and then returns the bins to the enclosure. However, the proposed waste bin enclosures are located adjacent to visitor car parking spaces and the contractor will not be able to move the bins if cars are parked in the visitor's bays, as there will be a corridor width of approximately 0.4 metres and the 240 litre garbage bins provided by Council are approximately 0.6 metres wide. Council will provide a 1 x 240 litre garbage bin (to be serviced twice weekly) and a 1 x 240 litre recycling bin (to be serviced weekly) for the development. It is noted that the electronic security gate has now been removed from the development application plans. The electronic security gate would also have restricted access for the waste contractor.

ii). **Should the above issues be adequately addressed, Council offers the following comments:**

Council comments on issues for which it is the sole responsible authority, under the Local Government Act and associated By-Laws:-

- a). The proposed 6-metre crossover and driveway from O'Ferrals Road to Lot 7487 appears to meet Council's requirements. Should an electronic security gate be installed it must be located a minimum of 4.5 metres from the face of the kerb line of the O'Ferrals Road and provision should be made for access by Council's waste bin contractor, as outlined above.
- b). Council notes from the applicant's 'Ground Floor Site Plan' that 'letterbox' structures are proposed along the front boundary of the site, adjacent to the vehicle driveway. Council requires that a condition is placed upon any development permit to require that vehicle sight lines shall be provided at crossovers to public streets to the satisfaction of the General Manager of Infrastructure, Darwin City Council. No wall, fence or tree exceeding 0.6 metres in height shall be constructed or planted in front of the sight line.

Should this application be approved, the following conditions pursuant to the Planning Act and Council's responsibilities under the Local Government Act are also recommended for inclusion in the Development Permit issued by the Development Consent Authority.

- Designs and specifications for landscaping of the road verges adjacent to the property shall be submitted for approval by the General Manager of Infrastructure, Darwin City Council, and all approved works constructed to Council's requirements at the applicant's expense.
- The location, design and specifications for proposed and affected crossovers shall be provided to the satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.
- Kerb crossovers and driveways to the site shall be provided and disused crossovers removed, public footpath and cycleways shall be provided, stormwater shall be collected and discharged into Council's drainage network, and reinstatement works carried out, all to the requirements and satisfaction of the General Manager of Infrastructure, Darwin City Council and at no cost to Council.
- Sight lines shall be provided at crossovers to public streets to the satisfaction of the General Manager of Infrastructure, Darwin City Council. No wall, fence or tree exceeding 0.6 metres in height shall be constructed or planted in front of the sight line.
- Any gate over an access to a public road shall be placed on the subject site at least 4.5m from the face of the kerb line of the adjoining public road.
- All developments on or adjacent to any easements on site in favour of Council shall be carried out to the requirements and satisfaction of The Director of Technical Services, Darwin City Council.
- Waste bin storage and pick up shall be provided in accordance with Council's Waste Bin Policy.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please contact me on 8930 0658.

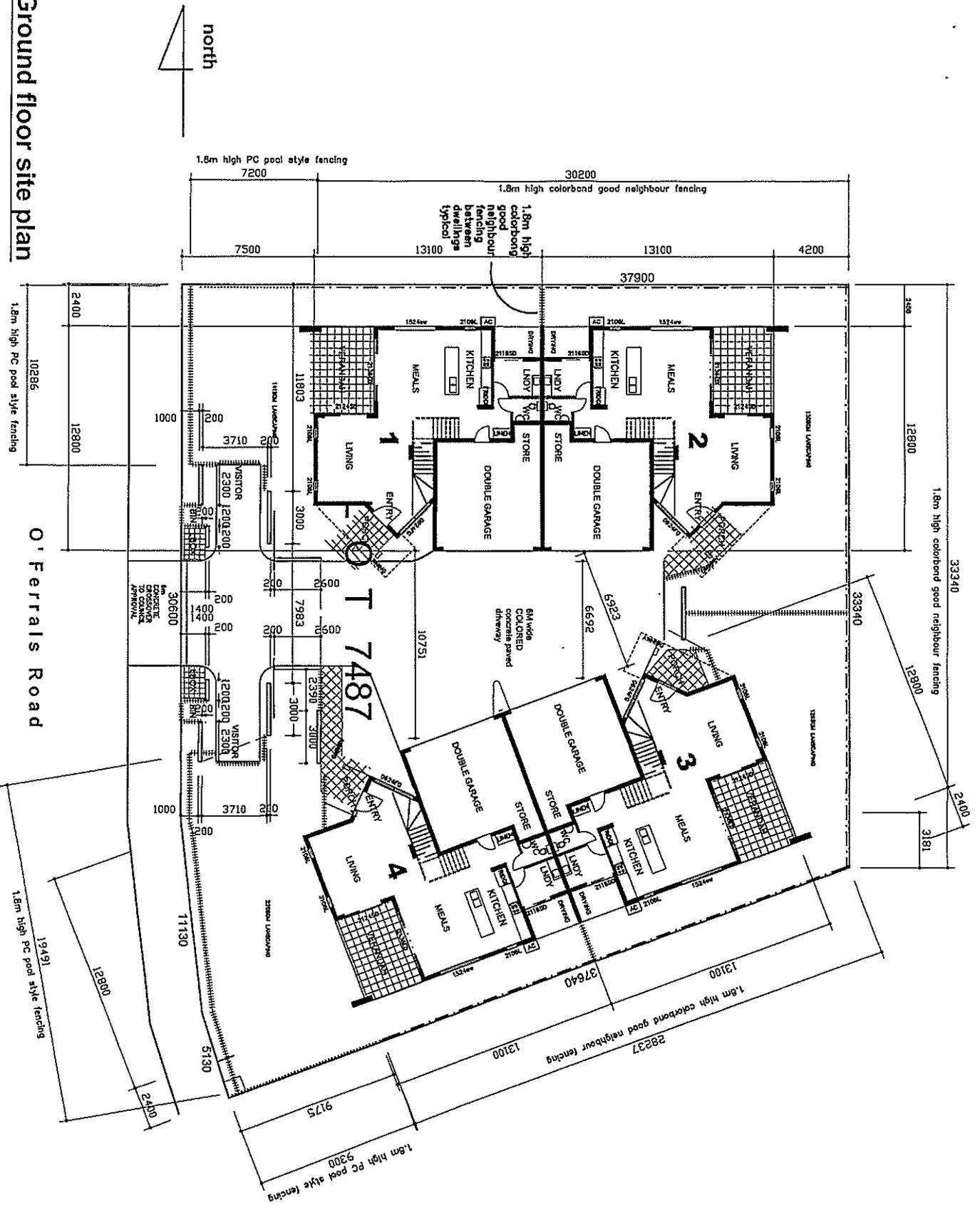
Yours faithfully



PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: George Savvas

Ground floor site plan



CONCEPT DESIGNS (NORTH)

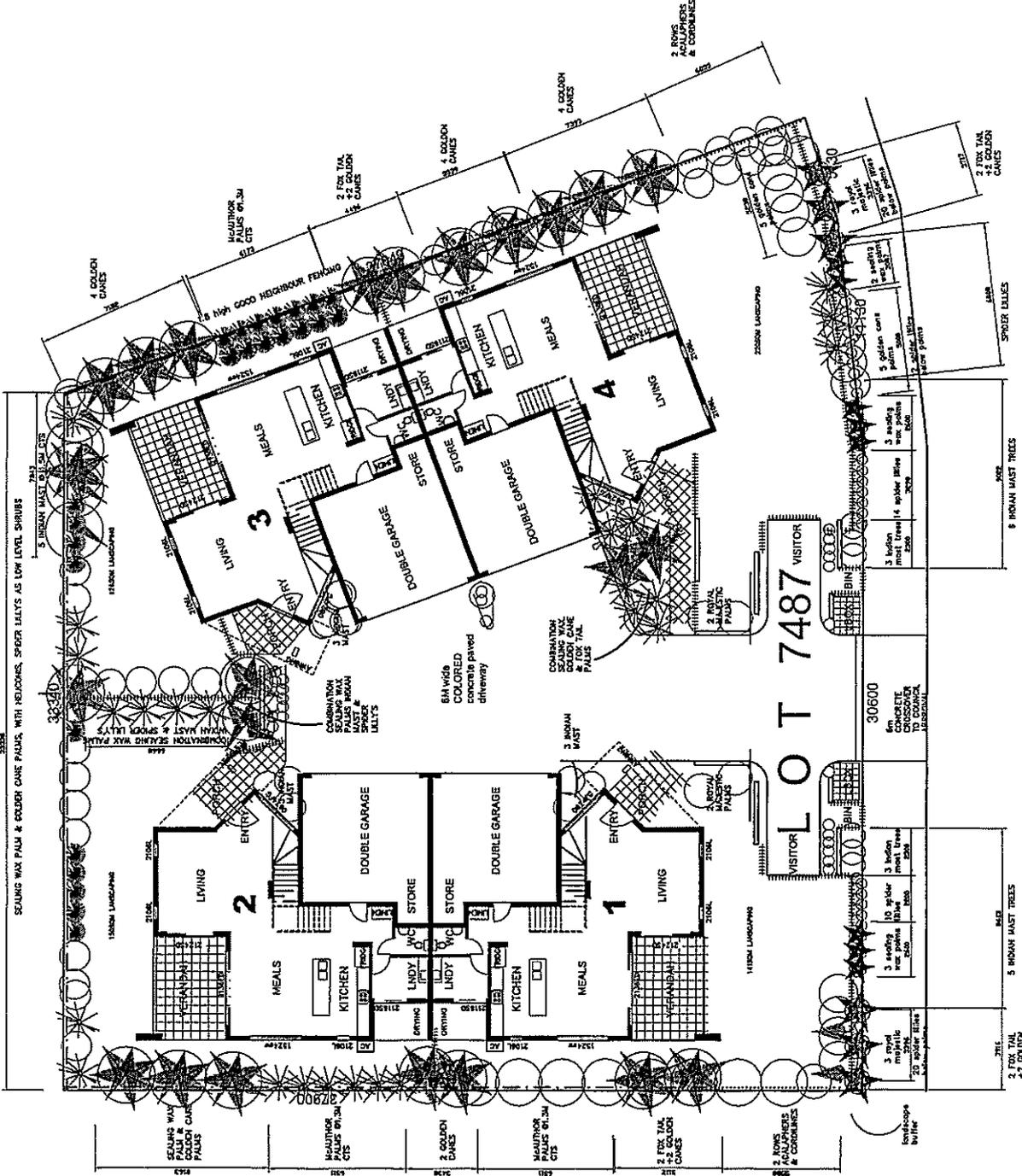
dwg no 08005PRO
 date 14-03-09
 scale 1:200 at A3
 sheet 1 of 13

Designer - George Savvas
 copyright reserved
 proposed 4X4 dwellings,
 Lot 7487 Bayview

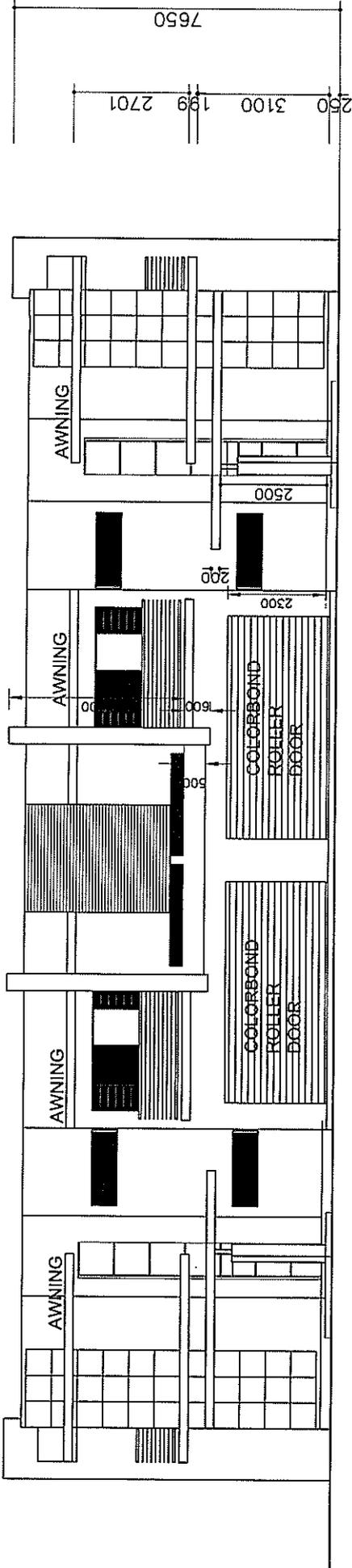
ph 040 772 0703
 fax 8941 2502

LANDSCAPING

O'Ferrals Road



CONCEPT DESIGNS (NORTH)
 Designer - George Savvas
 ph 040 772 0703
 copyright reserved
 proposed 4x4 dwellings,
 Lot 7487 Bayview
 dwg no 0805PRO
 date 14-03-09
 scale 1:200 at A3
 sheet 3 of 13



ELEVATION 1

Please quote: 1556285 PL:cpd

24 April 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 5169 (53) Rosewood Crescent, Leanyer – Town of Sanderson
Verandah Addition to an Existing Multiple Dwelling with a Reduced Front
Setback**

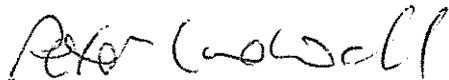
Thank you for the Development Application referred to this office 9th April 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0658.

Yours faithfully



PETER LINDWALL
STRATEGIC TOWN PLANNER

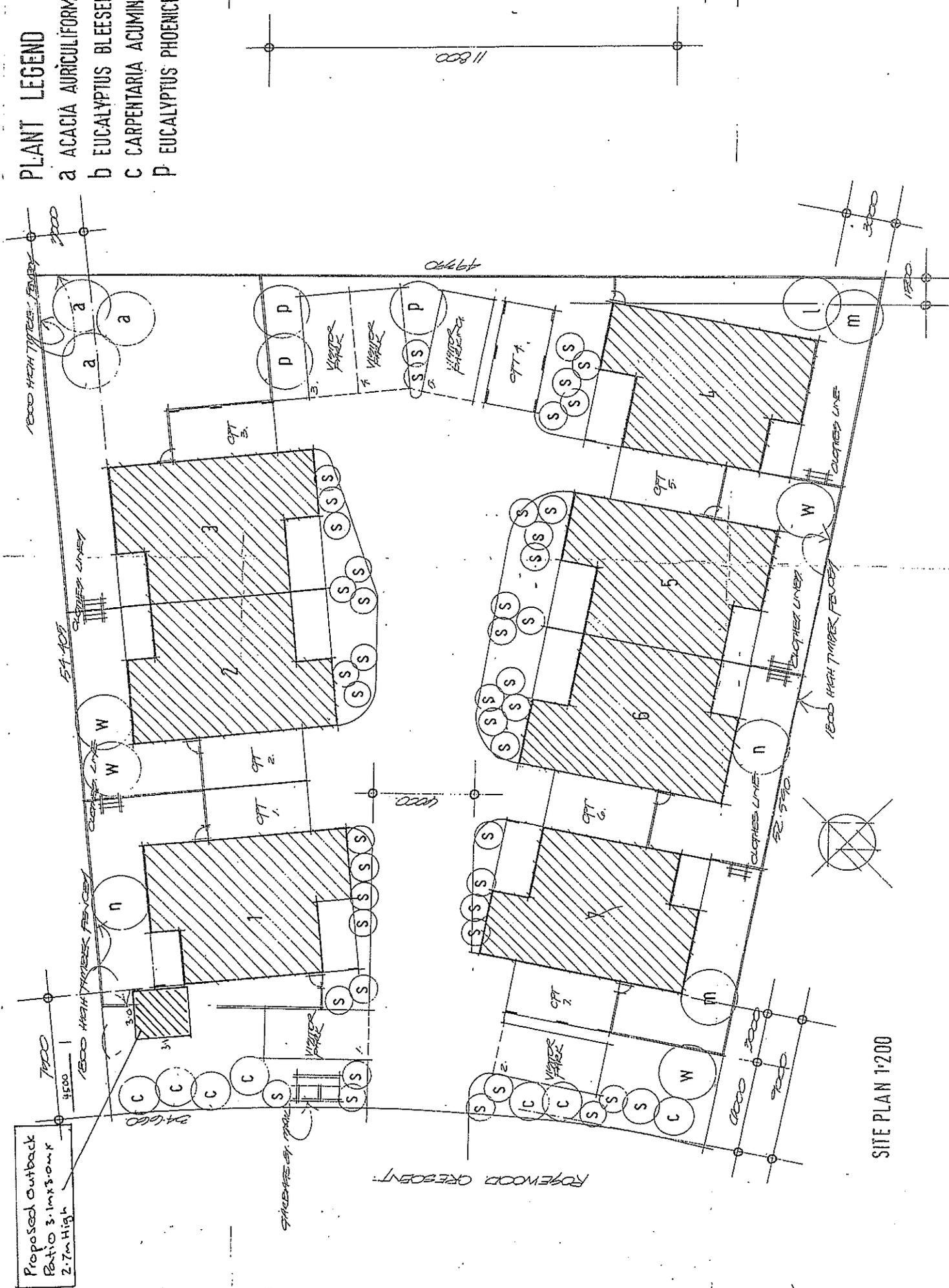
cc: Stratco NT



DARWIN200

Proposed outback
Ratio 3.1m x 3.0m x
2.7m High

- PLANT LEGEND**
- a ACACIA AURICULIFORM
 - b EUCALYPTUS BLEESF
 - c CARPENTARIA ACUMIN
 - p EUCALYPTUS PHOENICE



SITE PLAN 1:200

Please quote: 1541958 PL:cpd

24 April 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Re-advertised - Lot 5110 (23) Nakara Terrace, Nakara – Town of Nightcliff
Carport Addition and Extension to an Existing Single Dwelling with a Reduced
Secondary Front and Side Setbacks**

Thank you for the Development Application referred to this office 9th April 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0658.

Yours faithfully



PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Frank Beecroft



DARWIN200

Please quote: 1551836 PL:cpd

17 April 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Portion 2658 (22) Carnoustie Circuit, Marrara – Hundred of Bagot
Verandah Addition to an Existing Multiple Dwelling (Unit 1) with a Reduced
Side Setback**

Thank you for the Development Application referred to this office 2nd April 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0658.

Yours faithfully

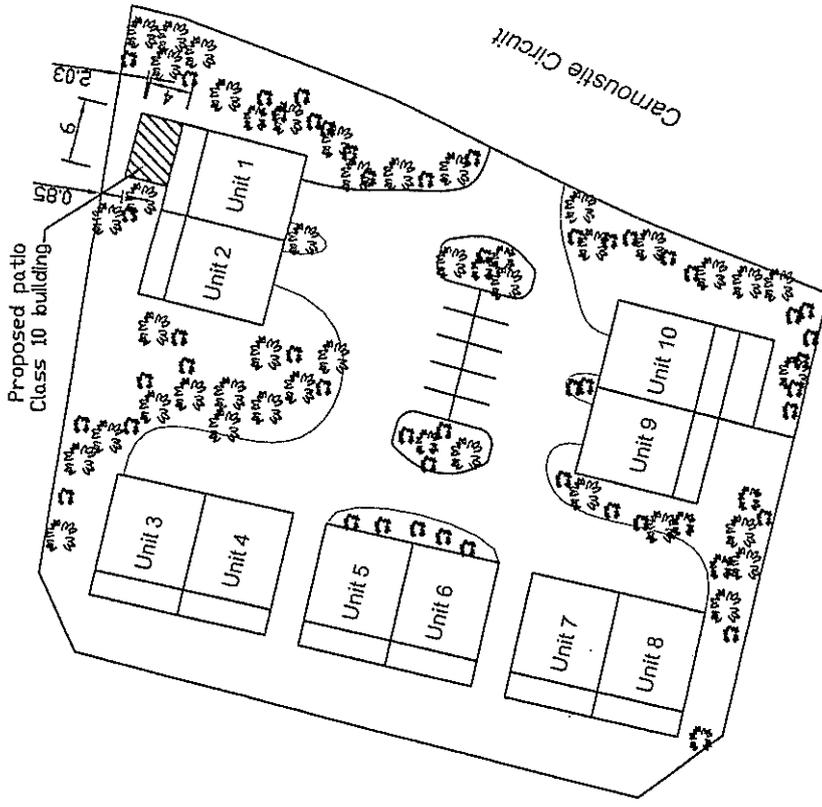


PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Patio World NT



DARWIN200



Site Plan
1:500

Patio World Head Office: 39 Cannon St, Cairns, Qld 4870 Ph (07) 40321166		All dimensions to be checked prior to construction		A3
 QBASA No: 56714 © COPYRIGHT 2009 Patio World		Proposed patio for John & Diana Morgan 1/22 Carnoustie Circuit Mairara NT 0812		
		SCALE: 1:100 (Unless otherwise shown)	RS	LOT No. 2658
DATE: 20-03-2009	CR	Loc. 055	SHEET: 1 of 4	JOB No. D123
REVISED: -				REV. -
SALESPERSON: RS				
DRAWN BY:				

Please quote: 1551828 PL:cpd

17 April 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 6314 (12) Muzzell Street, Bayview – Town of Darwin
Single Dwelling in 2 Storeys with Reduced Front and Side Setbacks**

Thank you for the Development Application referred to this office 2nd April 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0658.

Yours faithfully



**PETER LINDWALL
STRATEGIC TOWN PLANNER**

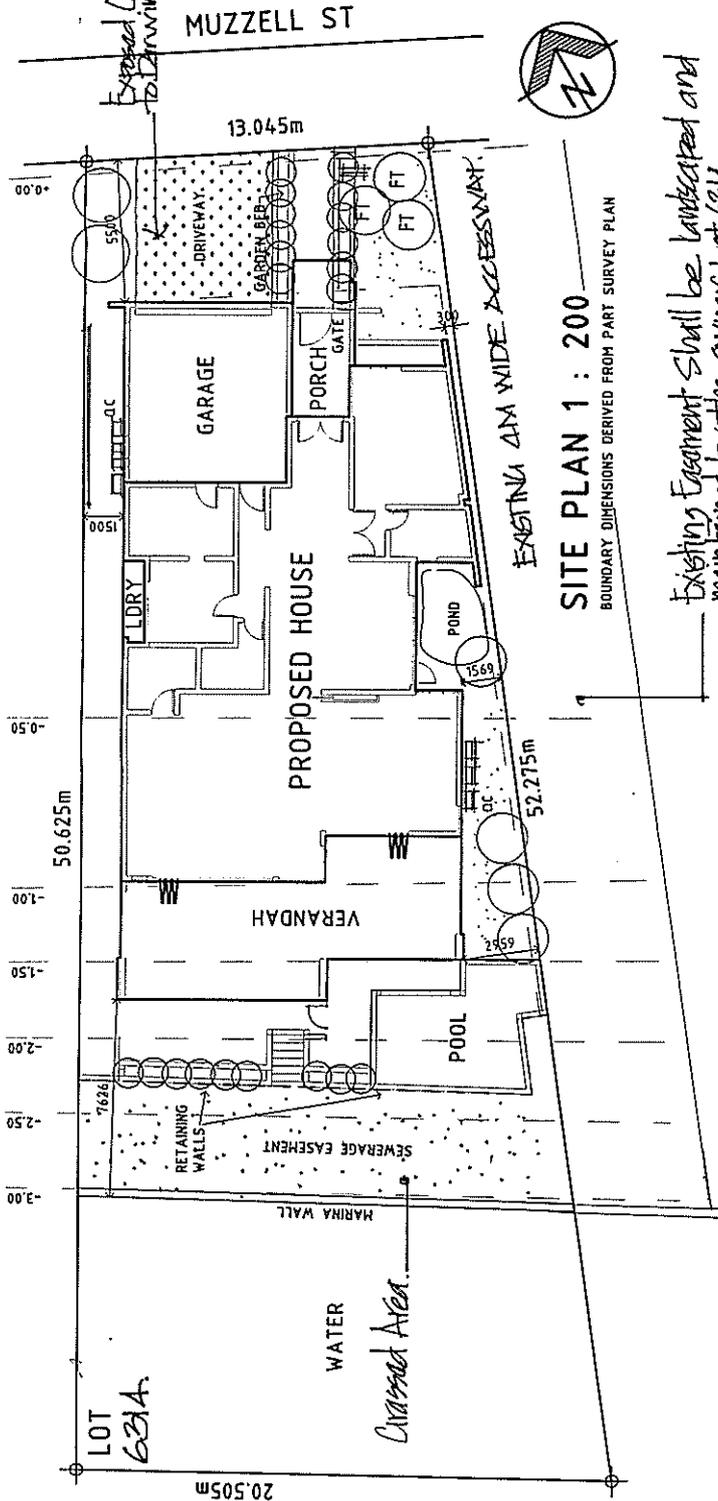
cc: Savvas Savvas



DARWIN200

PROPOSED HOUSE
 LOT 6314 MUZZELL STREET
 BAYVIEW
 PA GROUP
 DRAWN BY: RON BROWN

Savas P Savvas
ARCHITECT
 (08) 8941 7371 U2056 Mappa Bldg
 T (08) 8941 2502 Cullen Bay NT 0820
 F (08) 8941 2502
 M (08) 894 844 GPO Box 3822
 E savasarchitects@internode.on.net
 savasarchitects.com.au
 ARCHITECTS
 10/10/2009



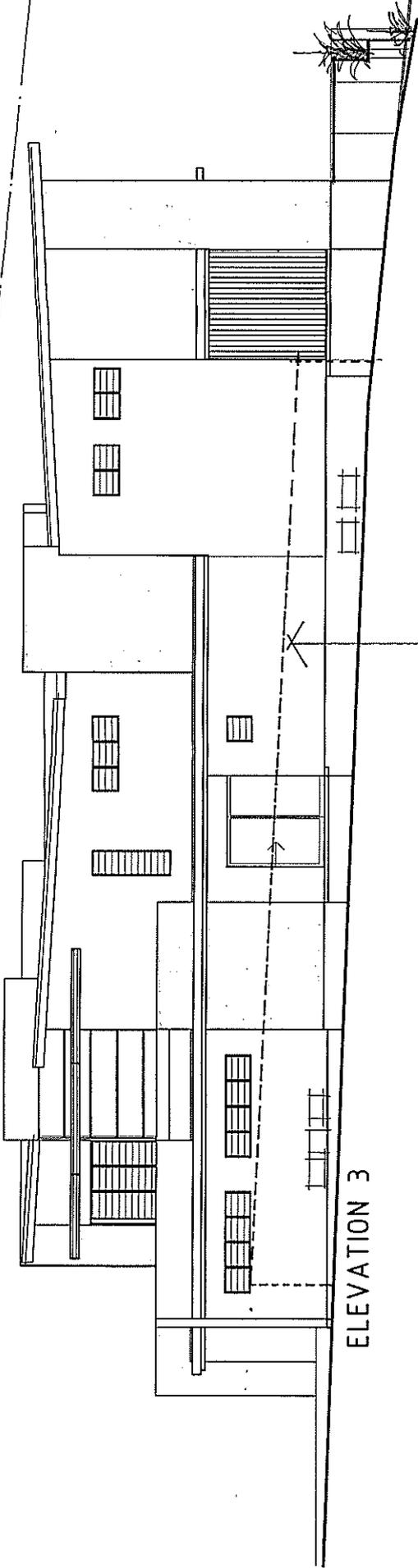
SITE PLAN 1 : 200
 BOUNDARY DIMENSIONS DERIVED FROM PART SURVEY PLAN

Existing Easement shall be landscaped and maintained by the owner Lot 6314.
 Approvals shall be sought by relevant Authority.

Revised setbacks accepted.

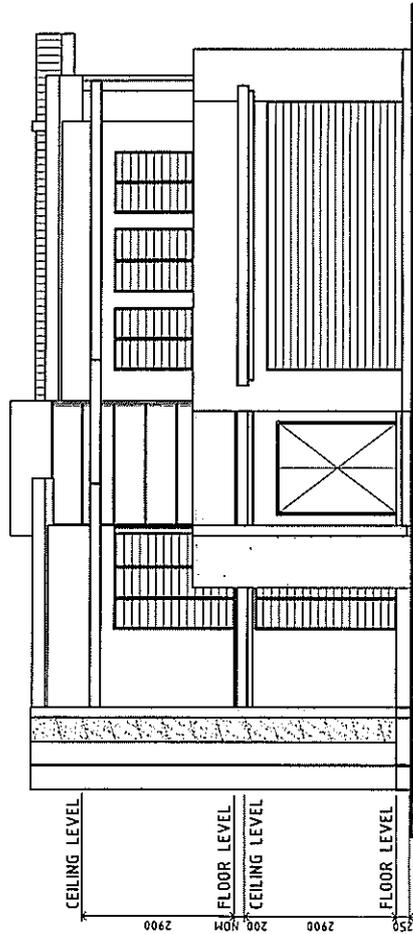
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 Date: 27.2.11
 Prepared by: [Signature]
 Checked by: [Signature]
 Drawn by: [Signature]

8.5m max allowable building height from natural ground level.



ELEVATION 3

All airconditioner units condensers shall be located at ground level.
Provide Good Neighbour screen fencing along neighbouring boundary to this Western Elevation.



ELEVATION 4

JOB OR DRG NO. D6404-AS

PROPOSED HOUSE
LOT 6314 MUZZELL STREET
BAYVIEW
PA GROUP
DRAWN BY RON BROWN

Savas P Savvas
ARCHITECT
T (08) 8981 7371 U2056 Marina Blvd
F (08) 8941 2502 Cullen Bay NT 0820
M 0408 694 644 GPO Box 3622
E savvasarchitect@internode.on.net Darwin NT 0801



Please quote: 1544428 PL:cpd

17 April 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Re-Advertised - Lot 2147 (33) Bayfield Road, Malak – Town of Sanderson
Change of Use from Single Dwelling to Community Centre**

Thank you for the Development Application referred to this office 19th March 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0658.

Yours faithfully

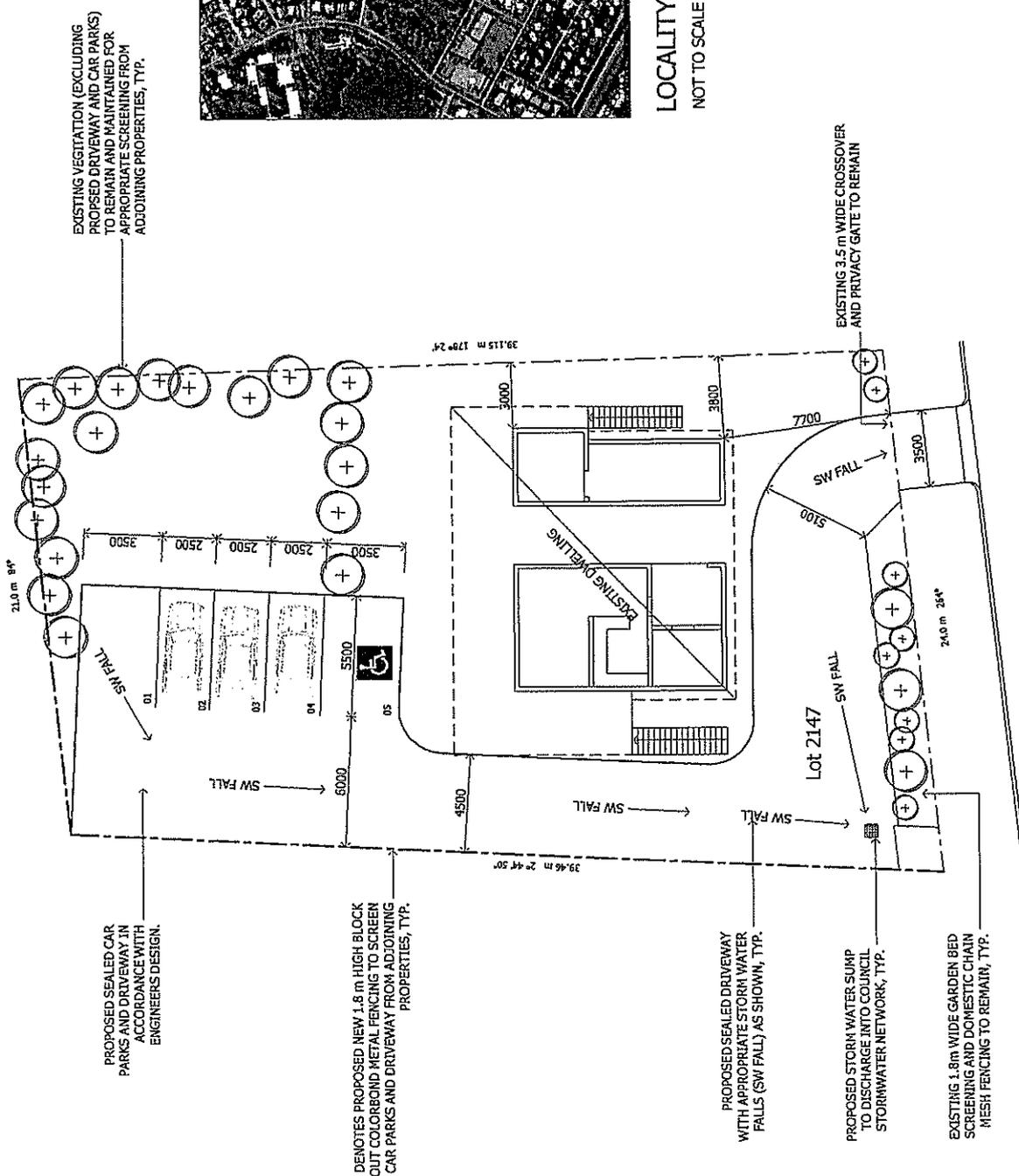


PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: NT Council of Social Service



DARWIN200



EXISTING VEGETATION (EXCLUDING PROPOSED DRIVEWAY AND CAR PARKS) TO REMAIN AND MAINTAINED FOR APPROPRIATE SCREENING FROM ADJOINING PROPERTIES, TYP.

PROPOSED SEALED CAR PARKS AND DRIVEWAY IN ACCORDANCE WITH ENGINEERS DESIGN.

DENOTES PROPOSED NEW 1.8 m HIGH BLOCK OUT COLORBOND METAL FENCING TO SCREEN CAR PARKS AND DRIVEWAY FROM ADJOINING PROPERTIES, TYP.

PROPOSED SEALED DRIVEWAY WITH APPROPRIATE STORM WATER FALLS (SW FALL) AS SHOWN, TYP.

PROPOSED STORM WATER SUMP TO DISCHARGE INTO COUNCIL STORMWATER NETWORK, TYP.

EXISTING 1.8m WIDE GARDEN BED SCREENING AND DOMESTIC CHAIN MESH FENCING TO REMAIN, TYP.

SITE



LOCALITY PLAN
NOT TO SCALE

EXISTING 3.5 m WIDE CROSSOVER AND PRIVACY GATE TO REMAIN

BAYFIELD ROAD



Norman Design
 Suite 01 18/18705 PO Box 33664 Warrville, NT 0621
 0818 240124 / 0818 240125 / 0818 240126

CHANGE OF USE OF EXISTING DWELLING ON LOT 2147 (33) BAYFIELD RD, MALAK TO A COMMUNITY CENTRE FOR NTCCOSS

SITE PLAN

13-02-2009 NDINTCOSS PA1001

Please quote: 1550714 PL:cpd

7 April 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 5334 (12) Vitex Court, Karama – Town of Sanderson
Verandah and Carport Addition to Existing Single Dwelling with Reduced Side
and Rear Setbacks – NOT EXHIBITED**

Thank you for the Development Application referred to this office 1st April 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0658.

Yours faithfully

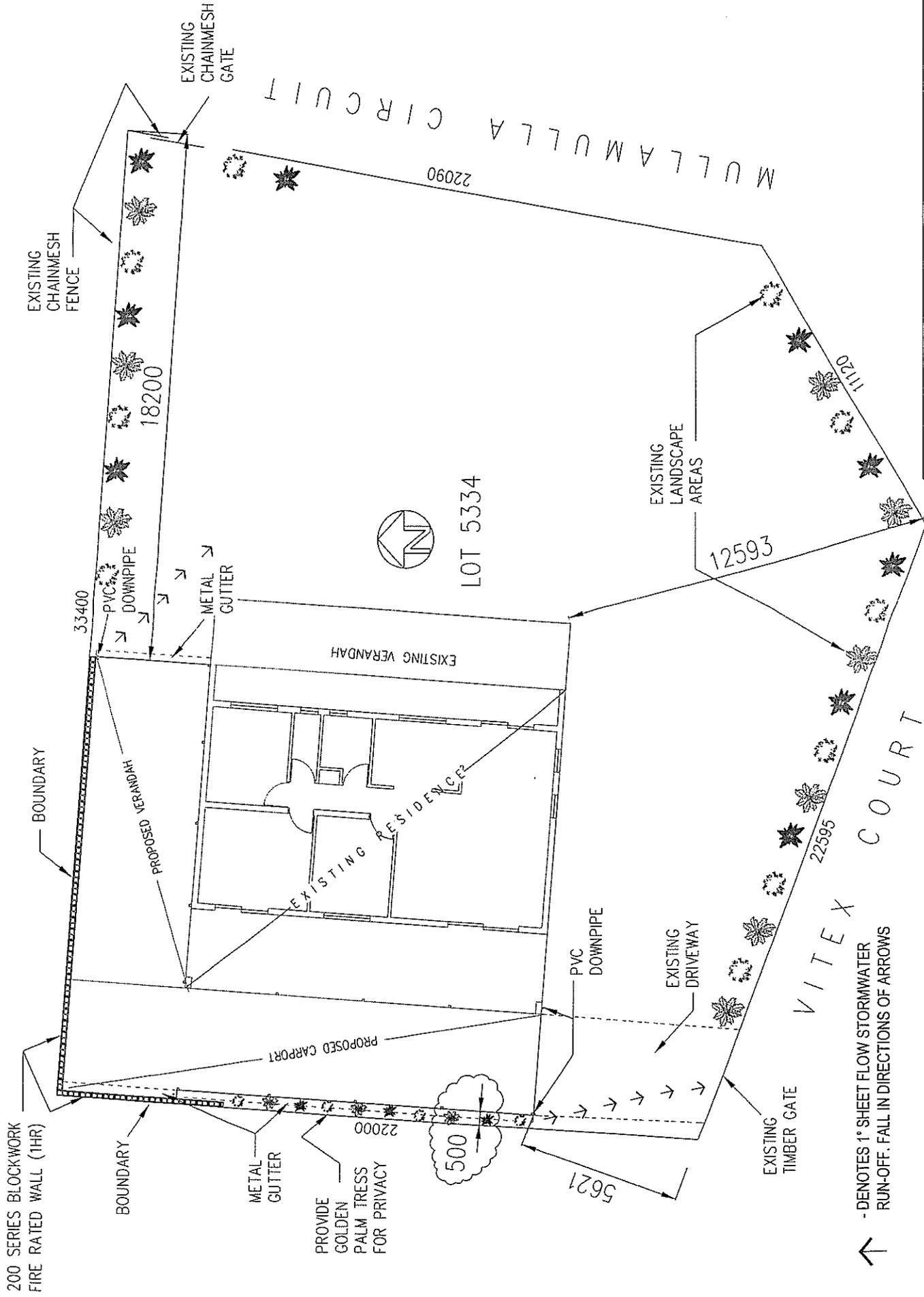


PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Project Building Certifiers Pty Ltd



DARWIN200



↑ - DENOTES 1° SHEET FLOW STORMWATER RUN-OFF. FALL IN DIRECTIONS OF ARROWS

SITE PLAN
SCALE 1:125

	145 FARRAR BLVD. FARRAR, PALMERSTON NT. 0830 PH: 08 89313036/ FAX: 08 89328946 MOB. 0412 627 590	PROPOSED EXTENSION TO EXISTING RESIDENCE LOT 5334 COR. MULLAMULLA CIR. AND VITEX COURT. KARAMA N.T.	DRAWING BY: RF DRAWING NO: SHEET NO: 1/3	JOB NO. DATE: 03/03/09 DESIGNER
--	---	--	--	---------------------------------------

Please quote: 1544423 PL:cpd

3 April 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 1951 (16) Moody Court, Malak – Town of Sanderson
Verandah Addition to an Existing Single Dwelling with a Reduced Secondary
Front Setback**

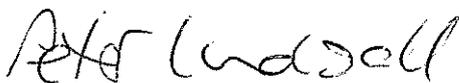
Thank you for the Development Application referred to this office 19th March 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0658.

Yours faithfully



PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Design NT



DARWIN200

I/We have viewed the proposed plans as per drawings number G176 A3 Sheets 1-5 for Lot 1951 (16) Moody Court, Malak. I/We have no objections to the proposed extensions, we understand the boundary setbacks outlined on plan and have no objections to the proposed construction based on the plans provided.

Neighbours Name: _____
 Neighbours Address: _____
 Signature _____ Date _____

I/We have viewed the proposed plans as per drawings number G176 A3 Sheets 1-6 for Lot 1951 (16) Moody Court, Malak. I/We have no objections to the proposed extensions, we understand the boundary setbacks outlined on plan and have no objections to the proposed construction based on the plans provided.

Neighbours Name: _____
 Neighbours Address: _____
 Signature _____ Date _____

I/We have viewed the proposed plans as per drawings number G176 A3 Sheets 1-6 for Lot 1951 (16) Moody Court, Malak. I/We have no objections to the proposed extensions, we understand the boundary setbacks outlined on plan and have no objections to the proposed construction based on the plans provided.

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 Neighbours Address: _____
 Signature _____ Date _____

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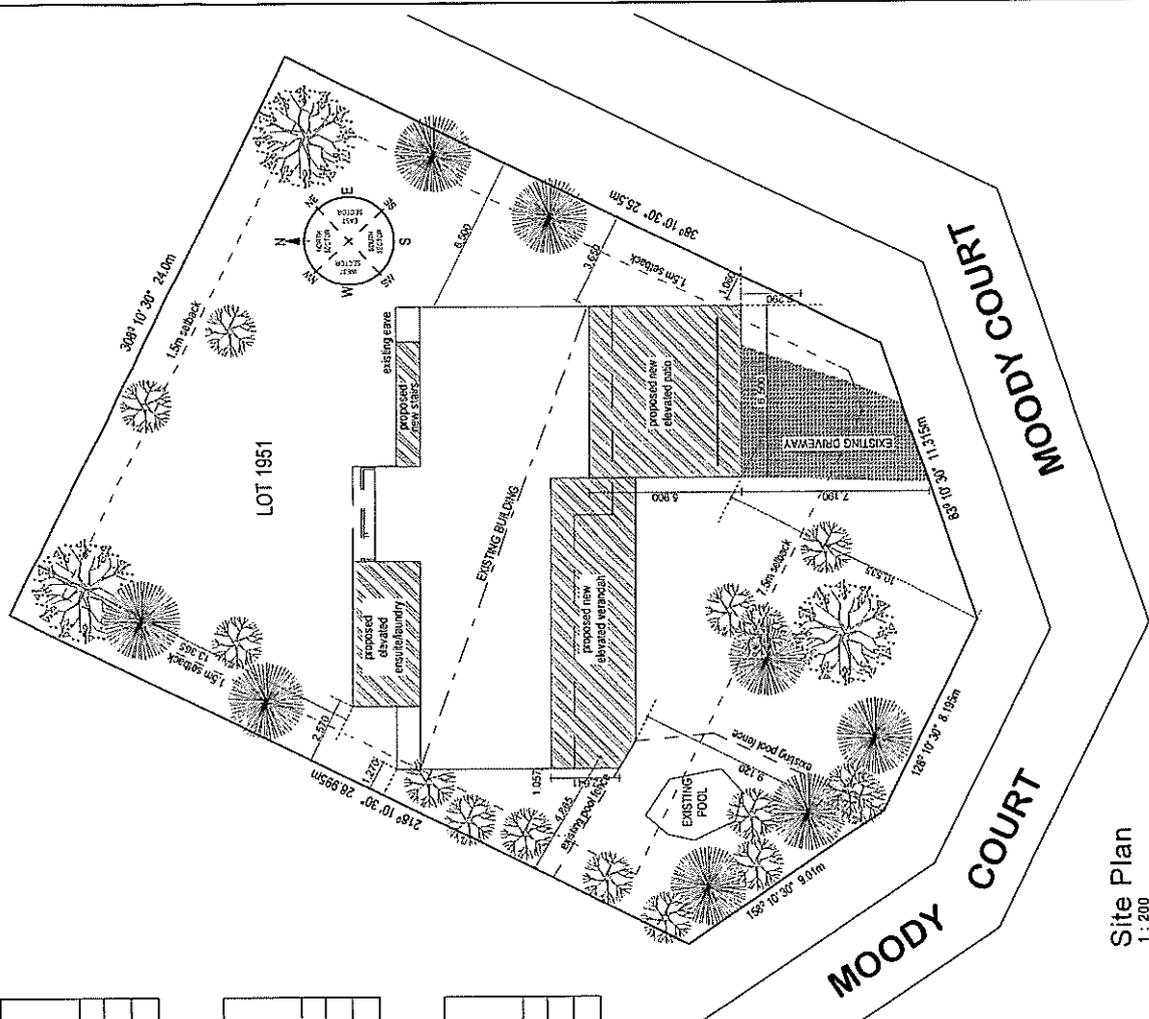
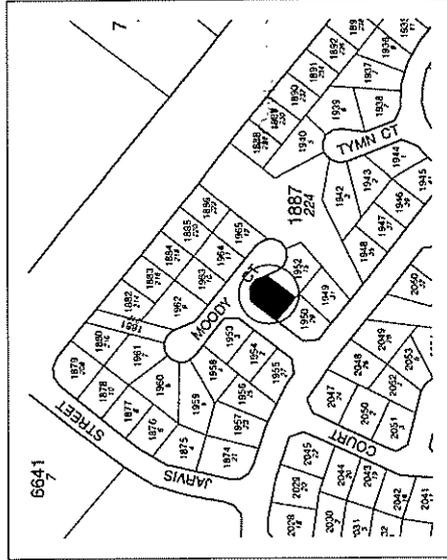
Neighbours Name: _____
 Neighbours Address: _____
 Signature _____ Date _____

I/We have viewed the proposed plans as per drawings number G176 A3 Sheets 1-6 for Lot 1951 (16) Moody Court, Malak. I/We have no objections to the proposed extensions, we understand the boundary setbacks outlined on plan and have no objections to the proposed construction based on the plans provided.

Neighbours Name: _____
 Neighbours Address: _____
 Signature _____ Date _____

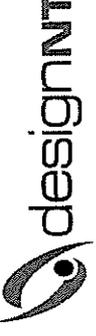
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Neighbours Name: _____
 Neighbours Address: _____
 Signature _____ Date _____



Site Plan
1:200

CHECK ALL DIMENSIONS PRIOR TO STARTING ANY WORK ON OR OFF SITE

AMENDMENTS	DATE	PAGE	 GPO Box 1632 Darwin NT 0800 virtual fax: 08 8121 1880 mb: 0407 270 063		PROJECT: Proposed Major Alterations & Additions CLIENT: Lynette & Philip Chong Lot 1951 (16) Moody Court MALAK NT 0812	Site Plan	Scale: AS NOTED
						Drawn:	Print Date: 16/03/2009
					Drawing No. G176/ 1	Sheet 1 of 7	Size A3

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Please quote: 1544419 PL:cpd

3 April 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 6152 (3) Eaton Place, Karama – Town of Sanderson
Garage Addition to an Existing Single Dwelling with a Reduced Front Setback**

Thank you for the Development Application referred to this office 19th March 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0658.

Yours faithfully



PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Damien Connor



DARWIN200

Please quote: 1541209 PL:cpd

25 March 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 3923 (40) Carstens Crescent, Wagaman – Town of Nightcliff
Carport and Shed Addition to an Existing Single Dwelling with a Reduced Side
Setback – NOT EXHIBITED**

Thank you for the Development Application referred to this office 16th March 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully



PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Mr JR Maxfield



DARWIN200

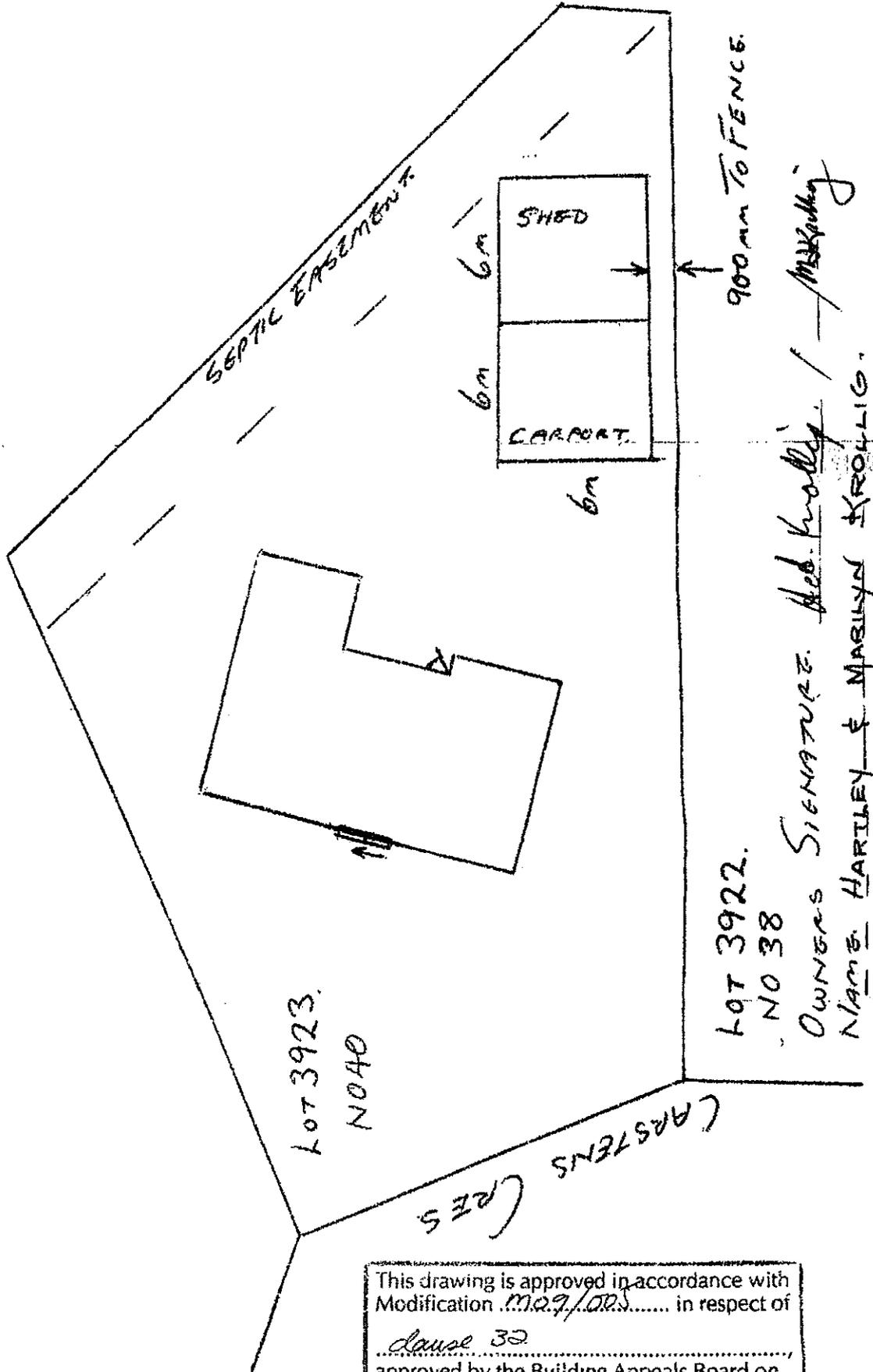
JOHN MAXFIELD

40 CARSTENS CRES.

WAGAMAN

GUTTERS DOWN BOTH SIDES

DWG. No. 109/005



LOT 3923.
NO 40

CARSTENS CRES

LOT 3922.
NO 38
OWNERS SIGNATURE: Ed. Krollig / Marilyn Krollig

This drawing is approved in accordance with Modification 1029/005..... in respect of
 clause 32
 approved by the Building Appeals Board on
 4-3-2009
 [Signature] CHAIRMAN

Please quote: 1539674 PL:cpd

27 March 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Lot 4751 (38) Jacksonia Circuit, Nightcliff – Town of Nightcliff
Verandah and Carport Additions to an Existing Single Dwelling with Reduced
Front and Side Setbacks**

Thank you for the Development Application referred to this office 12th March 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0528.

Yours faithfully

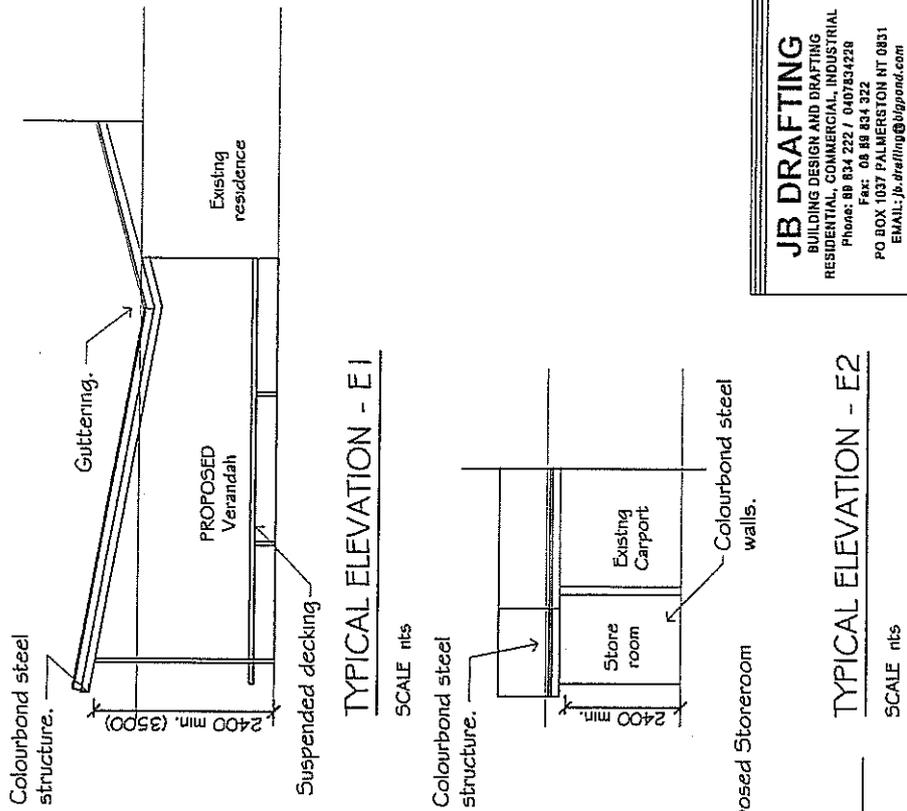


PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: JB Drafting



DARWIN200



JB DRAFTING
 BUILDING DESIGN AND DRAFTING
 RESIDENTIAL, COMMERCIAL, INDUSTRIAL
 Phone: 89 834 222 / 0407834228
 Fax: 08 89 834 322
 PO BOX 1037 PALMERSTON NT 0831
 EMAIL: jb.drafting@jbdrafting.com

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Client: LIFESTYLE ENTERPRISE
 Drawing Title: SITE LAYOUT PLAN and TYPICAL ELEVATION
 Address: Lot 4751 (318) Jacksons crt
 Drawing No: JBD-412-001

Rev	Description	Date
1	APPROVAL	FEB 09

SCHEDULE OF AREAS

Existing tiled area	594	m ²
Existing house - footprint	158	m ²
New Verandah	45	m ²
Store room	11	m ²
Plot Ratio	36	%

SITINGPLAN - LOT 4751

SCALE 1:200

CONSTRUCTION NOTES

1. Builder is to ensure that all setback requirements are adhered to during the course of construction and is to consult with the Building Certifier if any changes arise.
2. All dimensions are in millimetres unless noted otherwise.

Please quote: 1545697 PL:cpd

31 March 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Section 5095 (49) Hickman Street, Winnellie – Hundred of Bagot
Warehouse and Office addition with Reduced Rear Setback – NOT EXHIBITED**

Thank you for the Development Application referred to this office 24th March 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0658.

Yours faithfully



PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Jacana Waters Development Pty Ltd



DARWIN200

Please quote: 1545700 PL:cpd

3 April 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Portion 2896 (70) Reichardt Road, Winnellie – Hundred of Bagot
Canopy Addition to Existing Warehouse Exceeding the 8.5m Height Limitation,
and Shade Sail Addition with Reduced Front Setback – NOT EXHIBITED**

Thank you for the Development Application referred to this office 24th March 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0658.

Yours faithfully



PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Morandini Earthworks Pty Ltd



DARWIN200

Please quote: 1546483 PL:cpd

3 April 2009

Mr Doug Lesh
Manager Urban Planning
Development Assessment Services
Department of Planning and Infrastructure
GPO Box 1680
DARWIN NT 0801

Dear Doug

**Portion 2241 (115) Reichardt Road, Winnellie – Hundred of Bagot
Warehouse Extension with Reduced Side and Rear Setbacks**

Thank you for the Development Application referred to this office 25th March 2009, concerning the above. This letter may be placed before Council's Town Planning Committee at its next meeting. Should this letter be varied or not endorsed by Council, you will be advised accordingly.

There do not appear to be any Council related issues in regard to this application.

In considering this application, the Authority is requested to take into account any implications of the Disability Discrimination Act (Cth) or the Anti Discrimination Act (NT) with regard to access for the disabled.

If you require any further discussion in relation to this application please feel free to contact me on 8930 0658.

Yours faithfully



PETER LINDWALL
STRATEGIC TOWN PLANNER

cc: Donald Fulton



DARWIN200

